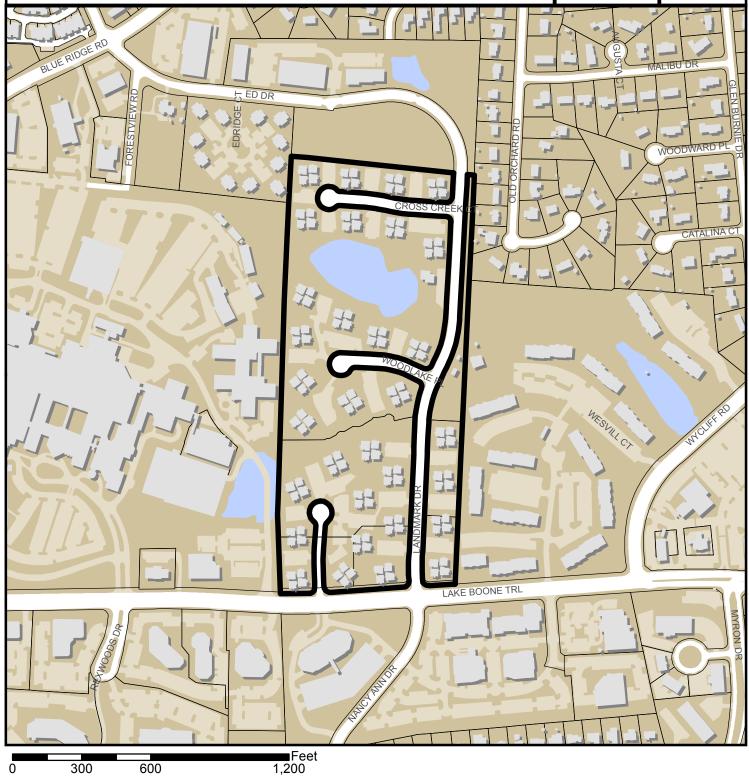
# THE VILLAGES OF LAKE BOONE TRAIL S-50-2014







Zoning: NX-4 OX-4, OX-3

& CX-4- all w/CU

CAC: Northwest

Drainage Basin: House

Acreage: **34.29** Number of Lots: **12** 

Planner: Daniel Stegall

Phone: (919) 996-2712

Applicant: Tribridge

Residential, LLC Phone: (404) 367-6546





# Administrative Approval Action

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
3814 www.raleighnc.gov

The Villages of Lake Boone Trail (Sunset Extension): S-50-14, AA# 3814
Transaction# 551024, Original Transaction# 412776, Original AA#3262

**LOCATION:** The site is located on the north side of Lake Boon Trail, east of the intersection

of Blue Ridge Road. The site address is 2521 and 2520 Landmark Drive. The

PIN numbers are 0785-93-3119 and 0785-93-7030.

REQUEST: The applicant is requesting a sunset extension and revision to S-50-14, a

**previously approved plan.** Subdivision of 30.65-acre parcel into 10 lots zoned CX-5-PL-CU, CX-4-PL-CU, CX-4-CU, CX-5-CU, NX-4-CU, OX-3-CU, OX-4-CU, located inside the city limits. The site has zoning conditions in case Z-20-13. Please note there were 12 lots under the initial approval. This revision shows 10 lots. In Phase 2 Lots 7 and 8 were combined to create lot 7, in addition to this

revision lots 10 and 11 in Phase 3 were combined to create lot 11.

DESIGN

ADJUSTMENT(S)/ ALTERNATES, ETC:

ETC: One Design Adjustment was approved by the Public Works Director

Designee for this project under the original Transaction# 412776:

1. A Design Adjustment from UDO Section 8.3.6 - Block Perimeter

FINDINGS: City Administration finds that this request, with the below conditions of approval

being met, conforms to the Unified Development Ordinance. This approval is

based on a preliminary plan submitted by David L. Dunn of Bnk, Inc.

# **CONDITIONS OF APPROVAL and NEXT STEPS:**

Note: This document must be applied to the second sheet of all future submittals with

the exception of final plats.

Planning: A summary of revisions are noted on the cover sheet of the subdivision plan, case

S-50-14 Sunset Extension and Revision.

The ASR and concurrent plans for Phase 1 have been approved under Transaction 444458. In Phase 1 lot 1, 2, 3, 4, 5 and 6 are recorded in Book of Maps 2015 Page

02011.

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

# **ENGINEERING**

1. <u>Next Step:</u> A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

# **STORMWATER**

- 2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of a mass grading permit or other site permit, whichever comes first.
- A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.



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4. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

## **URBAN FORESTRY**

- 5. Obtain tree impact permits from the City of Raleigh.
- 6. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

# PRIOR TO AUTHORIZATION TO RECORD LOTS:

## **GENERAL**

- The public right of way for Cross Creek Court and Woodlake Place must be abandoned prior to lot recordation. Proof of approval by City of Raleigh City Council to abandon the rights of way shall be provided to the Development Services Department.
- 8. The City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City.
- 9. A demolition permit shall be issued and this building permit number be shown on all maps for recording.
- 10. <u>Next Step:</u> Concurrent Review Plans for public infrastructure and site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable.

# **ENGINEERING**

- 11. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
- 12. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.
- 13. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for the remainder of the street stub and streetscape that cannot be constructed between lots 9 and 12 is paid to the City of Raleigh.
- 14. A cross access agreement among proposed lot 5, lot 7, and lot 11 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within 1 day of lot recordation. A recorded copy of these documents shall be provided to the



# **Administrative Approval Action**

City of Raleigh **Development Services Department** One Exchange Plaza Raleigh, NC 27602 (919) 996-2495 DS.help@raleighnc.gov www.raleighnc.gov

The Villages of Lake Boone Trail (Sunset Extension): S-50-14, AA# 3814 Transaction# 551024, Original Transaction# 412776, Original AA#3262

Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld.

15. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services - Development Engineering program.

# **PUBLIC UTILITIES**

16. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions

## **STORMWATER**

- 17. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
- 18. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating: "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grade, excavate, or perform any other landdisturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from the state of North Carolina in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. In accordance with UDO Section 10.2.5 E 8c, one 3-year extension is approved for this project. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 8-8-2021 Record the entire subdivision.

I hereby certify this administrative decision.

augin Bien 7x

Staff Coordinator: Daniel L. Stegall

Signed:(Planning Dir./Designee) \_

\_ Date:<u>න/න/</u>zරාგ

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

# 

THE VILLAGES OF LAKE BOONE TRAIL PRELIMINARY SUBDIVISION PLAN WAS PREVIOUSLY PREPARED BY THE MCADAMS COMPANY AND APPROVED BY THE CITY OF RALEIGH ON MAY 18, 2015 AS CASE NO. S-50-14. THIS SUBMITTAL IS FOR A SUNSET EXTENSION AND REVISIONS. MOST OF THE INFORMATION INCLUDED ON THESE DRAWINGS WAS PREPARED BY THE MCADAMS COMPANY AND WAS INCLUDED IN THE ORIGINAL APPROVED PRELIMINARY SUBDIVISION PLAN SUBMITTAL. THE COVER SHEET AND SEVERAL OTHER SHEETS HAVE BEEN REVISED TO REFLECT MINOR CHANGES AND TO ADDRESS CITY REVIEW COMMENTS. REFER TO SUMMARY OF REVISIONS ON THIS SHEET FOR ADDITIONAL INFORMATION CONCERNING CHANGES.

# PRELIMINARY SUBDIVISION SUNSET EXTENSION AND REVISION

Preliminary Subdivision Plan Application

DEVELOPME SERVICES DEPARTMEN

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831

Litchford Satellite Office | 8320 – 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting	ng plans, please	check the appropriate	review type and incl	ude the Plan	Checklist document.		
Office Use Only: Transaction #		Project Coordinator		Team Leader			
PRELIMINARY APPROVALS							
■ Subdivision *	☐ Convention	al Subdivision	Compact Develo	pment	Conservative Subdivision		
*May	require City Cou	uncil approval if in a M	etro Park Overlay or	Historic Over	lay District		
If your project has been thro	ough the Due Dil	igence process, provid	e the transaction #:	412776 (P	reviously Approved as S-50-14		
GENERAL INFORMATION							
Development Name The	Villages of I	Lake Boone Trai	l (Sunset Exten	sion Requ	uest and Recombination		
Proposed Use Retail ar	nd Residen	tial					
Property Address(es) 252	l and 2520 L	andmark Drive					
Wake County Property Ident	ification Numbe	er(s) for each parcel to	which these guidelin	es will apply:			
PIN Recorded Deed 0785-93-3119	PIN Recor 0785-93-70		PIN Recorded Deed	10 10 10	PIN Recorded Deed		
What is your project type?  Single family Townhouse Subdivision in a non-residential zoning district  Other (describe): Apartments							
OWNER/DEVELOPER INFORMATION							
Company Name TBR Lake Boone Owner, LLC/TR Owner/Developer Name Robert H. West, Vice Presider							
Address 1575 Northsi	de Drive N	W, Bldg 100, S	uite 200, Atlar	ta, GA 3	0318		
Phone (404)367-6546		Email bobbyw@tribridgeresidential.com Fax					
TO TO	CON	ISULTANT/CONTA	CT PERSON FOR F	LANS			
Company Name Bass, N	lixon and K	(ennedv. Inc.	Contact Name D	avid L. D	unn. PE		

# DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments) ZONING INFORMATION Strict(s) C.Y. 5. PL. C.L. C.Y. 4. PL. C.L. C.Y. 4. C.L. D.Y. 4. C.L.

Email david.dunn@bnkinc.com | Fax

Zoning District(s) CX-5-PL-CU, CX-5-CU, CX-4-PL-CU, CX-4-CU, NX-4-CU, OX-4-CU and OX-3-CU

If more than one district, provide the acreage of each: 2.67, 6.47, 0.94, 4.04, 10.0, 8.21 and 1.32

Overlay District? Yes No

Inside City Limits? Yes No

CUD (Conditional Use District) Case # Z-20-13

COA (Certificate of Appropriateness) Case # N/A

Phone (919)851-4422

BOA ( Board of Adjustment) Case # A- N/A

STORMWATER INFORMATION

Address 6310 Chapel Hill Road, Suite 250, Raleigh, NC 27607

Existing Impervious Surface N/A acres/sf Flood Hazard Area Yes No

Proposed Impervious Surface N/A acres/sf Neuse River Buffer Yes No

Wetlands Yes No

If in a Flood Hazard Area, provide the following:

Alluvial Soils N/A Flood Study N/A FEMA Map Panel # N/A

Total # of Townhouse Lots: Detached N/A Attached N/A

Total # of Single Family Lots N/A

Overall Unit(s)/Acre Densities Per Zoning Districts N/A

Total # of Open Space and/or Common Area Lots N/A

SIGNATURE BLOCK (Applicable to all developments)

NUMBER OF LOTS AND DENSITY

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed

subdivision plan as approved by the City.

I hereby designate David L. Dunn (BNK) to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the project development use.

4/6/20/8

Signature

Date

Date

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 03.11.16

TRANSACTION #551024

ORIGINAL CITY OF RALEIGH TRANSACTION #412776

CITY OF RALEIGH CASE# S-50-14
2412 LANDMARK DRIVE
RALEIGH, NORTH CAROLINA
PROJECT NUMBER: TBR-14000
DATE: APRIL 10, 2018
MAY 15, 2018



# **DEVELOPER:**

TRIBRIDGE RESIDENTIAL, LLC
1575 NORTHSIDE DRIVE NW
BUILDING 100, SUITE 200
ATLANTA, GEORGIA 30318
CONTACT: ROBERT H. WEST
404-367-6546

bobbyw@tribridgeresidential.com

# NOTES

- 1. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE INTERSECTION OF THE RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENCROACH ON THE MINIMUM CORNER CLEARANCE.
- 2. WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY—FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

LOTS 1-6 OF THE VILLAGES OF LAKE BOONE TRAIL HAVE BEEN RECORDED PER BM 2015 PG 02011 AND THE TREE CONSERVATION AREAS HAVE BEEN RECORDED PER BM 2015 PG 02011 AND BM 2015 PG 02012.

# SHEET INDEX

C-0 ZONING CONDITIONS/COMPLIANCE
C-1 EXISTING CONDITIONS
C-2, C-3 DEMOLITION PLANS
C-4 OVERALL SUBDIVISION PLAN & NOTES
C-5, C-6 SUBDIVISION PLANS
C-7, C-8 GRADING PLANS
C-9, C-10 UTILITY PLANS
D-1 SITE DETAILS

D-3 SITE DETAILS
TC-1 TREE CONSERVATION PLAN

SITE DETAILS



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

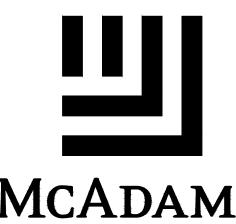
# BNK

BASS, NIXON & KENNEDY, INC. CONSULTING ENGINEERS 6310 CHAPEL HILL ROAD, SUITE 250 RALEIGH, NORTH CAROLINA 27607

TELEPHONE: (919) 851-4422 FAX: (919) 851-8968

CERTIFICATION NUMBERS: NCBELS (C-0110) NCBOLA (C-0267)

CONTACT: DAVID DUNN, PE EMAIL: David.Dunn@BNKinc.com



THE JOHN R. McADAMS COMPANY, INC.

2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0293
(800) 733-5646 • McAdamsCo.com

SUMMARY OF SUBDIVISION PLAN REVISIONS FOR SUNSET DATE EXTENSION:

1. THE FOLLOWING SUMMARIZES REVISIONS TO THE COVER SHEET:

a. TITLE WAS CHANGED TO REFLECT SUNSET EXTENSION AND REVISION WITH APPLICABLE TRANSACTION NUMBER.
b. APPLICATION ON COVER SHEET WAS REVISED TO REFLECT SUNSET EXTENSION PROJECT AND RECOMPLIATION.

EXTENSION REQUEST AND RECOMBINATION.
c. ZONING CONDITIONS WERE SHIFTED TO SHEET C-0 WITH SUMMARY OF COMPLIANCE FOR EACH CONDITION. A NOTE WAS INCLUDED ON THE COVER

CONCERNING SHEET C-0.

d. NOTES WERE INCLUDED ON THE COVER SHEET SUMMARIZING REVISIONS TO THE PLANS.

e. PHASE 1 OF THE SUBDIVISION PLAN AND THE TREE CONSERVATION AREAS HAVE BEEN RECORDED. A NOTE HAS BEEN ADDED TO THE COVER SHEET CONCERNING PHASE 1 AND THE TREE CONSERVATION AREAS WITH THE RECORD PLAT INFORMATION.

2. SHEET C-0 WAS ADDED TO SET WITH ZONING CONDITIONS AND SUMMARY OF COMPLIANCE FOR EACH CONDITION.

3. THE ORIGINAL SUBDIVISION PLAN INCLUDED THREE PHASES. THE ASR AND CONCURRENT PLANS FOR PHASE 1 HAVE BEEN APPROVED AND THE LOTS HAVE BEEN PLATTED; CONSEQUENTLY, THE PHASE 1 AREA WAS SHADED AND A NOTE CONCERNING THE PHASE 1 AREA WAS ADDED TO ALL APPLICABLE SHEETS. THE PHASE 1 LOTS ARE RECORDED IN BOOK 2015, PAGE 02011.

4. THE ORIGINAL SUBDIVISION PLAN INCLUDED 12 LOTS. THE PLAN WAS REVISED TO INCLUDE A TOTAL OF 10 LOTS ON ALL APPLICABLE SHEETS. THE FOLLOWING SUMMARIZES THE REVISIONS:

a. LOTS 7 AND 8 WERE COMBINED TO CREATE A SINGLE LOT. THE LOT REFERENCE IS LOT 7.
b. LOTS 10 AND 11 WERE COMBINED TO CREATE A SINGLE LOT. THE LOT REFERENCE IS LOT 11.

c. THE PHASE 1 LOT AREAS WERE REVISED TO BE CONSISTENT WITH THE RECORDED LOT AREAS. THE SQUARE FOOTAGE FOR EACH LOT HAS BEEN PROVIDED.
 d. THE PHASE 2 AND 3 LOT AREAS WERE REVISED TO REFLECT UPDATED AREAS

BASED ON LOT RECOMBINATION AND BNK SURVEYING. THE SQUARE FOOTAGE FOR EACH LOT HAS BEEN PROVIDED.

e. THE SITE DATA TABLE ON SHEET C-4 WAS REVISED TO REFLECT THE REVISED

5. A DIMENSION WAS ADDED TO LOT 12 SHOWING A MINIMUM WIDTH EXCEEDING 50-FEET TO REFLECT CONFORMANCE WITH THE OPEN LOT STANDARDS.
6. ADDITIONAL INFORMATION WAS INCLUDED ON THE APPLICABLE SHEETS TO

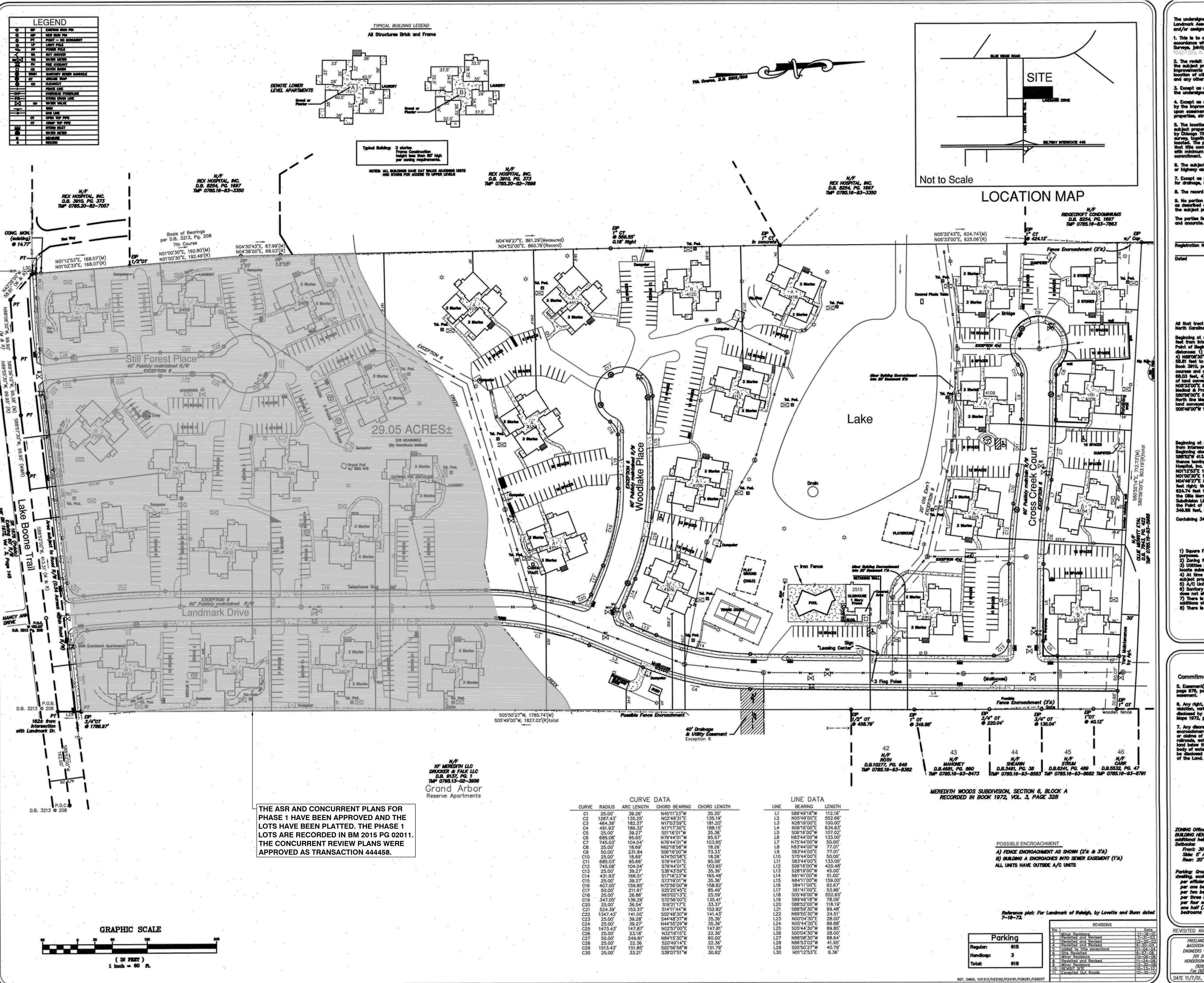
LOT AREAS AND RECOMBINATION OF LOTS 7/8 AND 10/11.

DISTINQUISH THE LOT LINES, PHASE LINES AND ZONING LINES.

7. THE TREE CONSERVATION AREAS FOR THE OVERALL SUBDIVISION HAS BEEN RECORDED. A NOTE WAS ADDED TO THE COVER SHEET AND SHEET TC-1 WITH THE RECORD PLAT INFORMATION.

8. THE ORIGINAL SUBDIVISION PLAN DRAWINGS WERE PREPARED BY THE MCADAMS COMPANY. SEVERAL SHEETS WITHIN THE SET THAT INCLUDE REVISIONS HAVE BEEN AMENDED TO INCLUDE BNK CONTACT INFORMATION.

 A 20' PEDESTRIAN ACCESS EASEMENT WAS ADDED ON THE SOUTH SIDE OF LOT 7 (PHASE 2) FOR A FUTURE PEDESTRIAN CONNECTION TO LOT 5 (PHASE 1) PER CITY REQUEST. REFER TO SHEET C-0 FOR LIST OF ZONING CONDITIONS AND SUMMARY OF ZONING CONDITIONS COMPLIANCE



SURVEYOR'S CERTIFICATION

The undersigned, being a registered surveyor of the State of North Carolina certifies to (I)PRG Landmark Associates, LLC; (I)Chicago Title Insurance Company and their respective successors

1. This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2.0.2.0.3.4.

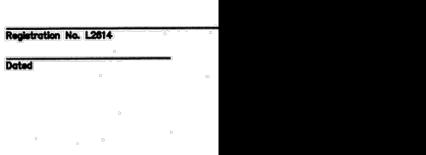
2. The revisit was made on the ground on October 13, 2012, and correctly shows the area of the subject property, the location, type and dimensions of all buildings, structures and other improvements situated on the subject property, the number and type of parking spaces, the location of utilities observed or shown on record documents as serving the subject property and any other matters situated on the subject property.

4. Except as shown on the survey, there are no observable, above ground encroachments (a) by the improvements on the subject property upon adjoining properties, streets or alleys, or upon easements located on the subject property, or (b) by the improvements on adjoining properties, streets or alleys upon the subject property.

5. The location of each easement, right of way, servitude, and other matter affecting the subject property and listed in the title insurance commitment dated October 9, 2012, issued by Chicago Title Company, LLC with respect to the subject property, has been shown on the survey, together with appropriate recording references, to the extent that such matters can be located. The property shown and described on the survey is the same property described in that title commitment. The location of all improvements on the subject property is in accord with minimum setback provisions and restrictions of record referenced in such title

8. The record description of the subject property forms a mathematically closed figure

The parties listed above are entitled to rely on the survey and this certificate as being true and accurate.



LEGAL DESCRIPTION

Beginning at a point in the center of Lake Boone Trail, said point being N88'52'00"E 162.00 feet from intersection of Lake Boone Trail and Landmark Drive centerlines, thence from said Point of Beginning along the centerline of Lake Boone Trail the four (4) following courses and distances: 1) S88'52'00"W 413.31 feet, 2) S88'57'30"W 99.95 feet, 3) N89'35'30"W 99.95 feet, 4) N88'06'30"W 99.90 feet; thence leaving the centerline of Lake Boone Trail N43'28'00"W 58.51 feet to a point in the South line of a tract of land conveyed to Rex Hospital, Inc. in Book 3910, page 373, Wake County Records; thence along said Line the following five (5) courses and distances: 1) N01'02'33"E 188.07 feet, 2) N01'00'30"E 192.49 feet, 3) N04'38'E 68.03 feet, 4) N04'52'E 860.79; 5) Continuing along said line and the Southerly line of tract of land conveyed to Ridgecraft Condominiums in Book 8254, page 1697, Wake County Records, N05'33'00"E 825.06 feet to the Northwest corner of the tract of land conveyed to Rexview Medical & Professional Park in Book 11944, page 1637, Wake County Records; thence \$80'55'00"E 803.19 feet; along the West line of the Rexview Medical tract, to a point in the North line Meredith Wood Subdivision; thence along said line and the North line of a tract of land conveyed to Meredith Partners LLC in Book 13182, page 2639, Wake County Records, \$05'49'00"W 1827.02 feet to the point of Beginning.

SURVEYOR'S DESCRIPTION

Beginning at a point in the center of Lake Boone Trail, said point being N88'32'E 162.00 feet from intersection of Lake Boone Trail and Landmark Drive centerline, thence from point of Beginning along the centerline of Lake Boone Trail the 5 following courses and distances: \$85'52'W 413.31 feet, \$85'57'30'W 99.95 feet, \$89'36'10'E 99.38 feet, \$88'08'30'W 99.90 feet; thence leaving the centerline of Lake Boone Trail N43'28'W 58.81 feet to a point on the Rex Hospital, inc. Line; thence along the Rex Hospital, inc. Line the following courses and distances: \$10'12'53'E 168.07 feet to a found iron pipe, passing a concrete monument at 14.77 feet; \$10'100'30'E 192.80 feet to a found iron pipe, \$04'30'43'E 67.99 feet to a found iron pipe; \$10'4'9'27'E 861.29 feet to a found iron pipe, passing an iron pipe at 569.55 feet and 0.18 feet right; thence along the Rex Hospital, inc. and Ridgecroft Condominiums lines \$105'32'43'E} feet right; thence along the Rex Hospital, inc. and Ridgecroft Condominiums lines NO5'32'43'E 824.74 feet to a found iron pin with cap, passing a found iron pipe at 424.12; thence along the Olis Merritt et al line S80'55'14'E 803.69 feet to a found iron pipe on the Meredith Woods Subdivision Line; thence along the Meredith Woods Subdivision Line; thence along the Meredith Woods Subdivision Line; thence along the Meredith Woods Subdivision Line S05'50'27'W 1826.53 feet to the Point of Beginning, passing found iron pipes at 40.12 feet, 130.04 feet, 220.04 feet, 349.88 feet, 458.79 feet and 1786.97'.

Containing 34.31 acres, more or less.

2) Zoning furnished by governmental agent for informations.

3) Utilities shown are from above ground observation. Icoats subsurface utilities.

4) At time of inspection there was no observeable of

subject property.

5) A/C Units not shown.

6) Sanitary Sewer lines, as shown, extend past a dose not shown who maintains those lines.

7) There is no observed evidence of earth movin additions within recent months.

8) There is no observed evidence of site use as

NOT FOR RECORDATION

TITLE EXCEPTIONS

CHICAGO TITLE COMPANY, LLC No. 12-10781CH, Eff. Date: October 9, 2012

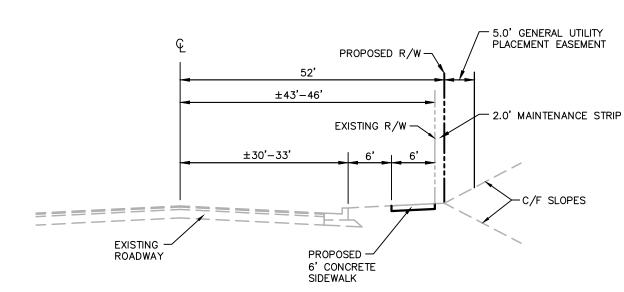
7. Any discrepancy, conflict, access, shortage, in area or boundary lines, encroachment, encumbrance, violation, variation, overlap, setback, easement or claims of easement, riparian right, and title to land within roads, ways, rairoads, watercourses, buriol grounds, marshes, dredged or filled areas or land below the mean highwater mark or within the bounds of any adjoining body of water, or other adverse circumstance affecting the Title that would be disclosed by a current inspection and accurate and complete land survey of the Land. Affects, but not plottable.

ZONING Office and Institution—1 Conditional Use
BUILDING HEIGHT 40' at the minimum setback line, plus one foot of
additional height for every one foot of additional setback.
Setbacks:
Front: 30'
Side: 5' Aggregate of 10'

Parking: Group housing, guest house, attached townhouse, multifamily dwelling, excluding duplex per efficiency dwelling unit — one (1) space per one bedroom dwelling unit — one and one half (1.5) spaces per two bedroom dwelling unit — two (2) spaces per three bedroom dwelling unit — two and one half (2.5) spaces per four or more bedroom dwelling unit — three (3) spaces plus one half (.5) space for each bedroom greater than four (4) bedrooms

REVISITED AND REVISED (9/30/04, 9/7/06, 11/22/08, 10/15/12) REF. DEED BOOK 3213, pg. 208 &ASSOCIATES, INC. OF N.C. ENGINEERS \* LAND SURVEYORS TAX MAP 0785.16-93-2086 201 2nd AVE. EAST PARTY CHIEF DRAWN HENDERSONVILLE, N.C. 28792 (828) 697–6539 Fax (828)–697–4195 DATE 11/7/01, 7/31/03, 12/20/03, 9/30/04, 10/15/12

# LANDMARK DRIVE TYPICAL SECTION



REX HOSPITAL, INC. D.B. 8254, PG. 1697 TMP 0785.16-83-3350

REX WAY

ZONING LINE, TYP.

THIS SHEET)

100' BUILD TO

(SEE ZONING EXHIBIT

-30' CITY OF RALEIGH PUBLIC SEWER EASEMENT

LOT 5

258,505 SF

5.93 AC.

PROPERTY LINE, TYP.

ZONE 2 BUFFER — TO BE RESTORED

TREE PROTECTION (TYP) -

LANDMARK DRIVE

(64' RIGHT-OF-WAY) (EX. 60' RIGHT-OF-WAY)

5.0' GENERAL UTILITY PLACEMENT EASEMENT

THE ASR AND CONCURRENT PLANS FOR

LOTS HAVE BEEN PLATTED. THE PHASE 1

THE CONCURRENT REVIEW PLANS WERE

**APPROVED AS TRANSACTION 444458.** 

LOTS ARE RECORDED IN BM 2015 PG 02011

PHASE 1 HAVE BEEN APPROVED AND THE

SANITARY SEWER EASEMENT

PEDESTRIAN ACCESS

PROTECTION (

LOT 6

59,957 SF

KF MERÉDITH LLC

DRUCKER & FALK LLC D.B. 9137, PG. 1 TMP 0795.13-02-3956

1.38 AC.

PROPOSED PRIVATE DRAINAGE EASEMENT

ZONE 2 BUFFER -TO BE RESTORED ZONING LINE, TYP

THIS SHEET) - PHASE LINE, TYP.

(SEE ZONING EXHIBIT

O' PEDESTRIAN ACCESS ESMT

SEWER EASEMENT

EX. 20.0' PUBLIC SANITARY

— ZONING LINE, TYP. (SEE ZONING EXHIBIT THIS SHEET)

# LAKE BOONE TRAIL TYPICAL SECTION

REX HOSPITAL, INC.

D.B. 3910, PG. 373 TMP 0785.20-82-7057

32,264 SF

38,101 SF

0.87 AC.

59,362 SF

1.36 AC.

5.0' GENERAL UTILITY PLACEMENT EASEMENT

LOT

39,991 SF

0.92 AC.

DRAINAGE EASEMENT

CITY OF RALEIGH 15' X 20' TRANSIT EASEMENT

0.74 AC.

EXISTING TRAIL LAKE BOONE TRAIL VARIABLE WIDTH RIGHT-OF-

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NANCY ANN DRIVE

SITE PLAN NOTES:

MINIMUM CORNER CLEARANCES FROM THE CURBLINE OF INTERSECTING STREETS SHALL BE AT LEAST 20' FROM THE POINT OF TANGENCY. NO DRIVEWAYS OR PARKING SPACES SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE. REFER TO SECTION 3.8 OF THE RALEIGH STREETS, SIDEWALKS, AND DRIVEWAY ACCESS HANDBOOK FOR ADDITIONAL DETAILS.

- WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN, NO OBSTRUCTION BETWEEN 2' AND 8' IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE. REFER TO SECTION 10-2086 OF THE RALEIGH CITY CODE FOR ADDITIONAL DETAILS.
- 3. MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT THE ORDINANCE APPROVAL BY THE CITY
- 4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- 5. ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926. SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER AND ENGINEER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS BY THE CONTRACTOR REŚPONSIBLE FOR THE DAMAGE.
- SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE COMPACTED TO STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

REX HOSPITAL, INC.

- TREE PROTECTION (TYP)

434,695 SF 9.98 AC.

PHASE 2

(FUTURE DEVELOPMENT)

DRAINAGE EASEMENT

DRAINAGE EASEMENT

5.0' GENERAL UTILITY

PLACEMENT EASEMENT

ZONE 2 OF NEUSE RIVER -

AND BEING AN EARTHEN DAM.

OF PHASE 2 AND 3.

BUFFER-NOT CREDITED TOWARDS
TCA DUE TO ITS TEMPORARY

CONDITION, EXISTING CONDITIONS,

POND TO BE DRAINED AS APART

ESTABLISHMENT OF NEW ZONE 2 WILL BE DOCUMENTED AT THAT

**PROPOSED** 

\64' R/W

PROPOSED

3**6**′ B–B

EX. 40' DRAINÀGE &

UTILITY EASEMENT

- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811 OR 1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL". REPORT ANY DISCREPANCIES TO THE ENGINEER
- 13. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PRIOR TO STARTING CONSTRUCTIC PROPERTY LINE, TYP. ONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE. WITH CITY OF RALEIGH EROSION CONTROL INSPECTIONS AND ENGINEERING INSPECTIONS.

TREE PROTECTION (TYP) -

ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

REX HOSPITAL, INC.

Lake

ZONING LINE, TYP.

THIS SHEET)

PROPERTY LINE.

5.0' GENERAL UTILITY
PLACEMENT EASEMENT

(SEE ZONING EXHIBIT

N/F ROTH

PHASE 2 (EX. 60' RIGHT-OF-

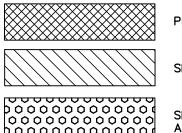
MAHONEY D.B.4681, PG. 860 TMP 0785.16-93-8473

# **GRADING NOTES:**

ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.

- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND
- 3. CONTRACTOR SHALL CALL "NORTH CAROLINA ONE CALL" (811 OR 1-800- 632-4949) AT LEAST 48 HOURS PRIOR TO MOBILIZATION TO HAVE EXISTING UTILITIES LOCATED. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- 4. ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. ACTUAL LOCATION AND DEPTH TO BE CONFIRMED IN FIELD BEFORE CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY PUBLIC RIGHT-OF-WAY, THE FOLLOWING PROCEDURES SHALL BE UNDERTAKEN: CITY RIGHT-OF-WAY: CONTACT PUBLIC WORKS DEPT. FOR INFORMATION AND INSTRUCTIONS FOR DETOURS, OPEN CUTTING OF STREETS, OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY.
- NCDOT RIGHT-OF-WAY: CONTACT PROJECT PUBLIC WORKS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON-SITE, ALSO CONTACT NCDOT DISTRICT OFFICE 24 HOURS IN ADVANCE OF PLACING CURB AND GUTTER).
- 6. ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE

# TREE CONSERVATION LEGEND

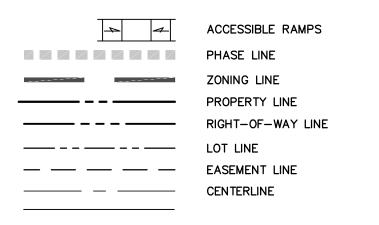


PRIMARY TREE CONSERVATION AREA

SECONDARY TREE CONSERVATION AREA

SECONDARY TREE CONSERVATION AREA-INDIVIDUAL TREES

# SITE LEGEND



——X——X——X—— FENCE

RIDGÉCROFT CONDOMINIUMS D.B. 8254, PG. 1697 TMP 0785.16-83-7863

TREE PROTECTION (TYP) -

- TREE PROTECTION (TYP)

356,515 SF 8.18 AC.

PHASE 3

(FUTURE DEVELOPMENT)

SEWER EASEMENT

DRAINAGE EASEMENT

20.0' EXISTING PUBLIC SANITARY

LANDMARK DRIVE (64' RIGHT-OF-WAY)

(EX. 60' RIGHT-OF-

TREE PROTECTION (TYP)

N/F SHEARIN

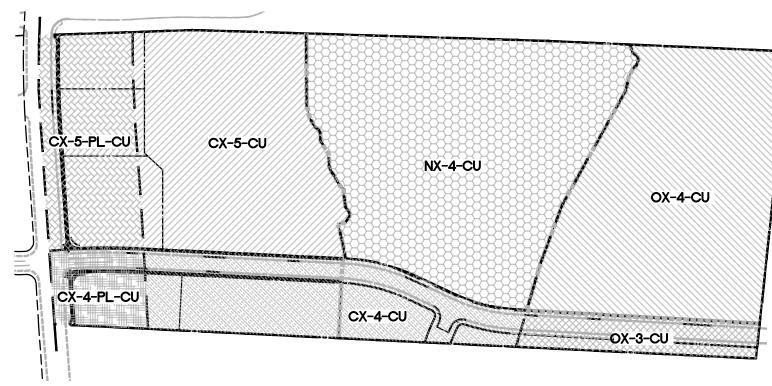
N/F STRUM

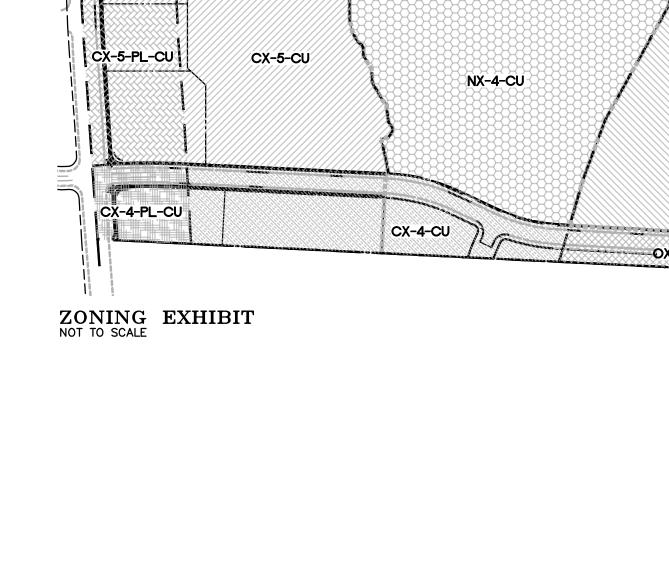
- DIP WATER MAINS SHALL BE INSTALLED AT A MINIMUM DEPTH WITH A MINIMUM COVER OF 36 INCHES. 2. ALL WATER MAINS AND FIRE SERVICES ARE TO BE DUCTILE IRON PIPE. DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER..
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM FROM EXISTING OR PROPOSED SEWERS.
- 4. WHEN A WATER MAIN CROSSES OVER A SEWER, A MINIMUM OF 24" VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDES OF THE PIPE.
- 5. WHEN IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN, A MINIMUM OF 24" VERTICAL SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDES OF THE PIPE AND BOTH MAINS SHALL BE CONSTRUCTED OF DUCTILE IRON INSTALLED TO WATER MAIN STANDARDS FOR AT LEAST 10 FEET ON EACH SIDE OF THE POINT OF
- 18" VERTICAL SEPARATION IS REQUIRED AT ALL WATER MAIN & STORM DRAINAGE CROSSINGS, AND 24" VERTICAL SEPARATION IS REQUIRED AT ALL SEWER MAIN & STORM DRAINAGE CROSSINGS. DIP MATERIALS & A CONCRETE CRADLE CAN BE SPECIFIED AT UTILITY & STORM CROSSINGS WHFRF STANDARD SEPARATIONS CANNOT BE ACHIEVED. PROVIDED THAT A 6" MINIMUM SEPARATION IS MAINTAINED.
- 7. PRESSURE REDUCING VALVE SHALL BE PROVIDED IF SERVICE PRESSURE IS IN EXCESS OF 80 PSI.
- 8. ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 2'Wx2'L PUBLIC UTILITY EASEMENT ONTO ADJACENT
- 9. ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. ACTUAL LOCATION AND DEPTH TO BE CONFIRMED IN FIELD BEFORE CONSTRUCTION.
- 10. UTILITY SLEEVES SHALL BE PVC (SCH. 40). INSTALL WITH 2' MINIMUM COVER. CAP AND MARK BOTH ENDS.

# SITE DATA TABLE

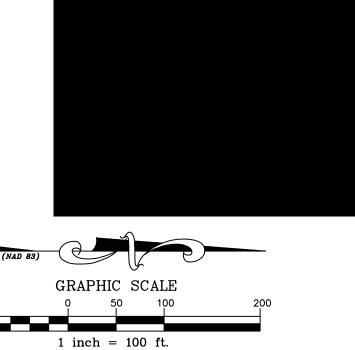
RIGHT OF WAY DEDICATED = 0.38 AC RIGHT OF WAY ABANDONED = 1.97 AC NET SITE AREA = 30.65 AC	
LOT 1 0.92 AC 39,991 SF LOT 2 1.36 AC 59,362 SF LOT 3 0.87 AC 38,101 SF LOT 4 0.74 AC 32,264 SF LOT 5 5.93 AC 258,505 SF LOT 6 1.38 AC 59,957 SF LOT 7 9.98 AC 434,695 SF LOT 8 N/A (COMBINED WITH LOT LOT 9 0.68 AC 29,486 SF LOT 10 N/A (COMBINED WITH LOT LOT 11 8.18 AC 356,515 SF LOT 12 0.60 AC 26,205 SF TOTAL = 30.65 AC 1,335,081 SF	7) 11

SEE DEMOLITION PLAN FOR EXISTING RIGHT OF WAY TO BE REMOVED LOCATION.





THE VILLAGES OF LAKE BOONE TRAIL PRELIMINARY SUBDIVISION PLAN WAS PREVIOUSLY PREPARED BY THE MCADAMS COMPANY AND APPROVED BY THE CITY OF RALEIGH ON MAY 18, 2105 AS CASE NO. S-50-14. THIS SUBMITTAL IS FOR A SUNSET EXTENSION AND REVISION. A SUMMARY OF THE REVISIONS IS INCLUDED ON THE COVER SHEET. MOST OF THE INFORMATION **INCLUDED ON THIS SHEET WAS ORIGINALLY PREPARED** BY THE MCADAMS COMPANY. BNK MADE REVISIONS AS NEEDED FOR THE SUNSET EXTENSION AND REVISION REQUEST AND TO ADDRESS THE CITY OF RALEIGH COMMENTS.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

OJECT NO. TBR-14000 FILENAME: TBR14000-OAS1 ESIGNED BY: RSS 1"=100'

03-31-2015

ribridge 1575 No Building Atlanta

**MCADAMS** 

ADDITIONAL UTILITY NOTES

- ALL WATER MAINS AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
- 2. ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES
- HANDBOOK AND/OR UNIFIED DEVELOPMENT ORDINANCE (UDO).

  ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 3'Wx3'L CITY OF
- RALEIGH WATERLINE EASEMENT ONTO ADJACENT PROPERTY.
- ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. ACTUAL LOCATION AND DEPTH TO BE CONFIRMED IN FIELD BY CONTRACTOR BEFORE CONSTRUCTION
- 5. PRIVATE IRRIGATION MAINS WILL BE INSTALLED OUTSIDE OF THE RIGHT-OF-WAY.
  WHEN THE PRIVATE IRRIGATION MAINS CROSS PUBLIC RIGHT-OF-WAY, A DUCTILE
  IRON SLEEVE WILL BE INSTALLED TO CONVEY THE PRIVATE IRRIGATION PIPE.
  ON-SITE STORMWATER MANAGEMENT PONDS SERVE AS WATER SUPPLY FOR PRIVATE
  IRRIGATION MAINS. AN ENCROACHMENT AGREEMENT MUST BE OBTAINED FROM CITY
  OF RALEIGH PUBLIC WORKS DEPARTMENT FOR ANY ENCROACHMENT OF PRIVATE
  IRRIGATION SYSTEM INTO PUBLIC RIGHT-OF-WAY.
- . RECLAIMED (REUSE) WATER MAINS SHALL BE PURPLE (PANTONE 522) PVC (C-900), UNLESS NOTED OTHERWISE ON THE PLANS.
- 7. ALL SANITARY SEWER INTERCEPTOR LINES (12" AND LARGER), AS WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE INTERCEPTOR LINE, SHALL BE INTERNALLY LINED WITH PROTECTO 401 OR APPROVED EQUAL TO PREVENT HYDROGEN SULFIDE CORROSION. SEE THE CURRENT CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK FOR APPROVED COATINGS AND APPLICATION METHODS.
- HYDRANT LOCATIONS WILL BE 4 FEET FROM BACK OF CURB (AS SHOWN ON THESE PLANS) ALONG STREET A, STREET B AND PERRY CREEK ROAD. HYDRANTS ALONG THE REMAINDER OF THE STREETS SHALL BE PLACED BEHIND THE SIDEWALK, OUTSIDE THE RIGHT-OF-WAY IN A 3'x3' CITY OF RALEIGH WATERLINE EASEMENT (AS SHOWN ON THESE PLANS), PER THE CITY OF RALEIGH DETAIL W-4. NO PARKING SIGNS WILL BE INSTALLED 15 FEET EITHER SIDE OF THE FIRE HYDRANT.
- 9. TRACER WIRE REQUIRED FOR WATER & SEWER AS PER CITY OF RALEIGH STANDARDS.



**⋋**Щ.

COMMENTS
CITY OF RALEIGH COMMENTS
CITY OF RALEIGH COMMENTS

TSIONS:
PER CITY OF RALEIGH

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996—2409, and the Public Utilities Department at (919) 996—4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

**ATTENTION CONTRACTORS** 

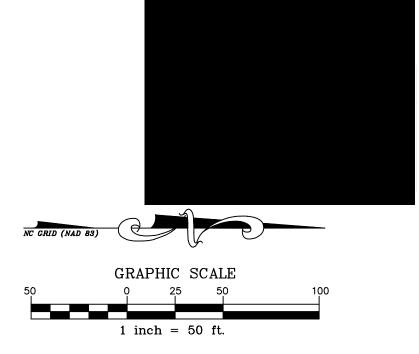
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a <u>Fine and Possible Exclusion</u> from future work in the City of Raleigh.

# UTILITY LEGEND

		_	
**	FIRE HYDRANT ASSEMBLY	•	YARD LIGHTS
**	FIRE DEPARTMENT CONNECTION (FDC)	*	LIGHT POLE
	WATER METER	au	
H	WATER VALVE	<b>D</b>	POWER POLE
<b>₩</b> PIV	POST INDICATOR VALVE	$\sim$	LINE BREAK SYMBOL
$oldsymbol{\Theta}$	VALVE IN MANHOLE		WATERLINE
	METER & VAULT	•	WATER SERVICE LINE
N	BACKFLOW PREVENTER		UTILITY SLEEVE
<b>◀</b>	REDUCER		SANITARY SEWER
ш	PLUG		SEWER SERVICE LINE
⊶—	BLOW-OFF ASSEMBLY	—G—G—G—	GAS LINE
		OUOU	OVERHEAD UTILITY
	SANITARY SEWER MANHOLE	———UE ———	UNDERGROUND ELECTRIC
•	SEWER CLEAN-OUT	—T—T—T—	TELEPHONE
			EASEMENT LINE
• •	GREASE TRAP		PHASE LINE
>	SEWER FLOW DIRECTION ARROW		ZONING LINE

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ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

PROJECT NO. TBR-14000
FILENAME: TBR140000-U1
DESIGNED BY: RSS

ESIGNED BY: RSS

RAWN BY:

CALE: 1"=50'

ATE: 03-31-2015

C-9

McAdams

