



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

515 N BLOUNT STREET

Address

BLOUNT STREET

Historic District

LEWIS-SMITH HOUSE

Historic Property

016-15-MW

Certificate Number

2/4/2015

Date of Issue

8/4/2015

Expiration Date

Project Description:

- Changes to previously approved COA 006-13-CA:
- sidewalk, parking, and access lift reconfiguration;
- front door color change;
- replace front porch floor and column bases;
- add extra set of stairs at rear;
- new shrubs

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.



Planning & Development

Development Services Customer Service Center

One Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-516-2495
 Fax 919-516-2685

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



RALEIGH HISTORIC DEVELOPMENT COMMISSION

- Minor Work (staff review) – 1 copy**
- Major Work (COA Committee review) – 14 copies**
 - Most Major Work Applications
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 421665
 File # 016-15-MW
 Fee 29-
 Amt Paid 29-
 Check # 20980 + \$1-
 Rec'd Date 11/30/15
 Rec'd By TOWN

If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address	515 North Blount Street		
Historic District	Blount Street Historic District		
Historic Property/Landmark name (if applicable)	Lewis-Smith House		
Owner's Name	J.T. Hobby & Son, Inc		
Lot size	0.32 Acre	(width in feet)	81.25 Feet
		(depth in feet)	189.25 Feet

For applications that require review by the COA Committee (Major Work), list all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property):

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

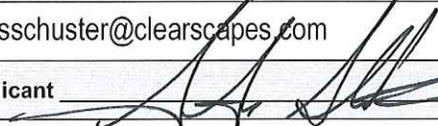
Applicant Owners Agent: Steven D. Schuster FAIA

Mailing Address 311-200 West Martin Street

City Raleigh State North Carolina Zip Code 27601

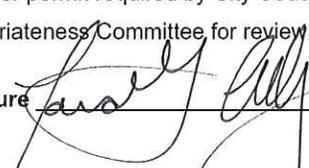
Date January 30, 2015 Daytime Phone 919-821-2775

Email Address sschuster@clearscapes.com

Signature of Applicant 

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 8/4/15. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature  Date 8/4/15

Project Categories (check all that apply):

Exterior Alteration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work 89, 57, 59, 51

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
2.3.5 & 2.3.9	SITE PLANTINGS	RECONFIGURATION OF HEDGES TO PROVIDE EQUIPMENT & LIFT SCREENING & DEFERMENT OF LANDSCAPING MASTERPLAN FOR FUTURE CoA SUBMITTAL
2.5	WALKWAYS, DRIVEWAYS, & PARKING	REAR & FRONT PARKING REWORKED FOR VAN ACCESSIBILITY PARKING AND PARKING LEVEL ACCESS FROM REAR ADDITION LEVEL ENTRY
3.7.5	DOORS	EVIDENCE OF EXTANT FRONT DOOR VARNISH FINISH DISCOVERED DURING DEMO PHASE TO BE RESTORED
3.8.4	ENTRANCES, PORCHES, & BALCONIES	DETERIORATED FRONT PORCH DECKING AND COLUMN BASES TO BE REPLACED AND PAINTED TO MATCH EXISTING PROFILES AND DIMENSIONS
3.11	ACCESSIBILITY	RECONFIGURATION OF THE FRONT ENTRANCE WHEELCHAIR LIFT TO ACCOMMODATE MAKE AND MODEL
Changes to previously approved 006-13-CA CoA, and Landscape Master		

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p style="text-align: center;">SEE ATTACHED IMAGES (4 SHEETS 8.5x11) & WHEELCHAIR LIFT CUT SHEET</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 14 copies</p>					
<p>1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.).</p> <p style="text-align: center;">SEE SHEET A099 & A202</p>	<input checked="" type="checkbox"/>				
<p>2. Description of materials (Provide samples, if appropriate).</p>	<input checked="" type="checkbox"/>				
<p>3. Photographs of existing conditions</p> <p style="text-align: center;">SEE ATTACHED IMAGES (4 SHEETS 8.5x11)</p>	<input checked="" type="checkbox"/>				
<p>4. Paint Schedule (if applicable)</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
<p>5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.</p> <p style="text-align: center;">SEE SHEET A099</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
<p>6. Drawings showing proposed work</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Plan drawings SEE SHEETS A100, A101 <input checked="" type="checkbox"/> Elevation drawings SEE SHEETS A200, A201 & A202 <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input checked="" type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
<p>7. Fee (See Development Fee Schedule) MINOR WORK (\$28)</p>	<input checked="" type="checkbox"/>				

Lewis-Smith House

515 North Blount Street, Raleigh, NC 27604

Minor Work CoA Application 2015.01.30 p4/15

MINOR WORK CoA APPLICATION 2015.01.30

THERE IS EVIDENCE OF AN ORIGINAL VARNISH FINISH ON THE FRONT DOOR
THERE DOES NOT APPEAR TO BE A LAYER OF PAINT BELOW THE VARNISH LAYER

IT IS OUR INTENT TO STRIP THE EXISTING PAINT FINISH OFF AND RESTORE THE ORIGINAL VARNISH FINISH



EXISTING VARNISH FINISH AT FRONT DOOR

Lewis-Smith House

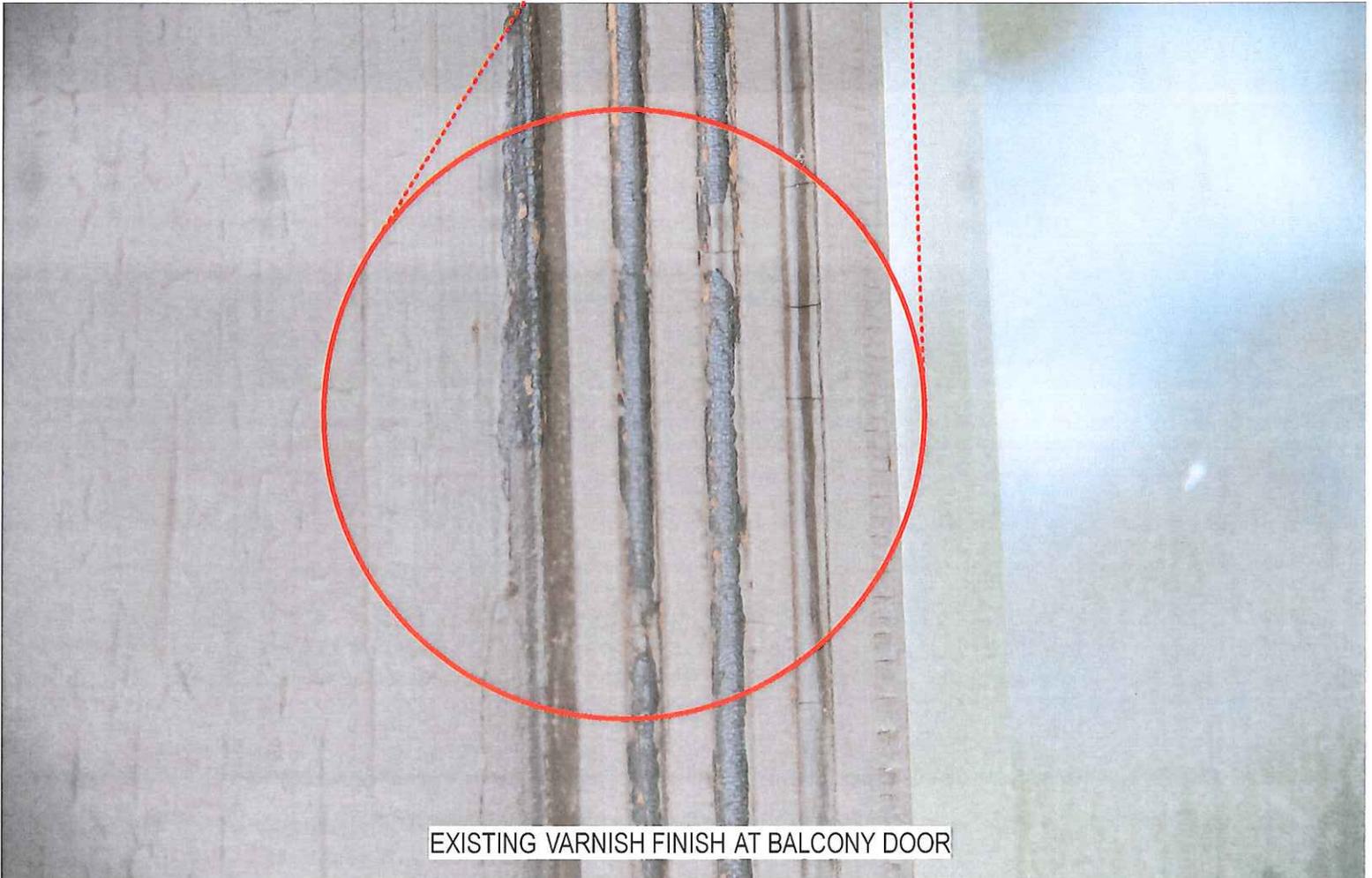
515 North Blount Street, Raleigh, NC 27604

Minor Work CoA Application 2015.01.30 p5/15

THERE IS EVIDENCE OF AN ORIGINAL VARNISH FINISH ON THE SECOND FLOOR BALCONY DOOR, ESPECIALLY EVIDENT ALONG THE FLUTING OF THE DOOR LITE TRIM.

THERE DOES NOT APPEAR TO BE A LAYER OF PAINT BELOW THE VARNISH LAYER

IT IS OUR INTENT TO STRIP THE EXISTING PAINT FINISH OFF AND RESTORE THE ORIGINAL VARNISH FINISH



EXISTING VARNISH FINISH AT BALCONY DOOR

Lewis-Smith House

515 North Blount Street, Raleigh, NC 27604

Minor Work CoA Application 2015.01.30 p6/15

THE EXISTING WOOD DECK IS DETERIORATED BEYOND REPAIR AT THE EXPOSED ENDGRAIN BOARDS.

A NEW PAINTED WOOD DECK WILL BE INSTALLED TO MATCH THE EXISTING WOOD DECK. ORIGINAL PROFILE AND BOARD ORIENTATION WILL BE PRESERVED.

COLUMN BASES AT THE FRONT PORCH AND BALCONY ARE ALSO DETERIORATED AND OF INFERIOR CRAFT COMPARED TO THE EXTANT WOODWORK OF THE PORCH AND BALCONY.

NEW WOOD BASES WILL BE FABRICATED TO MATCH THE EXISTING BASE FRAGMENT KEPT BY NCSHPO, FROM THE 1970s ERA RELOCATION AND RENOVATION.



EXISTING BALCONY COLUMN BASE DETERIORATION



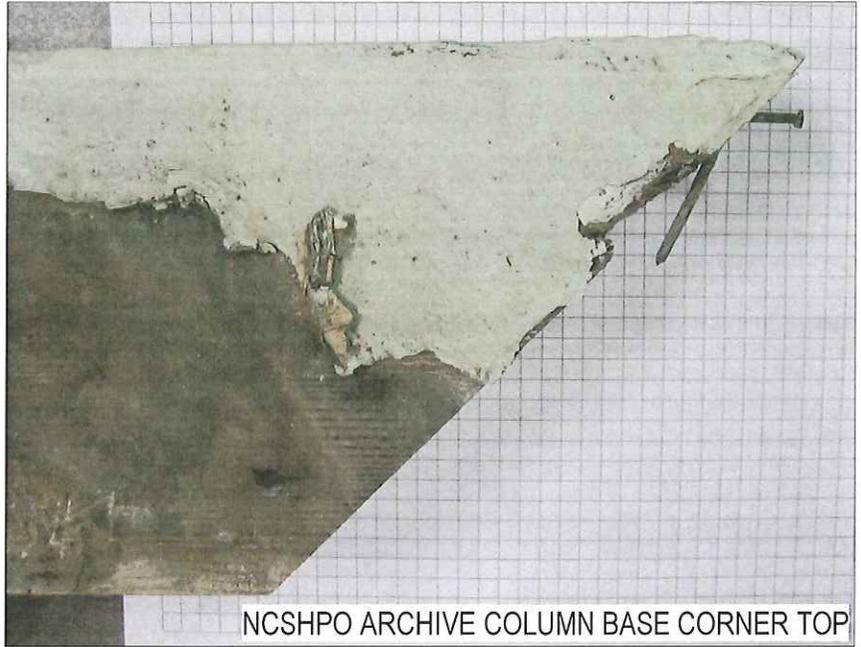
EXISTING FRONT PORCH DECK AND COLUMN BASE DETERIORATION

Lewis-Smith House

515 North Blount Street, Raleigh, NC 27604

Minor Work CoA Application 2015.01.30 p7/15

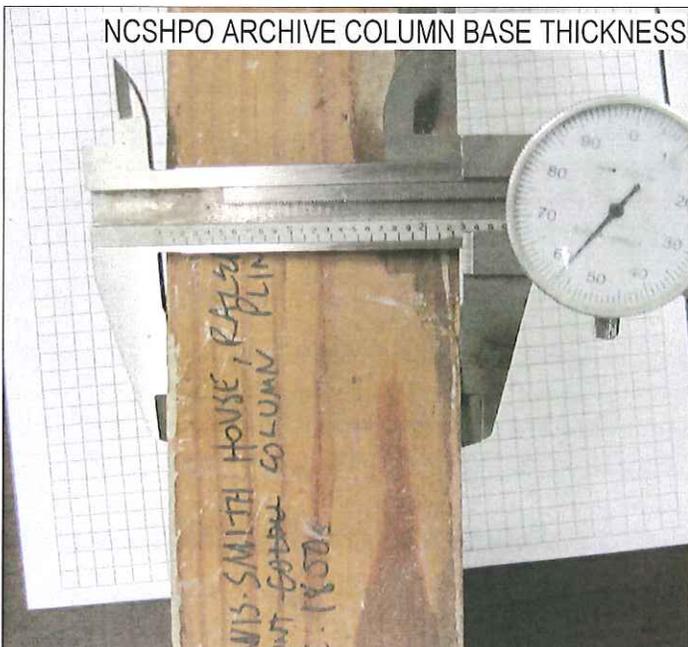
NCSHPO ARCHIVE SAMPLE OF LEWIS SMITH HOUSE COLUMN BASE, FROM THE 1970s ERA RELOCATION AND RENOVATION. REPRODUCED HERE FOR RECORD.



NCSHPO ARCHIVE COLUMN BASE CORNER TOP



NCSHPO ARCHIVE COLUMN BASE OUTSIDE LENGTH



NCSHPO ARCHIVE COLUMN BASE THICKNESS



NCSHPO ARCHIVE COLUMN BASE WIDTH



GENESIS OPAL

UNENCLOSED VERTICAL PLATFORM LIFT



The Garaventa Genesis OPAL model is a reliable, cost effective accessibility solution. This ADA compliant lift is for indoor or outdoor use, and for public or private buildings with lifting heights up to 5 feet (commercially). This lift is a short rise vertical elevating system that can be installed directly on the floor or in a pit. The OPAL consists of a platform with 1100mm (43") high side walls, an upper gate, a platform mounted lower landing gate, a drive system and easy-to-use operating controls. The platform walls and the lower platform gate travel with the platform creating a barrier around the passenger.

Note: The installation of unenclosed platform lifts for public building use varies depending on local codes and the type of application. Contact your local Garaventa Lift dealer for information regarding the use of this product in your area.

Lewis-Smith House

515 North Blount Street, Raleigh, NC 27604

Minor Work CoA Application 2015.01.30 p9/15

GENESIS OPAL



Need Design Assistance?

Call your local Garaventa Lift representative or our Design Hotline at 1.800.663.6556

TECHNICAL INFORMATION

Rated Load of 340 kg (750 lbs)

	Standard	Optional
Platform size	914mm x 1242mm (36" x 48 7/8")	Mid-Size Platform: 914mm x 1394mm (36" x 54 7/8")* Large Platform: 1100mm x 1546mm (43 1/4" x 60 7/8")*
Configuration	Straight through entry/exit	90° entry/exit
Warranty	2 years	Five additional years (*Contact Garaventa)
Accessories	Keyless operation Grabrail on platform side wall Audible Illuminated Emergency Stop/ Alarm Switch	Autodialer phone Emergency battery lowering (Leadscrew drive only) Illuminated and tactile directional buttons Power gate operator Keyed call station and platform controls Stationary loading ramp or platform mounted automatic folding ramp for installations without a pit Electrical disconnect
Drive System	Leadscrew: 2 HP motor, travel speed at 3 meters (10 ft) per minute. Hydraulic: 3 HP motor Continuous Mains Powered with an auxiliary power system. Lift travels at 5.2 meters (17 ft) per minute.	Hydraulic (full time battery operation): 3 HP 24VDC hydraulic motor lifts the platform at 5.2 meters (17 ft) per minute.

Power Requirements

Leadscrew:
(Limited to residential use in Canada)
North America: 120 VAC single phase on a dedicated 20 amp circuit
International: 208-240 VAC single phase on a dedicated 16 amp circuit

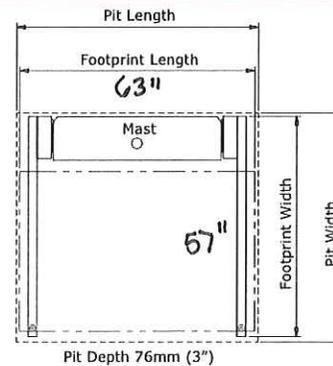
Hydraulic:
North America: 120 VAC single phase on a dedicated 15 amp circuit
International: 208-240 VAC single phase on a dedicated 15 amp circuit

Finishes:

Steel panels and framework are finished with electrostatically applied baked fine textured satin grey paint. The panels, gates and mast are framed with champagne anodized aluminum extrusions.

Footprint/ Clearance Dimensions

Straight Through Entry / Exit				
Platform Size	Footprint Width	Footprint Length	Pit Width	Pit Length
Standard	1258mm (49 1/2")	1296mm (51")	1319mm (52")	1334mm (52 1/2")
Mid-Size	1258mm (49 1/2")	1448mm (57")	1319mm (52")	1493mm (58 1/2")
Large	1445mm (56 7/8")	1600mm (63")	1508mm (59 3/8")	1645mm (64 1/2")
90° Entry / Exit				
Large	1445mm (56 7/8")	1600mm (63")	1464mm (57 5/8")	1683mm (66 1/4")



*If a pit is used, recommended depth is 76mm (3"). Pit width and length include running clearances.

Contact us today

Phone: +1 604 594-0422
Toll Free: 1 800 663 6556
Web site: www.garaventlift.com

Printed in Canada
15806-N-PB

© Garaventa Lift. As we are continuously improving our products, specifications outlined in this brochure are subject to change without notice.

Authorized Garaventa Lift Representative

BASIS OF DESIGN

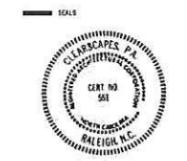
Per Approved COA

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919.821.0804 fax
artarc@clearscapes.com

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919.833.0495

PIE/FA Consultants
Crenshaw Consulting Engineers
3516 Bush Street
Raleigh, NC 27609
919.871.1070

HVAC Consultants
Finish Line Engineering PLLC
PO Box 98802
Raleigh, NC 27624
919.896.4389



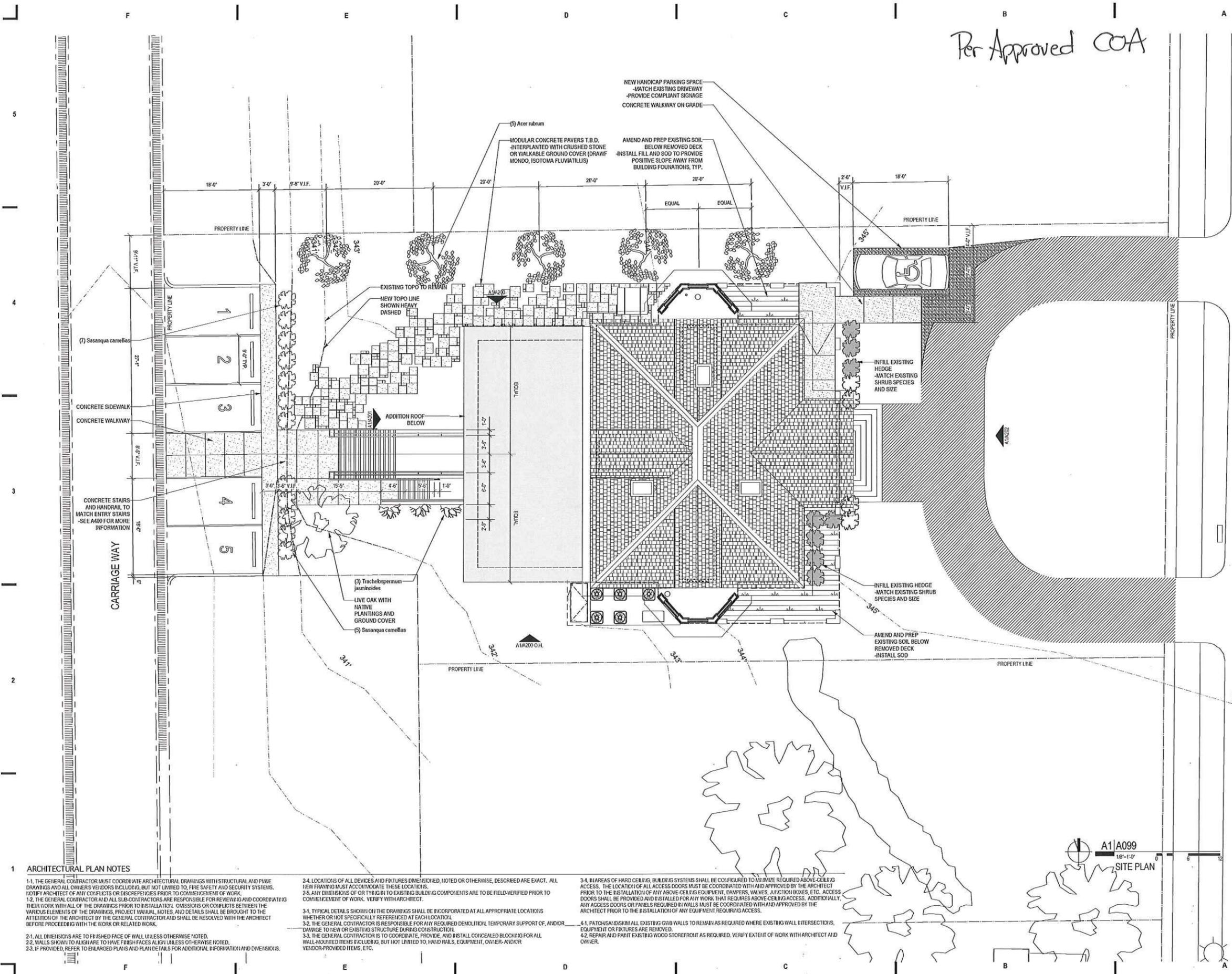
Issue for Permit
Oct. 24, 2013

PROJECT
Lewis-Smith House
Alterations
515 N. Blount St.,
Raleigh, NC

REV.	REVISIONS	DATE OF REVISION

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DATE:	2013.10.24
DRAWN:	BTL
CHECKED:	SDS
FILENAME:	110180_1300702_BaseM&L.rvt
PROJECT NO.:	2011_0180
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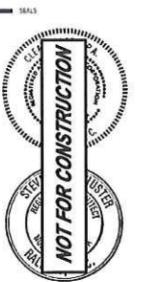
SHEET DATA
Site Plan
A099



- 1 ARCHITECTURAL PLAN NOTES**
- 1.1. THE GENERAL CONTRACTOR MUST COORDINATE ARCHITECTURAL DRAWINGS WITH STRUCTURAL AND PAVE DRAWINGS AND ALL OWNERS VENDORS INCLUDING, BUT NOT LIMITED TO, FIRE SAFETY AND SECURITY SYSTEMS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
 - 1.2. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE DRAWINGS PRIOR TO INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS, PROJECT MANUAL NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR AND SHALL BE RESOLVED WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORK OR RELATED WORK.
 - 2.1. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
 - 2.2. WALLS SHOWN TO ALIGN ARE TO HAVE FINISH FACES ALIGHT UNLESS OTHERWISE NOTED.
 - 2.3. IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS.
 - 2.4. LOCATIONS OF ALL DEVICES AND FIXTURES DIMENSIONED, NOTED OR OTHERWISE, DESCRIBED ARE EXACT. ALL NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.
 - 2.5. ANY DIMENSIONS OF OR TYING IN TO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK. VERIFY WITH ARCHITECT.
 - 3.1. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.
 - 3.2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW OR EXISTING STRUCTURE DURING CONSTRUCTION.
 - 3.3. THE GENERAL CONTRACTOR IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HAND RAILS, EQUIPMENT, OUTLET AND/OR VENDOR-PROVIDED ITEMS, ETC.
 - 3.4. AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.
 - 4.1. PATCHES/ADDS/REPAIR ALL EXISTING GWB WALLS TO REMAIN AS REQUIRED WHERE EXISTING WALL INTERSECTIONS, EQUIPMENT OR FIXTURES ARE REMOVED.
 - 4.2. REPAIR AND PAINT EXISTING WOOD STOREFRONT AS REQUIRED. VERIFY EXTENT OF WORK WITH ARCHITECT AND OWNER.

A1/A099
1/8"=1'-0"
SITE PLAN

NORTH BLOUNT STREET



Lewis-Smith House
515 North Blount Street, Raleigh, NC 27604
Minor Work CoA Application 2015.01.30.p1015

PROJECT
Lewis-Smith House
Alterations

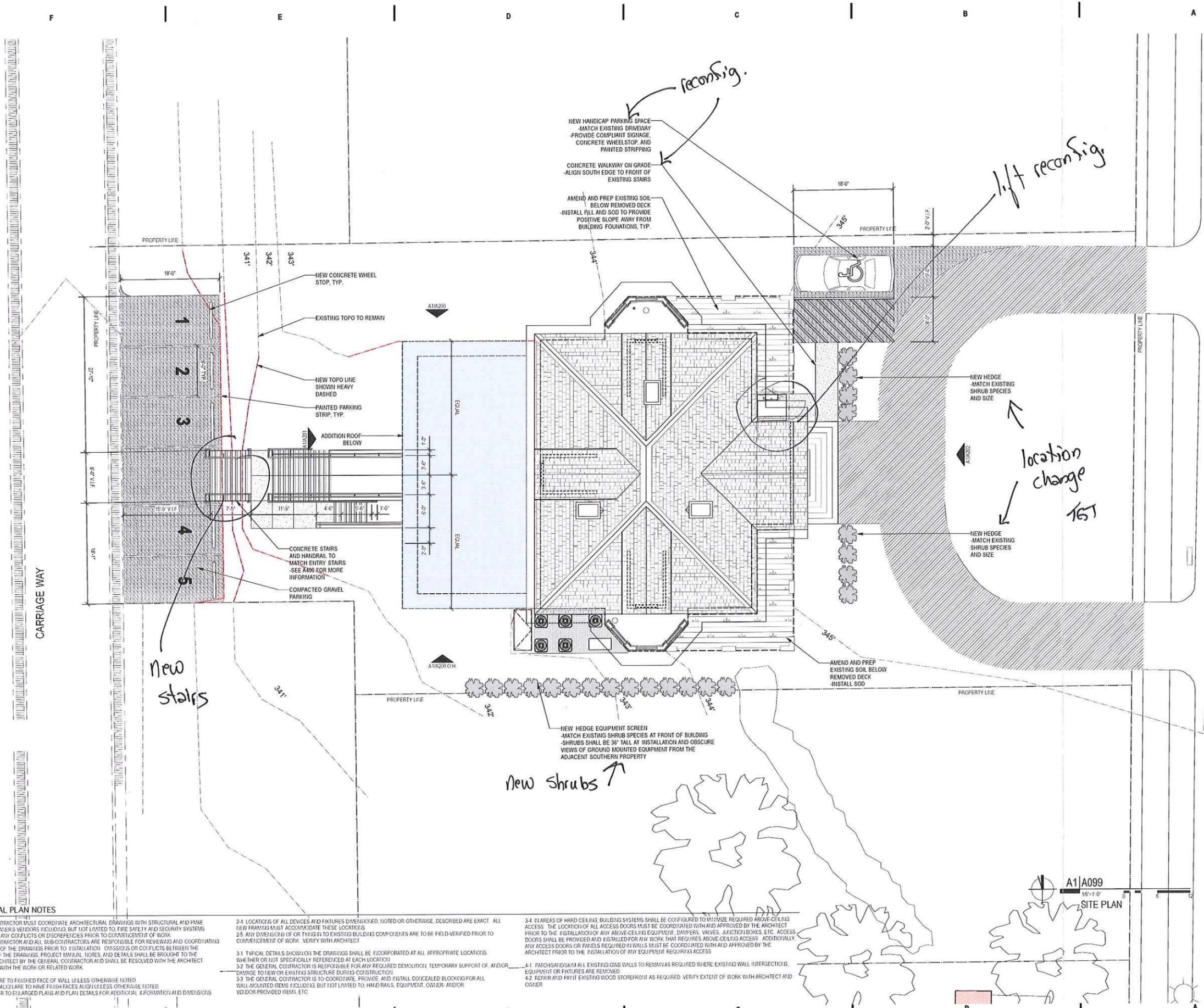
515 N. Blount St.,
Raleigh, NC

NO.	DATE OF REVISION

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CHECKED:	SDS
FILENAME:	110180_1300702_BaseMod.vwx
PROJECT NO.:	2011_0180
PRINTING:	CoA Appln

SHEET DATA
Site Plan

SHEET NO.
A099



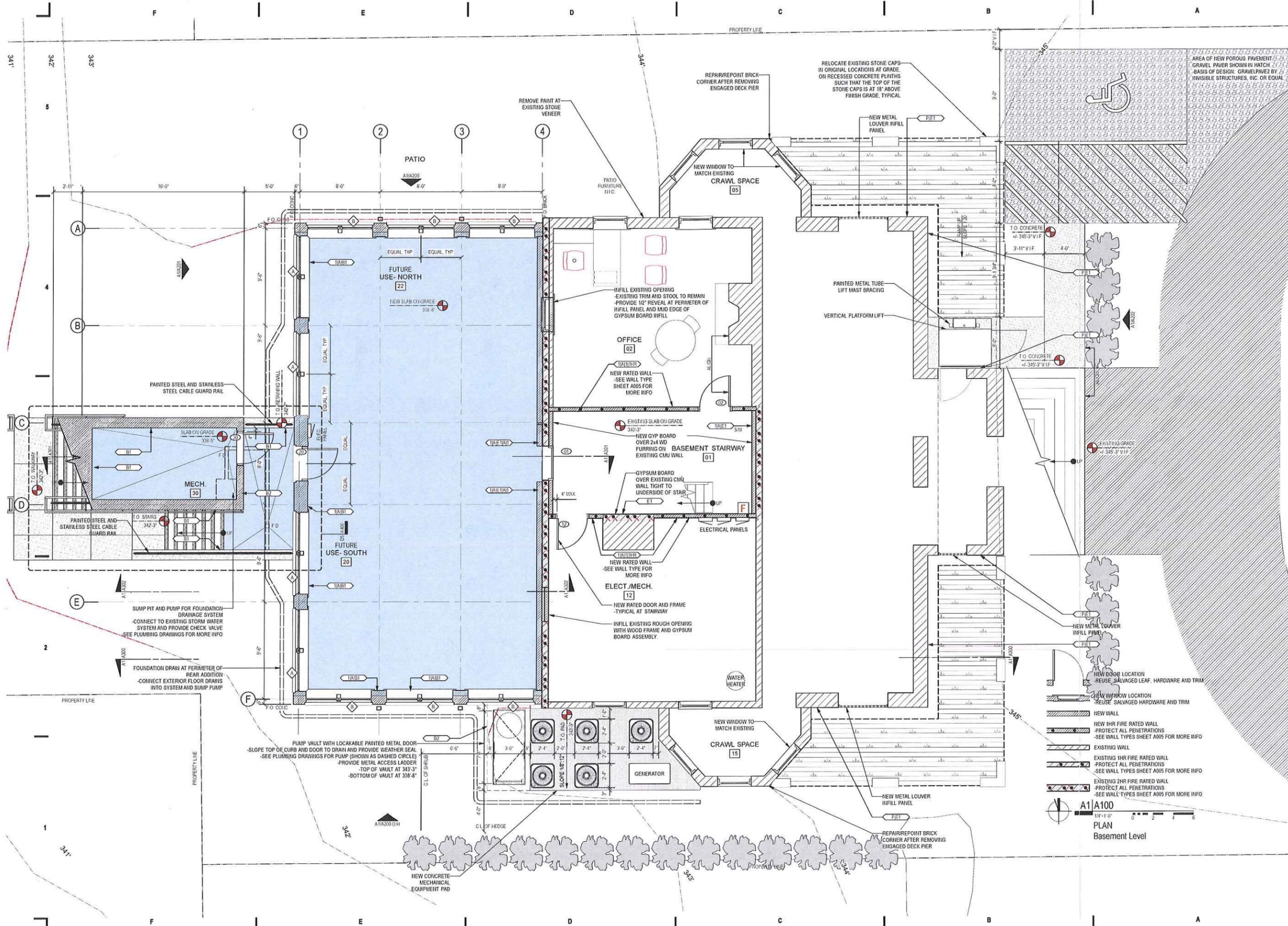
ARCHITECTURAL PLAN NOTES

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2-3 IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS.

2-4 LOCATIONS OF ALL DEVICES AND FIXTURES DIMENSIONED, NOTED OR OTHERWISE, DESCRIBED ARE EXACT. ALL NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.
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3-3 THE GENERAL CONTRACTOR IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL-MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO, HAND RAILS, EQUIPMENT, OWNER, AND/OR VENDOR PROVIDED ITEMS, ETC.

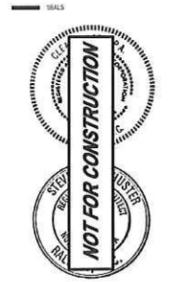
3-4 IN AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT. DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ALL WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.
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4-2 REPAIR AND PAINT EXISTING WOOD STOREFRONT AS REQUIRED. VERIFY EXTENT OF WORK WITH ARCHITECT AND OWNER.

A1/A099
1/8"=1'-0"
SITE PLAN



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Lewis-Smith House
613 North Blount Street, Raleigh, NC 27604
Minor Work, Osh Application 2015.01.30 p11115

PROJECT
Lewis-Smith House
Alterations
515 N. Blount St.,
Raleigh, NC

REVISIONS
NO. DATE OF REVISION

PROJECT DATA
DATE: 2015.01.30
DRAWN: BTL
CHECKED: SDS
FILENAME: 110180_1306702_BaseMtlvwx
PROJECT NO: 2011_0180
PRINTING: CoA AppItm

SHEET DATA
Plan
Basement Level
SHEET NO.
A100

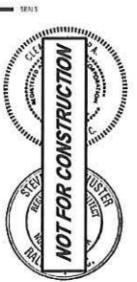
A1 A100
1/4" = 1'-0"
PLAN
Basement Level

CONSULTANTS

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PIEFA Consultants
 Creechaw Consulting Engineers
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HVAC Consultants
 Finish Line Engineering PLLC
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 Raleigh, NC 27624
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Lewis-Smith House
 515 North Blount Street, Raleigh, NC 27604
 Your Work, Our Application 2015.01.30.p1315

PROJECT

Lewis-Smith House
 Alterations

515 N. Blount St.,
 Raleigh, NC

REVISIONS

NO DATE OF REVISION

PROJECT DATA

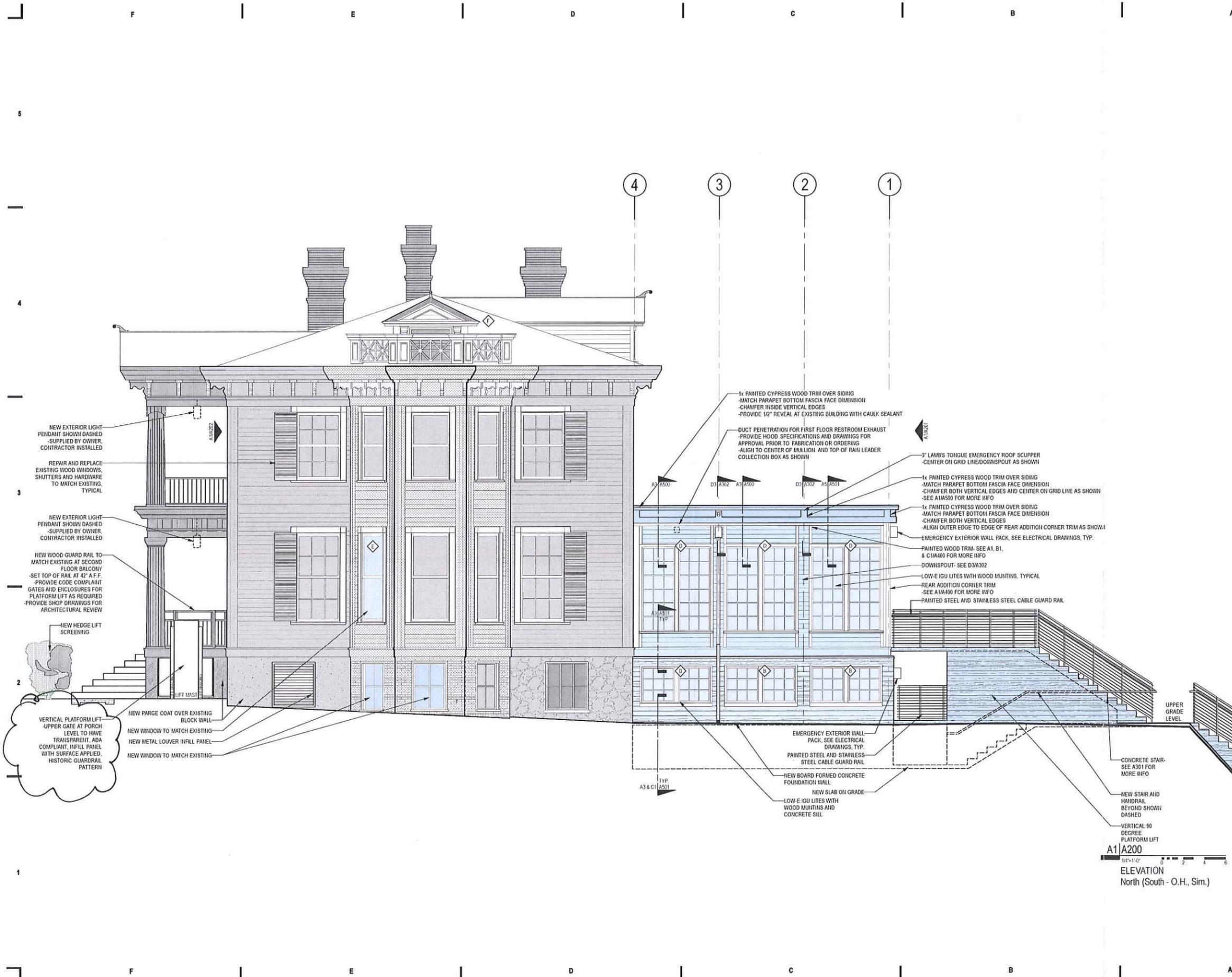
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PROJECT NO.:	2011_0180
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SHEET DATA

Architectural Elevations
 North

SHEET NO.

A200



5
4
3
2
1

F | E | D | C | B | A

4 | 3 | 2 | 1

NEW EXTERIOR LIGHT PENDANT SHOWN DASHED - SUPPLIED BY OWNER, CONTRACTOR INSTALLED

REPAIR AND REPLACE EXISTING WOOD WINDOWS, SHUTTERS AND HARDWARE TO MATCH EXISTING, TYPICAL

NEW EXTERIOR LIGHT PENDANT SHOWN DASHED - SUPPLIED BY OWNER, CONTRACTOR INSTALLED

NEW WOOD GUARD RAIL TO MATCH EXISTING AT SECOND FLOOR BALCONY - SET TOP OF RAIL AT 42" A.F.F. - PROVIDE CODE COMPLIANT GATES AND ENCLOSURES FOR PLATFORM LIFT AS REQUIRED - PROVIDE SHOP DRAWINGS FOR ARCHITECTURAL REVIEW

NEW HEDGE LIFT SCREENING

VERTICAL PLATFORM LIFT - UPPER GATE AT PORCH LEVEL TO HAVE TRANSPARENT, ADA COMPLIANT, INFILL PANEL WITH SURFACE APPLIED, HISTORIC GUARDRAIL PATTERN

NEW PARGE COAT OVER EXISTING BLOCK WALL

NEW WINDOW TO MATCH EXISTING

NEW METAL LOUVER INFILL PANEL

NEW WINDOW TO MATCH EXISTING

1x PAINTED CYPRESS WOOD TRIM OVER SIDING
 -MATCH PARAPET BOTTOM FASCIA FACE DIMENSION
 -CHAMFER INSIDE VERTICAL EDGES
 -PROVIDE 1/2" REVEAL AT EXISTING BUILDING WITH CAULK SEALANT

DUCT PENETRATION FOR FIRST FLOOR RESTROOM EXHAUST
 -PROVIDE HOOD SPECIFICATIONS AND DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OR ORDERING
 -ALIGN TO CENTER OF MULLION AND TOP OF RAIN LEADER COLLECTION BOX AS SHOWN

3" LAMB'S TONGUE EMERGENCY ROOF SCUPPER
 -CENTER ON GRID LINE/DOWNSPOUT AS SHOWN

1x PAINTED CYPRESS WOOD TRIM OVER SIDING
 -MATCH PARAPET BOTTOM FASCIA FACE DIMENSION
 -CHAMFER BOTH VERTICAL EDGES AND CENTER ON GRID LINE AS SHOWN
 -SEE A1A500 FOR MORE INFO

1x PAINTED CYPRESS WOOD TRIM OVER SIDING
 -MATCH PARAPET BOTTOM FASCIA FACE DIMENSION
 -CHAMFER BOTH VERTICAL EDGES
 -ALIGN OUTER EDGE TO EDGE OF REAR ADDITION CORNER TRIM AS SHOWN

EMERGENCY EXTERIOR WALL PACK, SEE ELECTRICAL DRAWINGS, TYP.

PAINTED WOOD TRIM, SEE A1, B1, & C1A400 FOR MORE INFO

DOWNSPOUT - SEE D3A302

LOW-E IGU LITES WITH WOOD MUNTINS, TYPICAL

REAR ADDITION CORNER TRIM
 -SEE A1A400 FOR MORE INFO

PAINTED STEEL AND STAINLESS STEEL CABLE GUARD RAIL

EMERGENCY EXTERIOR WALL PACK, SEE ELECTRICAL DRAWINGS, TYP.

PAINTED STEEL AND STAINLESS STEEL CABLE GUARD RAIL

NEW BOARD FORMED CONCRETE FOUNDATION WALL

NEW SLAB ON GRADE

LOW-E IGU LITES WITH WOOD MUNTINS AND CONCRETE SILL

EMERGENCY EXTERIOR WALL PACK, SEE ELECTRICAL DRAWINGS, TYP.

PAINTED STEEL AND STAINLESS STEEL CABLE GUARD RAIL

CONCRETE STAIR - SEE A301 FOR MORE INFO

NEW STAIR AND HANDRAIL BEYOND SHOWN DASHED

VERTICAL 90 DEGREE PLATFORM LIFT

A1 A200
 1/8"=1'-0"
 ELEVATION
 North (South - O.H., Sim.)

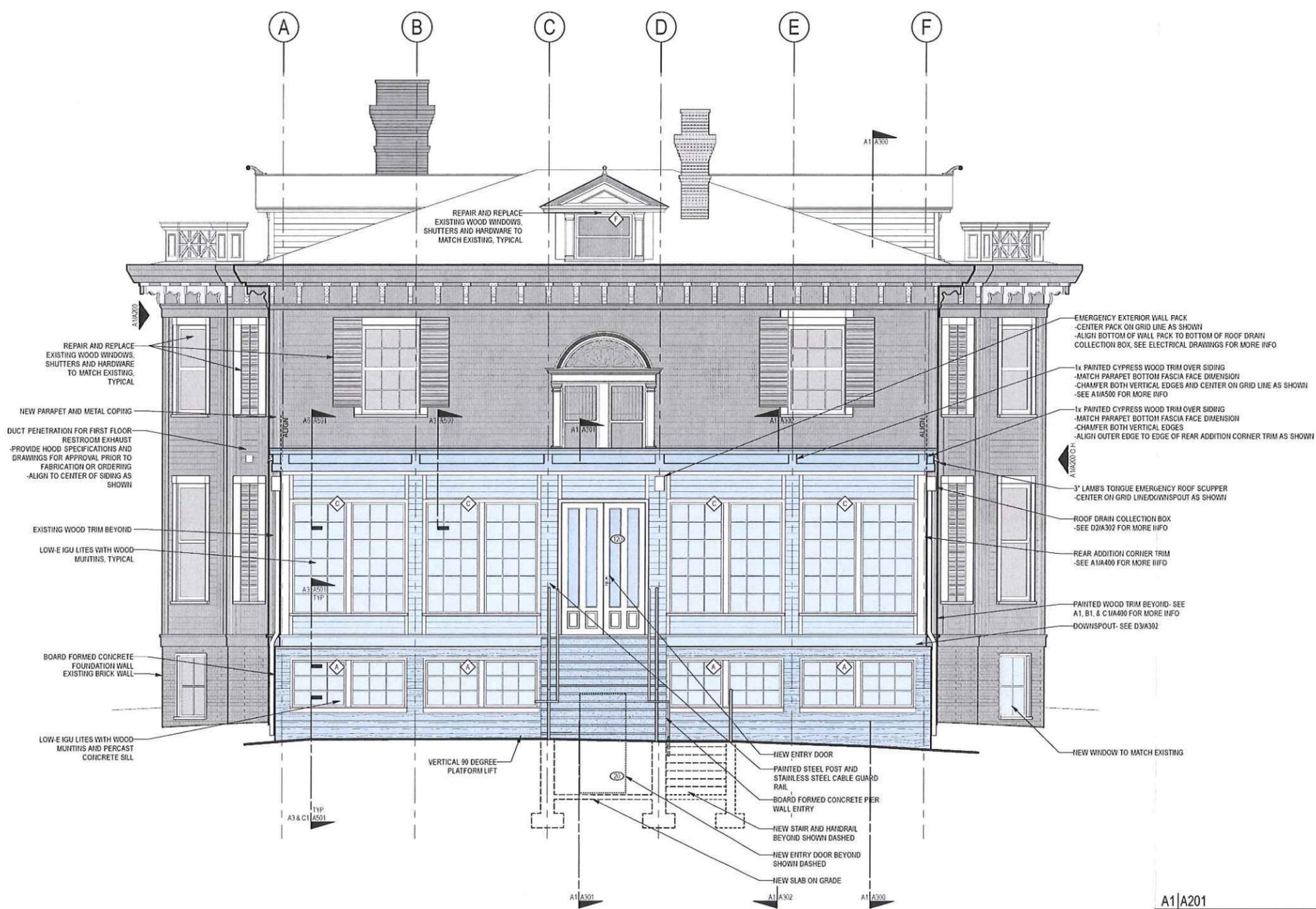
F | | E | | D | | C | | B | | A

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REPAIR AND REPLACE EXISTING WOOD WINDOWS, SHUTTERS AND HARDWARE TO MATCH EXISTING, TYPICAL

NEW PARAPET AND METAL COPING

DUCT PENETRATION FOR FIRST FLOOR RESTROOM EXHAUST - PROVIDE HOOD SPECIFICATIONS AND DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OR ORDERING - ALIGN TO CENTER OF SIDING AS SHOWN

EXISTING WOOD TRIM BEYOND

LOW-E IGU LITES WITH WOOD MUNTINS, TYPICAL

BOARD FORMED CONCRETE FOUNDATION WALL EXISTING BRICK WALL

LOW-E IGU LITES WITH WOOD MUNTINS AND PERCAST CONCRETE SILL

REPAIR AND REPLACE EXISTING WOOD WINDOWS, SHUTTERS AND HARDWARE TO MATCH EXISTING, TYPICAL

EMERGENCY EXTERIOR WALL PACK - CENTER PACK ON GRID LINE AS SHOWN - ALIGN BOTTOM OF WALL PACK TO BOTTOM OF ROOF DRAIN COLLECTION BOX. SEE ELECTRICAL DRAWINGS FOR MORE INFO

1x PAINTED CYPRESS WOOD TRIM OVER SIDING - MATCH PARAPET BOTTOM FASCIA FACE DIMENSION - CHAMFER BOTH VERTICAL EDGES AND CENTER ON GRID LINE AS SHOWN - SEE A1A500 FOR MORE INFO

1x PAINTED CYPRESS WOOD TRIM OVER SIDING - MATCH PARAPET BOTTOM FASCIA FACE DIMENSION - CHAMFER BOTH VERTICAL EDGES - ALIGN OUTER EDGE TO EDGE OF REAR ADDITION CORNER TRIM AS SHOWN

3" LAMB'S TONGUE EMERGENCY ROOF SCUPPER - CENTER ON GRID LINE/DOWNSPOUT AS SHOWN

ROOF DRAIN COLLECTION BOX - SEE D2A302 FOR MORE INFO

REAR ADDITION CORNER TRIM - SEE A1A400 FOR MORE INFO

PAINTED WOOD TRIM BEYOND - SEE A1, B1, & C1A400 FOR MORE INFO

DOWNSPOUT - SEE D3A302

NEW ENTRY DOOR

PAINTED STEEL POST AND STAINLESS STEEL CABLE GUARD RAIL

BOARD FORMED CONCRETE PER WALL ENTRY

NEW STAIR AND HANDRAIL BEYOND SHOWN DASHED

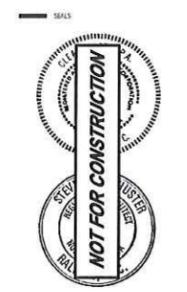
NEW ENTRY DOOR BEYOND SHOWN DASHED

NEW SLAB ON GRADE

NEW WINDOW TO MATCH EXISTING

NOTE: FOREGROUND PARKING LEVEL ACCESS STAIR NOT SHOWN FOR CLARITY - STAIR GUARDRAIL AND HANDRAIL ASSEMBLY TO MATCH MAIN LEVEL REAR ENTRY ACCESS STAIR CONCRETE AND PAINTED STEEL - SEE A099 & A202 FOR MORE INFO

A1/A201
 1/8"=1'-0"
 ELEVATION
 West



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 515 North Blount Street, Raleigh, NC 27604
 (Work Work GMA Application 2015 01 31) p1515

PROJECT
Lewis-Smith House
 Alterations
 515 N. Blount St.,
 Raleigh, NC

NO.	DATE OF REVISION

PROJECT DATA
 DATE: 2015.01.30
 DRAWN: BTL
 CHECKED: SDS
 FILENAME: 110180_1300702_BaseMtlwv
 PROJECT NO: 2011_0180
 PRINTING: CoA App'n

Architectural Elevations
 West

SHEET NO
A201

F | | E | | D | | C | | B | | A

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PROJECT

Lewis-Smith House
 Alterations

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 Raleigh, NC

REVISIONS

NO.	DATE OF REVISION

PROJECT DATE

DATE:	2015.01.30
DRAWN:	BTL
CHECKED:	SOS
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PROJECT NO.:	2011_0180
PRINTING:	CoA Appltn

SHEET DATA

Architectural Elevations
 East

SHEET NO.

A202

