



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

717 DOROTHEA DRIVE

Address

BOYLAN HEIGHTS

Historic District

Historic Property

037-15-MW

Certificate Number

4/6/2015

Date of Issue

10/6/2015

Expiration Date

Project Description:

- Replace siding; change exterior paint colors; replace windows; alter roof covering; alter front porch; install gutters; alter foundation; alter vents and electrical boxes; replace door.

OK to PERMIT

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.



Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
 - Most Major Work Applications
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 425983

File # 037-15-MW

Fee \$29.00

Amt Paid \$29.00

Check # Credit Card

Rec'd Date 3-17-15

Rec'd By K Pruitt

Final 4/6/15 TGT

• If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address **717 DOROTHEAR DR, RALEIGH, NC**

Historic District **BOYLAN HEIGHTS**

Historic Property/Landmark name (if applicable)

Owner's Name **THE FINLEY & LIGHTNER GROUP LLC**

Lot size	(width in feet)	(depth in feet)
----------	-----------------	-----------------

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address
713 Dorothea Dr	
715 Dorothea Dr	
712 Dorothea Dr	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **LIONEL FINLEY**

Mailing Address **629 GRAND PRINCE LN**

City **RALEIGH** State **NC** Zip Code **27603**

Date **3/16/2015** Daytime Phone **919-210-8772**

Email Address **LFINLEY@FSIHOMES1.COM**

Signature of Applicant _____

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 10/6/15. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature [Signature] Date 4/6/15

Project Categories (check all that apply):

Exterior Alteration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work _____

71, 51, 81, 60,

84, 29, 37

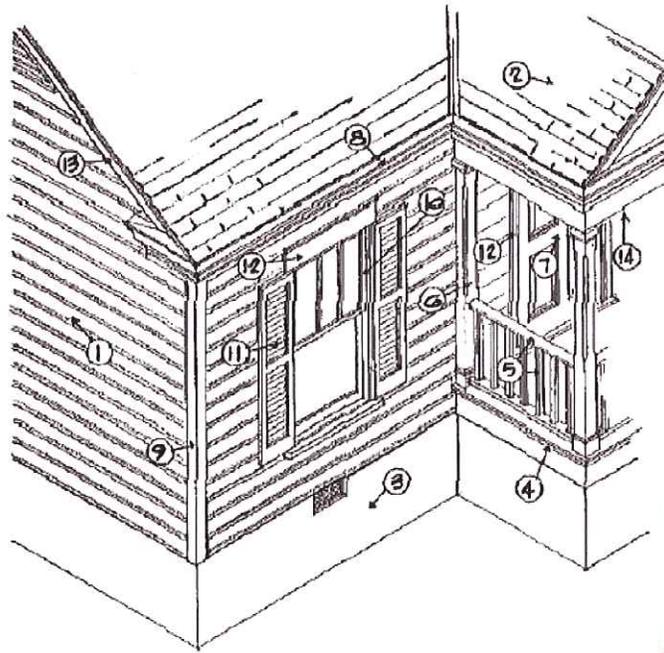
Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
5 / 53	Decks	Remove existing steps and replace with a deck and gable roof off kitchen
3 pt.1 / 31	Paint	Replace siding and paint
3 pt.2 / 39-43	Windows, Porch	Replace front porch and cover with gable roof (p.42); replace all windows

removed & submitted as Major Work 10/15

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>			✓		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input type="checkbox"/>			✓
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>				

Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



Applicant THE FINLEY & LIGHTNER GROUP

Address 717 DOROTHEA DR, RALEIGH

Paint Manufacturer (Please submit color chips with this schedule)

Color Schedule

1	Body of House	Valspar 5008-2A	5008-2A Churchill Hotel Olive
2	Roofing	IKO CAMBRIDGE - DRIFTWOOD (ARCH)	
3	Foundation	Typically cement color	
4	Porch Floor	Porch Gray	
5	Railing	SW 6105	
6	Columns	SW 6105	
7	Entrance Door	SW 3518	
8	Cornice	SW 6105	
9	Corner Boards	SW 6105	
10	Window Sash	SW 6105	
11	Shutter	Valspar 1101-10	
12	Door & Window Trim	SW 6105	
13	Rake	SW 6105	
14	Porch Ceiling	SW 3518	
15	Other Porch Gable	SW 3518	

SW = Sherwin Williams

VAL 5008-2A; CHURCHILL OLIVE GREEN

SW6105; DIVINE WHITE (CREAM)

VAL 3011-8; DARK EARTH

SW3518; HAWTHORNE

Amendment
3/30/15

- In terms of changes to the front porch and door, please provide: Dimensions and/or a graphic scale on the elevation drawing of the front porch, a detailed drawing of porch posts, and front door specs. **Done** (see photo too.) still need
- In terms of the changes to windows, please provide photos of the windows to be replaced, section drawings for the proposed windows, and window trim details. In addition, comparing the drawing to the picture it looks like the windows on the front are being relocated as well as replaced (the pair of windows and single window are flipped). Is that correct? **No we are not relocating any windows** ← see amended drawing.
- Please provide a picture or spec sheet for the rain gutters that will be installed.

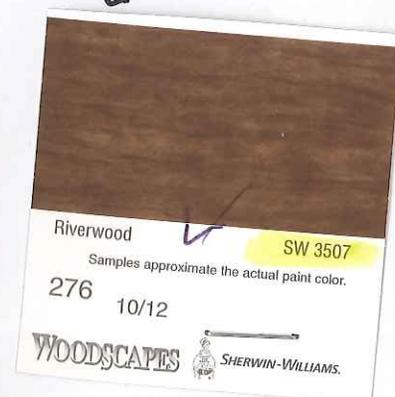
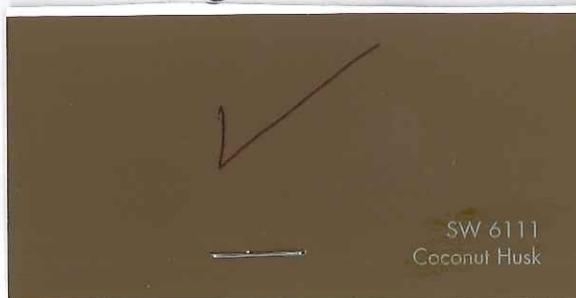


- Include paint samples for the trim color (SW 6105), door (SW 3507) and shutters (SW6111); **Done**
- It looks like the new siding is proposed to be horizontal siding. What is the dimension of the reveal? **4.5 INCHES**
- Finally, reinstallation of shutters may not meet the guidelines given the other proposed changes to the house. I suggest you remove this request. **Removed, we'll keep the existing shutters**

Columns
& trim

Ceiling

gabled
door





717 Dorothea Drive, Raleigh, NC 27603

PERMITS: CONVERT BACK TO SINGLE FAMILY 4 Beds/ 2 Bath; Add Front Porch Roof

EXTERIOR:

- ~~Build NEW deck off kitchen with gable roof and add cedar shingles; see paint scheme~~
- ~~Replace existing front porch with gable roof and add cedar shingles; see paint scheme~~
- ~~Install Window Shutters; see paint scheme~~
- Cover Exterior Cinder Block with SMOOTH Concrete
- Install Roof & Columns for Front Porch; see paint scheme & drawing

*removed & submitted
as Major Work
TOT*



- Replace siding with Hardie Plank (Non-vented smooth); see paint scheme
- Install new exterior lighting



ROOF:

- Replace Shingles
- Install new fascia/soffits as needed; see paint scheme
- Seal roof pipes and vents and paint to match roof
- Install seamless rain gutters

PLUMBING:

- Relocate front side vent pipe to backside of roof

ELECTRICAL:

- Upgrade to code with required outside outlets
- Relocate wires alongside of house

LANDSCAPE

- SOD front and backyards
- Install privacy fence in backyard left & right side

*removed & submitted as
Major Work
TGT*



1.
1.

SEE
SPECS

WINDOWS

- Replace 16 windows; either of these are preferable



**FRONT PORCH AND REAR DECK GABLE;
60 YR OLD CEDAR SHAKE SHINGLES**

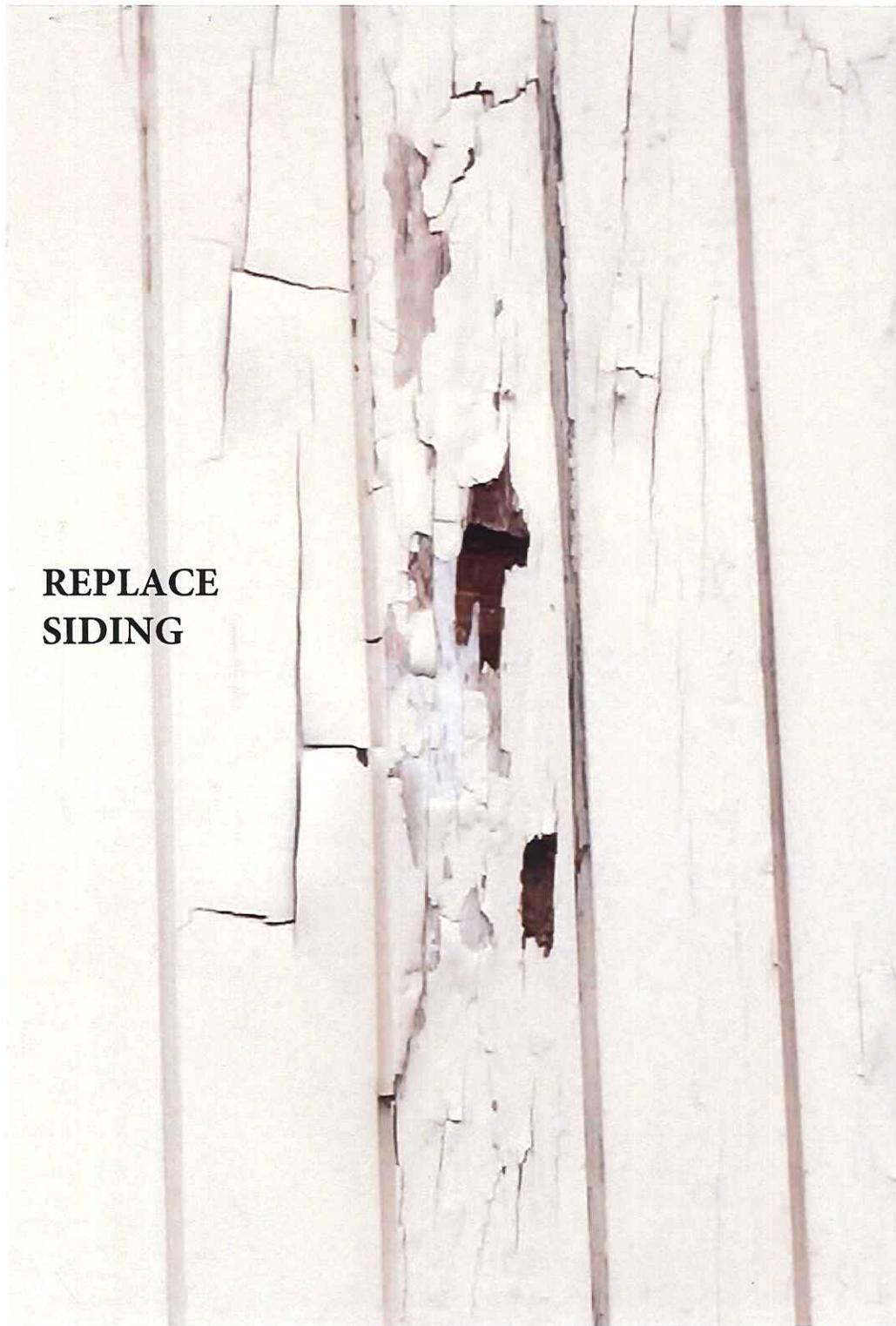


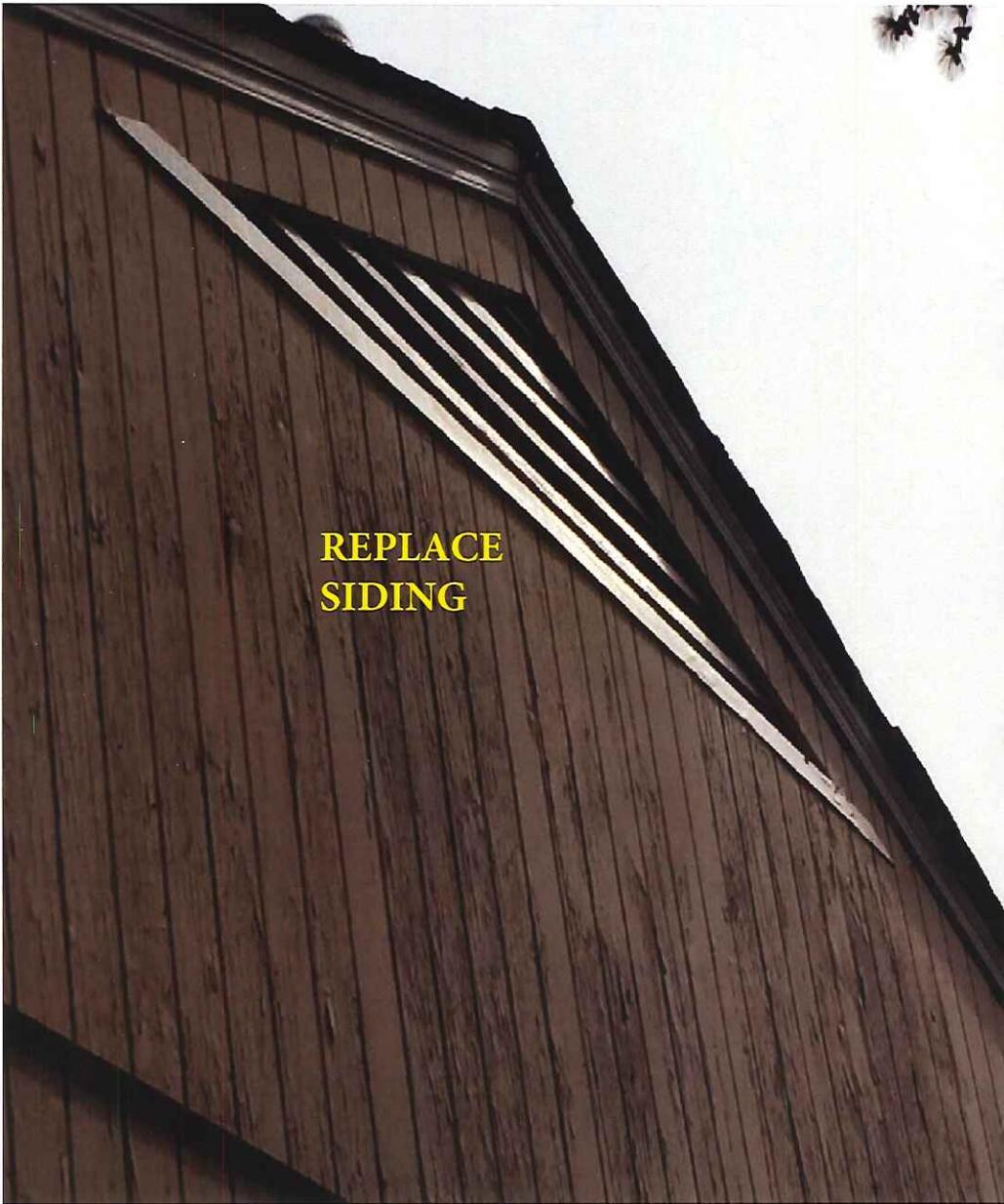
NON-VENTED SMOOTH

Sail Cloth

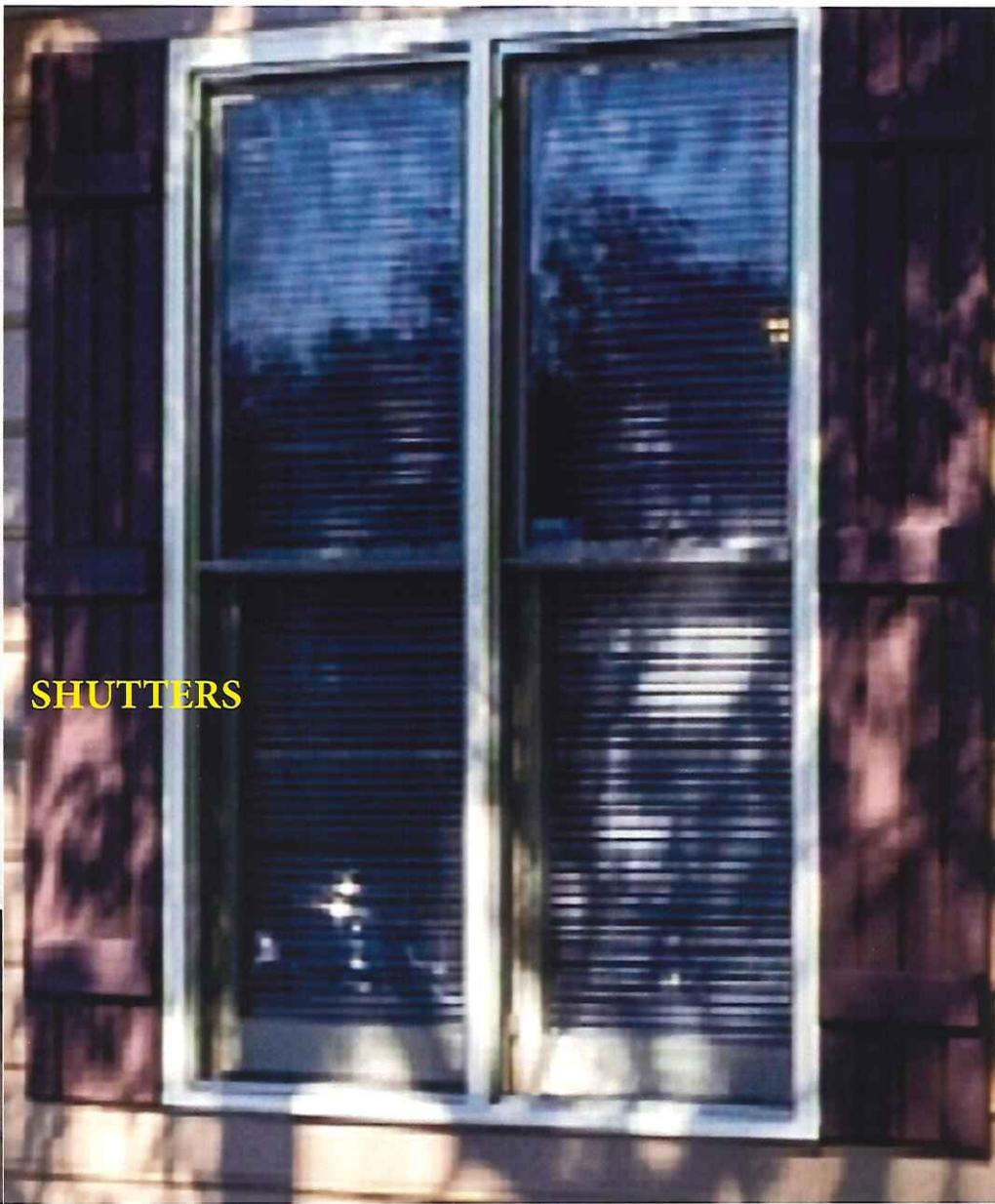
**EXTERIOR
SIDING**

**REPLACE
SIDING**





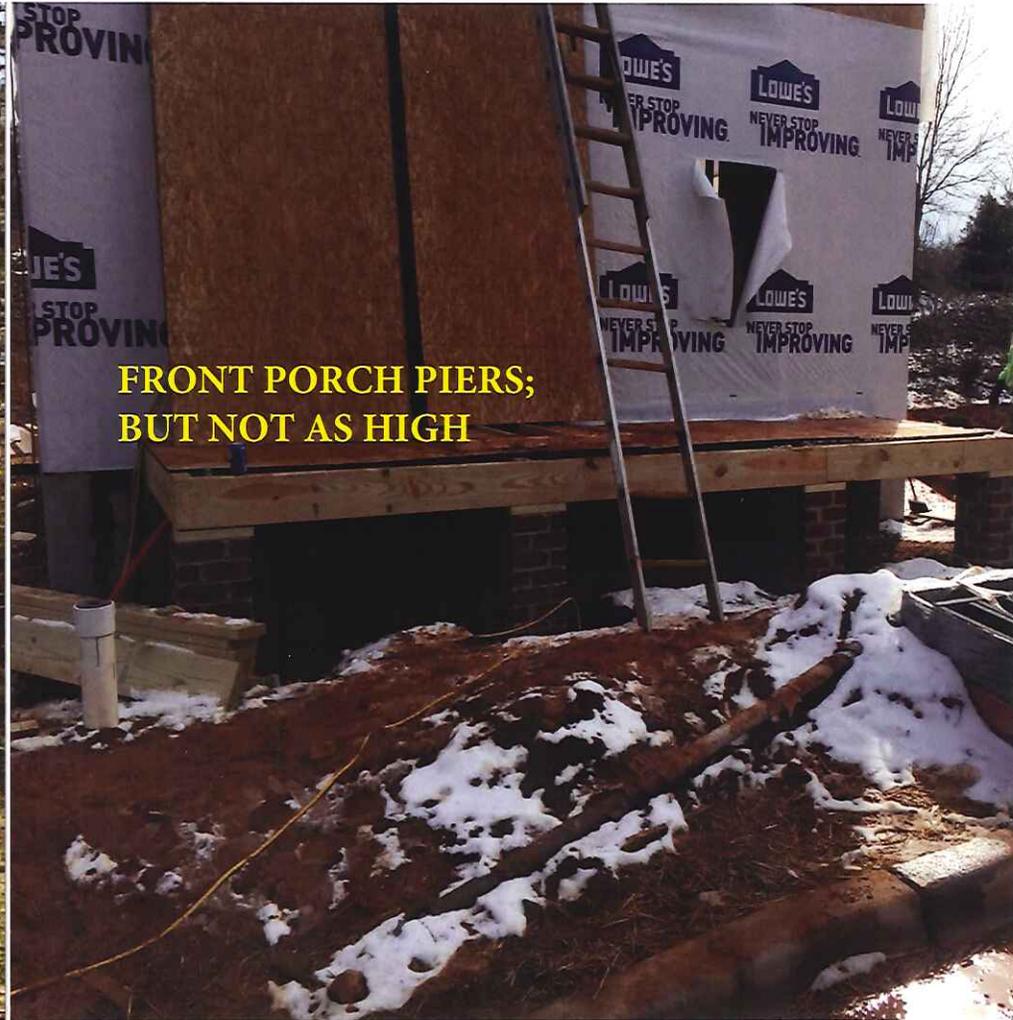
**REPLACE
SIDING**



SHUTTERS



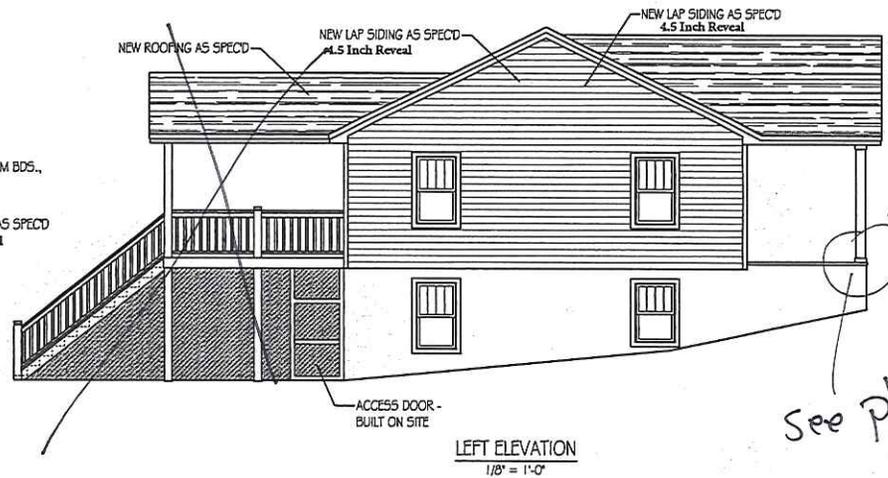
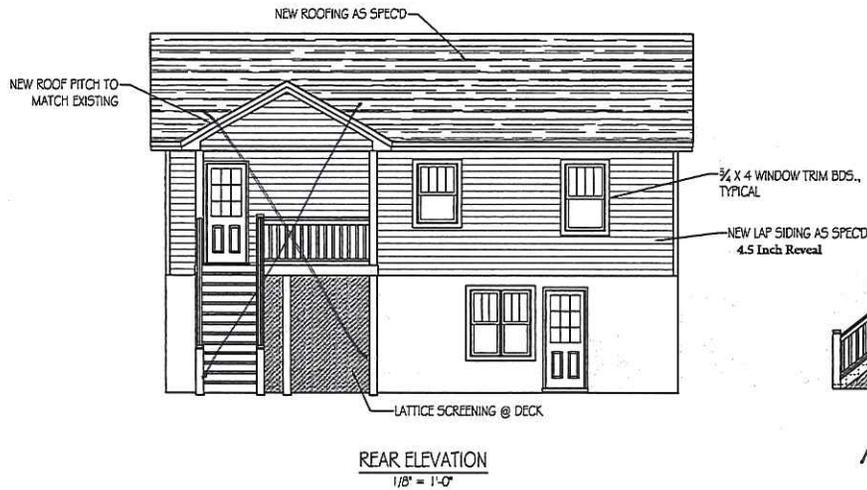
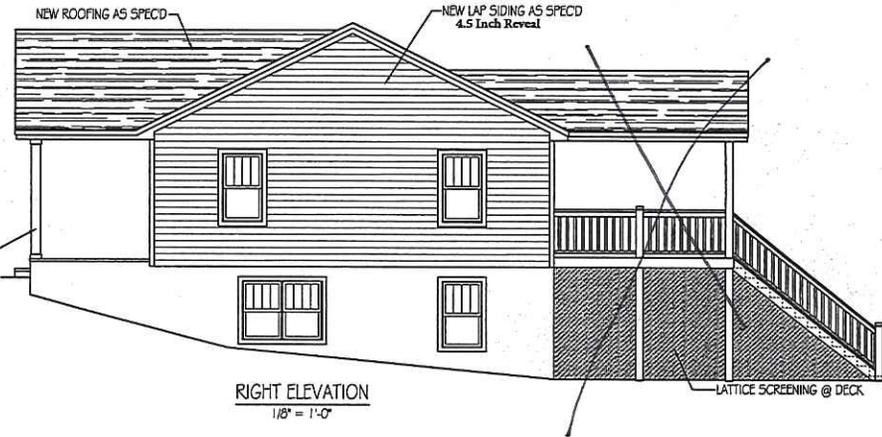
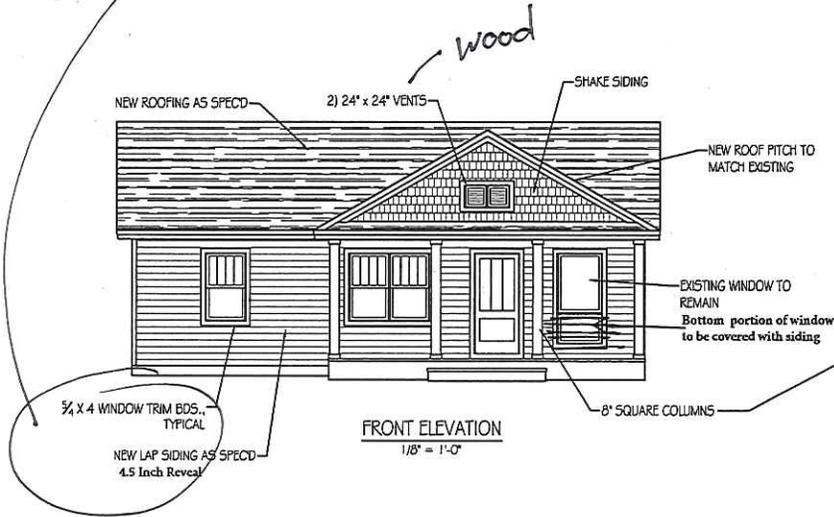
CONCRETE
TO COVER
CINDER



FRONT PORCH PIERS;
BUT NOT AS HIGH

Amendment
3/30/15

See window specs. Bottom
will have sill not trim. 1GT



See photo

Bradley Thorne assumes no liability for any deviation or construction methods of these plans. Contractor is responsible for verification of all information and structural specifications prior to commencement of construction.

Rear porch not on this application.

BradleyThorne Design bradleythornedesign.com 919-615-6108
717 DOROTHEA DR. RALEIGH, NC
03-26-2015 BPT
1

Amendment
3/30/15

CURRENT WINDOWS (Replace)



Amendment
3/30/15

LEFT/RIGHT SIDE VIEW (STREET)



3/30/15
Amendment

LEFT/RIGHT SIDE VIEWS



Amendment
3/30/15

FRONT WINDOWS

(R side window remaining)
(Replace Left side)



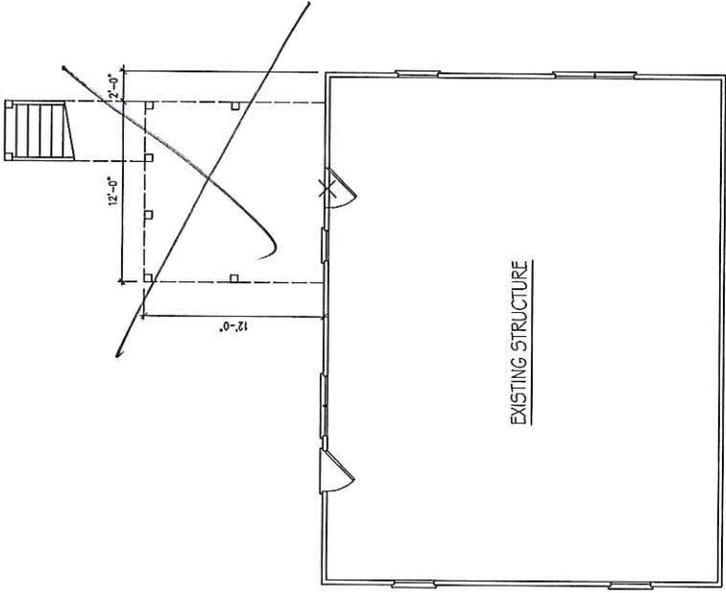
Keep

Amendment 3/30/15

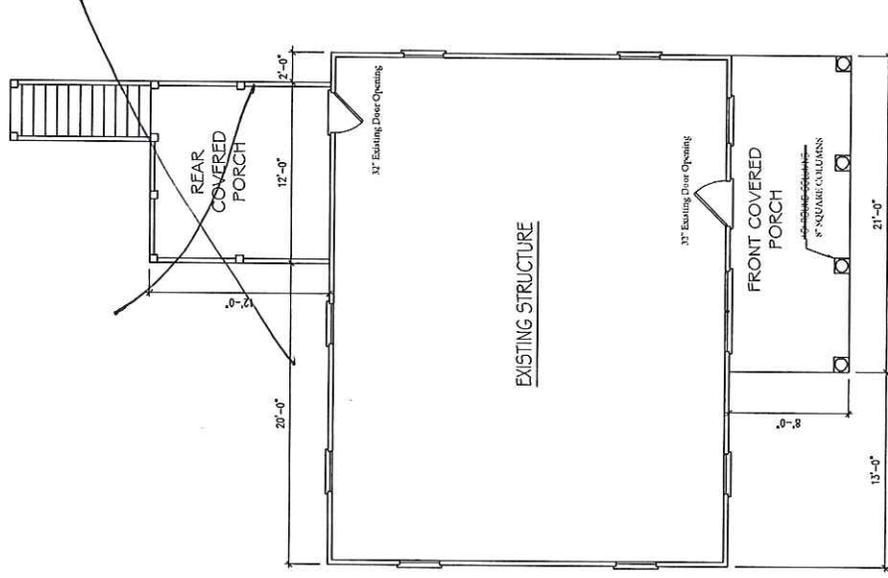
FRONT PORCH POST (8" Inch Width)



Amendment



GROUND FLOOR PLAN
1/8" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"

These drawings shall be used only for the project and site shown. Any other use of these drawings without the written consent of the designer is prohibited. The contractor shall be responsible for obtaining all necessary permits and approvals prior to construction of any structure.

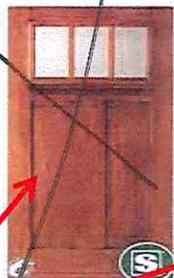
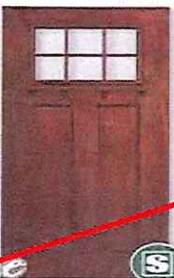
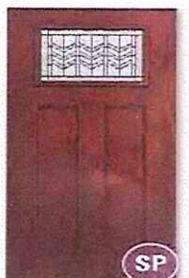
approved

FAM=Architectural Mahogany | FAF=Architectural Fir | FM=Design-Pro Mahogany | FF=Design-Pro Fir | FS=Smooth-Pro

ARCHITECTURAL, DESIGN-PRO, & SMOOTH PRO FIBERGLASS CRAFTSMAN DOORS

MANY DECORATIVE AND CLEAR GLASS INSERTS TO CHOOSE FROM!

S Available IN-STOCK **SP** Available through SPECIAL ORDER

							
817-SDL 6'8" 1-LIGHT FM (IN-STOCK) Shown with optional shelf SPECIAL ORDER: 817-SDL FAM, FAF 866-SDL FF, FS	888-SDL 6'8" 6-LIGHT FM (IN-STOCK) Shown with optional shelf SPECIAL ORDER: 818-SDL FAM, FAF 888-SDL FF, FS	819-CLE 6'8" Craftsman 4'8" FM (IN-STOCK) SPECIAL ORDER: FAM, FAF FF, FS	866-CLE 6'8" 1-Light FM, FF, FS 814-CLE Clear Low-E Glass FAM, FAF	866-PR 6'8" Prairie Bevel FM, FF, FS 814-PR FAM, FAF	819-PR 6'8" Craftsman FAM, FAF, FS	866-KP 6'8" Oak Park FM, FF, FS Shown with optional shelf 814-KP FAM, FAF	819-KP 6'8" Craftsman FAM, FF, FS FAM, FAF

Either style
Mahogany
Wood with
CLEAR Glass

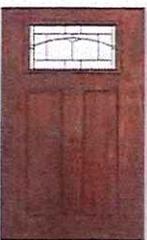
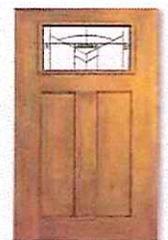
DIRECT GLAZED CRAFTSMAN DOORS



Direct Glazed doors are manufactured with the glass features directly glazed in the frame. This offers a more stream-like look and flush finish.

- Wider Viewing Area
- Easy to Clean
- No Screw Holes or Plugs
- Low-E Energy Efficient Glass

SP All doors in this section are available through SPECIAL ORDER.

									
866 DGLE 6'8" FM, FF, FS	820 DGLE 6'8" FM, FF, FS	866 DGTPZ 6'8" Topaz FM, FF, FS	820 DGTPZ 6'8" Topaz FM, FF, FS	866 DGDRF 6'8" Greenfield FM, FF, FS	820 DGDRF 6'8" Greenfield FM, FF, FS	866 DGKPP 6'8" Oak Park FM, FF, FS	820 DGKPP 6'8" Oak Park DM, DF, FM, FF, FS	866 DGLE 6'8" 1-Light Beaded FF, FS	820 DGLE 6'8" 1-Light Beaded FF, FS

CRAFTSMAN DOORS

ORDER ACKNOWLEDGEMENT - QUOTE ORDER

ORDER NUMBER: 52009134-00 [QU]
 ORDER DATE: 04/02/15
 DELIVERY DATE: 04/02/15
 SHIP VIA: Any Truck
 CUSTOMER #: 14001
 QUOTE NO:
 TERMS: CASH SALE
 PRINTED: 04/02/15: 01:22PM
 INSTR:

PAGE 1 of 1
 ENTERED BY: tls
 MATL CODE:
 REP: Market 41 Cash Account
 ORDER DISP:
 WHSE: 4001
 CPO:
 REF:

SOLD TO: CASH CUST. - YONKERS ROAD
 3000 YONKERS ROAD
 RALEIGH, NC 27604

SHIP TO: 000
 000 CASH CUSTOMER
 000 CASH CUSTOMER
 RALEIGH, NC 27604

FROM: Raleigh
 Stock Building Supply
 3000 Yonkers Road
 Raleigh, NC 27604
 PHONE # (919)828-7471/

LN#	QTY	ORD	PRODUCT ID	UNIT PRICE	UOM	TOTAL	P
TYPE		UOM	PRODUCT DESCRIPTION			FOOTAGE DISCOUNT	
1	1.00		*ed3093073				
NS	EA		ED, FM, 867SCLLE, 30, 68, RH, FPRFS, AM, COM, P180, DB, DB, NT EXTERIOR DOOR, FIBERGLASS DESIGN PRO MAHOGANY 867 3-LT SDL LOW-E W/SHELF, 3/0X6/8, RH, ***4-9/16 FJ PRIMED FRAME SAVER JAMB***, ADJ SILL W/COVER - MILL S/I, COMP W/S, PVC 180 BM, DBL BORE 2-3/8 BS, DULL BRASS 4 5/8 RAD, 1 OPENING (37) VA#:13404364	691.56	EA	0.00	691.56 0 1200 ^{est}
2	1.00		*ed3093077				
NS	EA		ED, FM, 867CLE, 30, 68, RH, FPRFS, AM, COM, P180, DB, DB, NT EXTERIOR DOOR, FIBERGLASS DESIGN PRO MAHOGANY 867 3-LT SDL LOW-E, 3/0X6/8, RH, ***4-9/16 FJ PRIMED FRAME SAVER JAMB***, ADJ SILL W/COVER - MILL S/I, COMP W/S, PVC 180 BM, DBL BORE 2-3/8 BS, DULL BRASS 4 5/8 RAD, 1 OPENING (37) VA#:13404370	583.30	EA	0.00	583.30 0
TOTAL FOOTAGE				0.00			
TOTAL WEIGHT				0.00			
Sub Total							1274.86
TAX (ST: 4.75%; CNTY: 2.00%)							86.06
Addons							0.00
Order Discount							0.00
Down Payment							0.00
Balance Due							1360.92

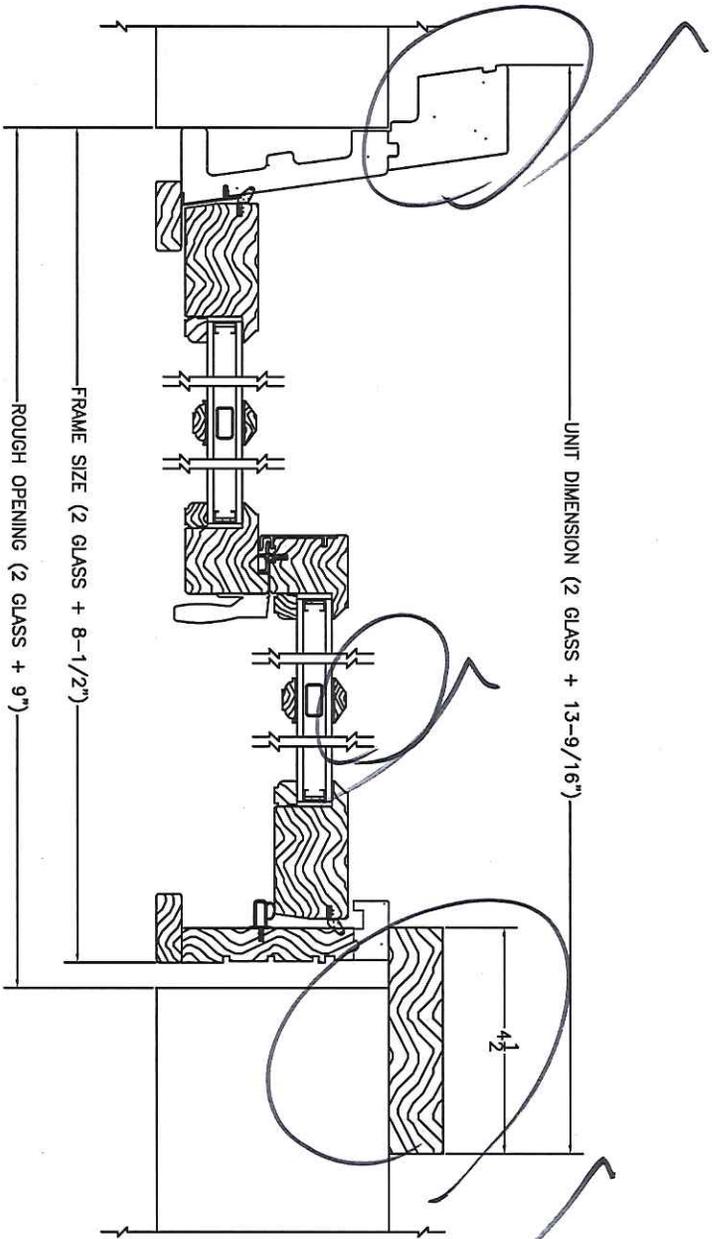
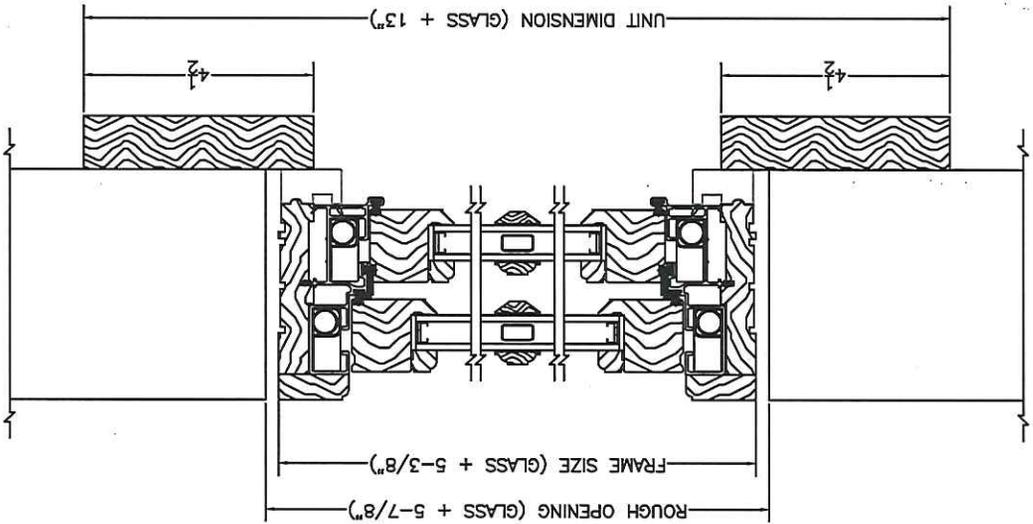


DATE: 9/11/14

DRAWN BY: BH

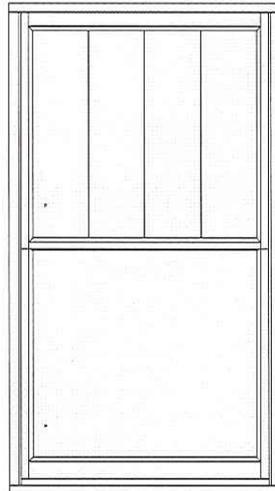
PRODUCT: DH W/ 4-1/2" FLAT CASING, 2" SILL NOSING, & 7/8" SDL

DRAWING #: TEMP/AMERICAN CEDAR-TIM





Prep By	Quote No	Rev No	Line No	Quote Date	Date Printed
TAH	565	1	1	4/1/2015	4/1/2015



Unit Description	
• DBLH-1; 30x28; Primed Wood Exterior; LoE-272	0.00
1 White Screen(s) Boxed	0.00
BETTERVUE Mesh	N/C
Preserve Glass (Top)	N/C
7/8" SDL (Top) (4W1H) With Internal Grids	0.00
Preserve Glass (Bottom)	N/C
4-9/16" Jamb	N/C
4-1/2" Wood Exterior Flat Casing	0.00
4" Extended Sill Horns	0.00
2" Applied Projected Sill Nosing	0.00
White Hardware	N/C
White Jambliners	N/C
White Jambliner Covers	0.00
With T Slot Weatherstrip In Jambliner	N/C
Sash 1	
U-Factor=0.3	
SHGC=0.27	
Visible Transmittance=0.46	
PG=H-LC35	
Single Unit Rating Only	
ADD 1 1/2" SILLHORNS PAST CASING	N/C
No Printed Prices	\$0.00
Qty Required	1
No Printed Prices	\$0.00

Note: Primed Units Shown Without Brickmould

 Version 8.1.0	Drawing Scale	Allowance Settings	Dimensions	Masonry Opening:	3' 7-1/4" x 5' 9-13/16"
	1/2 Inch Per Foot	Rough Opening = 1/2" Masonry Opening = 1/4"	Rough Opening: 2' 11-7/8" X 5' 5" Unit Dimension: 3' 7" X 5' 9-9/16"	Total Box Size:	2' 11-3/8" x 5' 4-1/2"
				Sash Opening:	N/A

Prepared By : American Cedar and Millwork

Tully, Tania

From: Tully, Tania
Sent: Wednesday, April 01, 2015 9:52 AM
To: 'lionel finley'
Cc: Band, Daniel
Subject: RE: 717 Dorothea Dr...
Attachments: banked windows and drip cap.pdf

Lionel –

It was good to meet you Monday. I am following up on our discussion to confirm the additional information needed. Please email the additional info, hard copies are not needed.

Minor Work Application:

- Specifications for the new front door;
- Specifications and section drawings for the new windows;
- Window trim details (sample attached);
- Dimensions or a graphic scale on the drawings (a scale was added, but it is not graphic. See



sample)

- Confirm that the vents in the porch gable will be wood or metal.

Major Work Application:

- Dimensions or a graphic scale on the drawings (a scale was added, but it is not graphic. See



sample)

Thanks!

Tania

Tania Georgiou Tully, Preservation Planner
Long Range Planning Division
Raleigh Department of City Planning
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available [here](#).

From: lionel finley [<mailto:LFinley@fsihomes1.com>]
Sent: Thursday, March 26, 2015 10:13 PM
To: Band, Daniel; Tully, Tania
Subject: 717 Dorothea Dr...

Tania; Dan,

Tully, Tania

From: Tim Harris <tharris@millwork1.com>
Sent: Wednesday, April 01, 2015 10:59 AM
To: Tully, Tania
Cc: lfinley@fsihomes1.com
Subject: 717 Dorothea Dr
Attachments: LiteBuilder.pdf; AMERICAN CEDAR-TIM(2).pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Tania,

Good morning.

I had Lionel Finley in this morning looking at the Lincoln windows for 717 Dorothea Drive.

Attached are the cut sheets and an elevation drawing based on the pattern he described.

I understand it will be about a month or so before I can get in there and verify sizes and lite patterns so if we need to update the elevation drawings with you before ordering I will be glad to. From talking to Lionel these should be the correct exterior casing and sill specs.

Thank You

Tim Harris



Window & Door Showroom

3401 Tarheel Drive

Raleigh, NC 27609

(919)981-6127 (919)877-3883 fax

From: Tim Harris
Sent: Wednesday, April 01, 2015 10:46 AM
To: Tim Harris
Subject: DOROTHEA

Tully, Tania

From: Tully, Tania
Sent: Wednesday, April 01, 2015 2:36 PM
To: 'Tim Harris'
Cc: lfinley@fsihomes1.com
Subject: RE: 717 Dorothea Dr

Hi Tim –

Yes, these are great. I will place these in Mr. Finley's application while I await the non-window related items.

Thanks!
Tania

Tania Georgiou Tully, Preservation Planner
Long Range Planning Division
Raleigh Department of City Planning
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available [here](#).

From: Tim Harris [<mailto:tharris@millwork1.com>]
Sent: Wednesday, April 01, 2015 10:59 AM
To: Tully, Tania
Cc: lfinley@fsihomes1.com
Subject: 717 Dorothea Dr

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Thank You

Tim Harris



Window & Door Showroom
3401 Tarheel Drive

Tania Georgiou Tully

From: lionel finley <LFinley@fshomes1.com>
Sent: Thursday, April 02, 2015 11:44 PM
To: ttully@rhdc.org
Cc: Lance Lightner
Subject: Re: 717 Dorothea Dr...
Attachments: Front Door.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Tania,

Let me know if this will suffice. Thanks.

Lionel Finley
Vice President
FORTIFIED Solutions Inc.
(Subsidiary of The Finley & Lightner Group)
Office: 919-521-8965 Cell: 919-210-8772
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LFinley@FSIHomes1.com
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From: Tania Georgiou Tully <ttully@rhdc.org>
Sent: Thursday, April 02, 2015 1:05 PM
To: 'BRADLEY P THORNE'; lionel finley
Cc: 'Tully, Tania'
Subject: RE: 717 Dorothea Dr...

Received!

Tania Georgiou Tully, Preservation Planner
Raleigh Historic Development Commission
PO Box 829 Century Station
Raleigh NC 27602
919.832.7238
919.996.2674 (direct)
919.516.2684 (fax)
www.rhdc.org

Design Guidelines are online [here](#).

From: BRADLEY P THORNE [<mailto:bradthorne@bellsouth.net>]
Sent: Thursday, April 02, 2015 12:13 PM
To: lionel finley; Tania Georgiou Tully

Tully, Tania

From: Band, Daniel
Sent: Monday, March 23, 2015 4:47 PM
To: lfinley@fshomes1.com
Cc: Tully, Tania
Subject: Minor Work COA for 717 Dorothea Drive

Lionel: Thanks for turning in an application for a Minor Work COA for 717 Dorothea Drive. I've reviewed the application and have the following comments:

- Please include a site/plot plan which delineates all the work that is proposed and any related dimensions;
- In terms of changes to the front porch and door, please provide: Dimensions and/or a graphic scale on the elevation drawing of the front porch, a detailed drawing of porch posts, and front door specs.
- In terms of the changes to windows, please provide photos of the windows to be replaced, section drawings for the proposed windows, and window trim details. In addition, comparing the drawing to the picture it looks like the windows on the front are being relocated as well as replaced (the pair of windows and single window are flipped). Is that correct?
- Please provide a picture or spec sheet for the rain gutters that will be installed.
- Include paint samples for the trim color (SW 6105), door (SW 3518) and shutters (Valspar 1101-10);
- It looks like the new siding is proposed to be horizontal siding. What is the dimension of the reveal?
- Finally, reinstallation of shutters may not meet the guidelines given the other proposed changes to the house. I suggest you remove this request.

Thank you,

Daniel

Daniel Band, Planner I
Long Range Planning Division
Raleigh Planning Department
919-996-2180 - OEP, 2nd Floor