

Administrative Approval Action

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

AA # 3863 / SR-42-17, Cambridge Village of Brier Creek
Transaction# 510611

LOCATION: This site is located on the southeast corner of the intersection of T.W. Alexander

Drive and ACC Blvd. at 7950 ACC Blvd.

REQUEST: Development of a 6.36-acre tract zoned OX-7-PL CU (Z-19-15) into a 319,996

square foot Congregate Care Facility (Cambridge Village of Brier Creek) with

associated parking deck.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

Three Design Adjustments have been approved by the Public Works Director for this project, noted below.

1. Due to topographic and environmental conditions a Design Adjustment has been approved waiving the block perimeter requirement (8.3).

Design Adjustment has been approved allowing an alternative streetscape for T.W. Alexander Drive

 Design Adjustment has been approved allowing an alternative streetscape for ACC Boulevard

FINDINGS: City Administration finds that this request, with the below conditions of approval

being met, conforms to the Unified Development Ordinance. This approval is

based on a preliminary plan submitted by Piedmont Land Design, LLP.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note:

This document must be applied to the second sheet of all future submittals with the exception of final plats.

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

- 1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services Development Engineering prior to concurrent review approval.
- 2. <u>Next Step:</u> A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

- 3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of a mass grading permit or other site permit, whichever comes first.
- 4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.



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5. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

- 6. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
- 7. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.
- 8. Prior to grading the area currently recorded as tree conservation area, the tree conservation areas will need to be moved per a new recorded plat.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

- 1. Comply with all conditions of Z-19-15.
- 2. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right of Way and/or Easement Dedications, and Tree Conservation Areas.
- 3. Provide fire flow analysis.

ENGINEERING

- 4. A 5' utility placement easement on ACC Boulevard and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
- 5. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' sidewalk along the frontages of ACC Boulevard and T. W. Alexander Drive shall be paid to the City of Raleigh.
- 6. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services Development Engineering.
- 7. A sight distance easement on ACC Boulevard and T.W. Alexander Drive, and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
- 8. A 15' x 20' transit easement located on T.W. Alexander Drive shall be approved by the Transit Planner in the Transportation Department, and shall be shown on all maps for recording, and a transit easement deed approved by the City of Raleigh shall be recorded with the local County Register of



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Deeds. The recorded copy of this transit easement shall be provided to the Development Services Department prior to building permit approval.

9. <u>Next Step:</u> A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

10. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas

STORMWATER

- 19. The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
- 20. The flood prone areas, as shown on the preliminary plan, shall be shown on the recorded map;
- 21. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
- 22. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating: "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grade, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from the state of North Carolina in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."
- 23. In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY

24. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

Prior to issuance of building occupancy permit:

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- 2. <u>Next Step:</u> Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.



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- Next Step: All street lights and street signs required as part of the development approval are installed.
- 4. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
- 5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
- 6. Next Step: Final inspection of all required Tree Conservation Areas and right of way trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring reapproval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 10-3-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.		
Signed:(Planning Dir./Designee) Qui B. Z.	Date:	10/3/2018
Staff Coordinator: Michael Walters		

Design Adjustment Staff Response



Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

540000000000000000000000000000000000000							
	Project Name	Cambridge	Villa	ge of Bri	er Creek		
Ect	Development Case Number	SR-42-17					
PROJECT	Transaction Number	510611					
	Design Adjustment Number	DA - 70	- 201	8			
	Staff recommendation based upon t	he findings i	n the	applicab	le code(s):	Section Control of the Articles of the	
	UDO Art. 8.3 Blocks, Lots, Acce				t. 8.5 Existin	ıg Streets	
	UDO Art. 8.4 New Streets		V	Raleigh	Street Desig	gn Manual	
	Staff SUPPORTS 🗸 DOES NOT SUPP	PORT th	e des	ign adjus	tment requ	est.	
		DEPART	ΓΜEN	TS			
	Dev. Services Planner			City Pla	nning		
	✓ Development Engineering K	Boar	同		ortation		
	Engineering Services	<u> </u>		•		and Cult. Res.	· ·
Щ.	Public Utilities						
Š	CONDITIONS:	· · · · · · · · · · · · · · · · · · ·		e inferior anno especies	Addition of the contract		
STAFF RESPONSE	Three design adjustments are submitt 1. Block Perimeter - 2. Alternate Streetscape - T. W. Alexa 3. Alternate Streetscape - ACC Boule	nder Drive	val for	the follo	wing:		
	•						
	•						
	·					-	
Bev	elopment Services Director or Desig	nee Action:		DOBANE	A BODOVE WIL	TH CONDITIONS	DENY
DEV	eropinent Services Director of Desig	nee Action.	LYIA	ark(Ove	TAPEROVE WI	im conditions[_DEINT
						/ /	
-		want w.				10/3/2	2018
	norized Signature Development Services Director may authorize a d	S RUS WF	n his/h	pucture er stead Die	2 MANAGE	Date / /	nature .
A						and this next to sig	

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response Article 8.3 Blocks Lots, Access



The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings.

The requested design adjustment meets the intent of this Article; YES V NO
The requested design adjustment conforms with the Comprehensive Plan and
adopted City plans; YES ✓ NO □
The requested design adjustment does not increase congestion or compromise
Safety; YES ✓ NO
The requested design adjustment does not create any lots without direct street
Frontage; YES ☑ NO ☐
The requested design adjustment is deemed reasonable due to one or more of the
following: 1. Topographic changes are too steep;
2. The presence of existing buildings, stream and other natural features;
 Site layout of developed properties; Adjoining uses or their vehicles are incompatible;
5. Strict compliance would pose a safety hazard; or
 Does not conflict with an approved or built roadway construction project adjacent to or in the vicinity of the site.
YES NO
FF FINDINGS
ock Perimeter Design Adjustment
site is zoned OX-7 which is allowed a maximum block perimeter length of 2,500 linear feet. The ing measured perimeter is 3,800 linear feet. This waiver of the block perimeter requirements are
ed on the topographical limitations and presence of the Neuse Riparian Buffer that prevents a section to the east adjacent properties.
isotion to the east adjacent properties.
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en e

Staff Response Article 8.5 Existing Streets



A.	The requested design adjustment meets the intent of this Article; YES NO NO
В.	The requested design adjustment conforms with the Comprehensive Plan and adopted City plans; YES V NO
C.	The requested design adjustment does not increase congestion or compromise safety; YES \(\sqrt{NO} \)
D.	The requested design adjustment does not create additional maintenance responsibilities for the City; and
E.	YES NO NO The requested design adjustment has been designed and certified by a Professional
	Engineer. YES V NO
	AFF FINDINGS
The streather side NCI 3a. A strip insta 3b. If the requestion of the Ithe I the I t	Internate Streetscape Design Adjustment for T. W. Alexander: It streetscape that is required for T. W. Alexander is an Avenue, 4-Lane Divided facility which includes et trees between the 6' sidewalk and back-of-curb. This standard streetscape will not be provided as the is an existing 5' sidewalk along T.W. Alexander Drive with a variable 3.5' grass strip between ewalk and back of curb. Street trees are to be installed behind the sidewalk at 12' from travelway as per DOT. Alternate Streetscape Design Adjustment for ACC Boulevard: Avenue, 2-lane Divided facility is requesting this alternate streetscape to reduce the required planting of width from 6' to 3.5' and retain the 5' sidewalk instead of the 6' required. Street trees are to be alled between the sidewalk and back-of-curb. Right-of-Way for ACC Boulevard: existing street section for ACC Boulevard is an Avenue, 2-lane Divided facility per the UDO which uires a 79' right-of-way and a 52' b-b street section. The existing roadway has a 60' right-of-way and a b-b street section with intersection improvements. This street section was discussed with Staff during planning of the site and it was determined that a design adjustment would be necessary to allow the et to exist as is and no additional right-of-way will be required.
	•

Design Adjustment Application



The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions.

This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

Y 17 (4)	Project Name Combridge Vill	laga of Datas Cariata				
PROJECT	Project Name Cambridge Vil	lage of Brief Creek		***************************************		
ROI	Case Number SR-42-17					
	Transaction Number 510611					
OWNER		LLC - Kendall Oliver	(Owner)			
3	Address 7780 Brier Creek Pa	80 Brier Creek Parkway, Suite 400 City Raleigh				
0	State NC	Zip Code 27617	,	Phone 919-	792-3750	
ָל	Name David Lasley		Firm Pied	mont Land D	esign, LLP	
CONTACT	Address 8522 Six Forks Road	d, Suite 204		City Raleigh		
8	State NC	Zip Code 27615		Phone 919-8	345-7600	
	l am seeking a Design Adjustme	nt from the requirem	ents set fort	n in the follow	ing:	
	UDO Art. 8.3 Blocks, Lots, Ac	cess	- See page 2	for findings		
	UDO Art. 8.4 New Streets - See page 3 for findings					
	UDO Art. 8.5 Existing Streets		- See page 4	for findings		
<u>ا</u>	Raleigh Street Design Manua	1	- See page 5	for findings		
REQUEST	Provide details about the reque	st; (please attach a m	emorandum	if additional s	pace is needed):	
Appli By si	of fill material that can be placed on to Neuse Riparian buffer prevent the conconnecting ACC Boulevard and T.W. The responsibility of the applicant to place the property Owner. The property Owner. The reby ack that the property Owner are the property Owner.	nstruction of a new public Alexander Drive. rovide all pertinent infor nowledge the informa	street. We ha	ve provided a ne	w 5' wide concrete sidewalk	
					Date .	
	CKLIST					
-	ed Design Adjustment Application				✓ Included	
	(s) addressing required findings				✓ Included	
	(s) and support documentation				✓ Included	
	ary page (page 6) filled out; Mus				✓ Included	
	Class stamped and addressed e				Included	
	nit all documentation, with the e madjustments@raleighnc.gov.	xception of the requi	ed addressed	d envelopes ar	id letters to	
	er the addressed envelopes and	letters to:				
	elopment Services, Development E					
	Exchange Plaza, Suite 500					
	igh NC, 27601	I		·		
Fo	r Office Use Only	RECEIVED DATE:		DA -	-	

Article 8.3, Blocks, Lots, Access Administrative Design Adjustment Findings



The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article; The Design Adjustment meets the intent of UDO Section 8.3.6
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

The Design Adjustment is not in conflict with adopted City plans.

C. The requested design adjustment does not increase congestion or compromise Safety;

The design adjustment does not increase congestion or compromise safety.

D. The requested design adjustment does not create any lots without direct street Frontage;

This lot has direct street frontage on both ACC Boulevard and T.W. Alexander Drive.

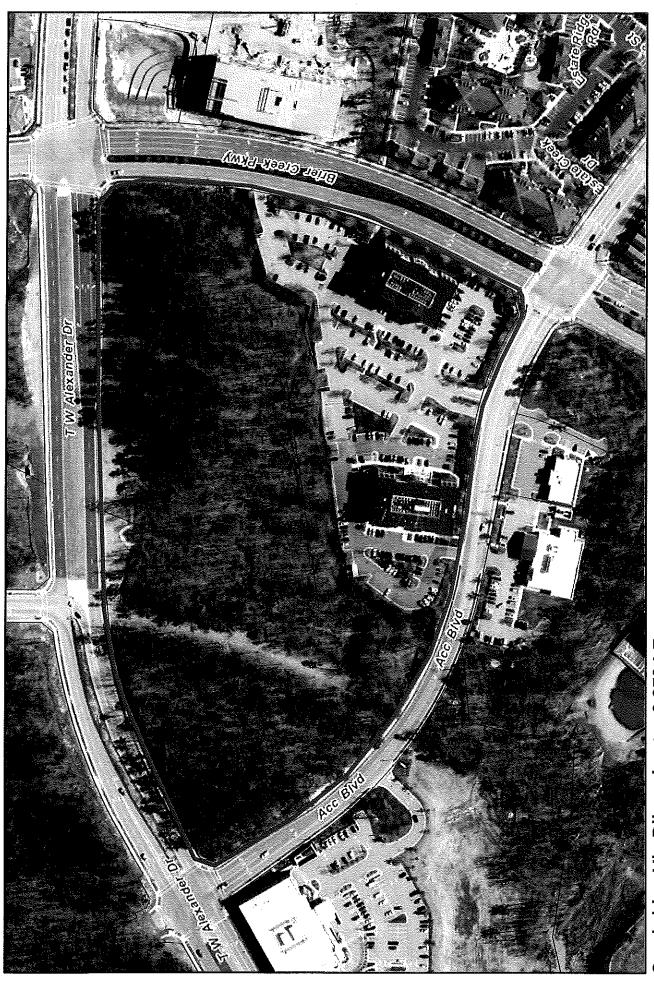
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
 - 1. Topographic changes are too steep;
 - 2. The presence of existing buildings, stream and other natural features;
 - 3. Site layout of developed properties;
 - 4. Adjoining uses or their vehicles are incompatible;
 - 5. Strict compliance would pose a safety hazard; or
 - 6. Does not conflict with an approved or built roadway construction project
 - 7. adjacent to or in the vicinity of the site.

The Design Adjustment is deemed reasonable due to topographic changes and an existing stream with Neuse Riparian buffer.

Individual Acknowledgement



STATE OF NORTH CAROLINA COUNTY OF Chaunam	INDIVIDUAL .
1, Anita I Vaughn Kendall S. Olliver acknowledged the due execution of the forgo	a Notary Public do hereby certify that personally appeared before me this day and ing instrument.
This the 22 20 day of August	
(SEAL) ANITAT VAUGHN NOTARY PUBLIC, NORTH CAROLINA CHATHAM COUNTY MY COMMISSION EXPIRES DECEMBER 10, 2019 Not	ary Public Muta J. Vaugh
My Commission Expires: $\frac{13}{10}$ /3019	



Cambridge Vlg.Blk perimeter 3,872 LF

Disclaimer
Maps makes every effort to produce and publish
the most current and accurate information possible.
However, the maps are produced for information purposes,
and are NOT surveys. No warranties, expressed or implied
, are provided for the data therein, its use, or its interpretation.

1 inch = 200 feet

220

110

Design Adjustment Application



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Project Name Cambridge Village	e of Brier Creek		T		
Case Number SR-42-17 Transaction Number 510611	Case Number SR-42-17				
Transaction Number 510611		********			
Name Cambridge Village, LLC - Kendall Oliver (Owner)					
Address 7780 Brier Creek Park	way, Suite 400		City Raleigh	gh	
State NC	Zip Code 27617		Phone 919-7	92-3750	
Name David Lasley		Firm Pied	mont Land De	esign, LLP	
Name David Lasley Address 8522 Six Forks Road, S State NC	uite 204	·	City Raleigh		
State NC	Zip Code 27615		Phone 919-8	45-7600	
I am seeking a Design Adjustment 1	from the requirem	ents set forth			
UDO Art. 8.3 Blocks, Lots, Access	<u>s</u>	- See page 2	for findings		
UDO Art. 8.4 New Streets		- See page 3	for findings		
UDO Art. 8.5 Existing Streets		- See page 4	for findings		
Raleigh Street Design Manual		- See page 5	for findings		
Provide details about the request; Per coordination with City Staff, the Owner	(please attach a m			pace is needed):	
Alexander Drive edge of travel lane between located within the public right-of-way between for additional information. It is the responsibility of the applicant to proving Applicant must be the Property Owner. By signing this document, I hereby acknown	ween the existing back ide all pertinent infor wledge the informa	k of curb and side	dewalk. Refer to	attached drawing number PA.3	
Owner/Owner's Representative Signature	2			Date	
CHECKLIST					
Signed Design Adjustment Application		•		✓ Included	
Page(s) addressing required findings				☑ Included	
Plan(s) and support documentation				✓ Included	
Notary page (page 6) filled out; Must b	e signed by prope	rty owner		✓ Included	
First Class stamped and addressed enve	elopes with compl	eted notifica	tion letter	☐ Included	
Submit all documentation, with the exce designadjustments@raleighnc.gov, Deliver the addressed envelopes and let Development Services, Development Eng One Exchange Plaza, Suite 500 Raleigh NC, 27601	ters to:	red addressed	i envelopes an	d letters to	
For Office Use Only R	ECEIVED DATE:		DA-		

Raleigh Street Design Manual Administrative Design Adjustment Findings



The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;

 The design adjustment meets the intent of the Raleigh Street Design Manual. Street trees will remain in the right-of-way as required by the City and be moved further away from the existing roadway to comply with setbacks identified in the NCDOT Guidelines for Planting within Highway Right-of-Way.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

The requested design adjustment has no impact on the Comprehensive Plan and City Staff supports this request.

C. The requested design adjustment does not increase congestion or compromise safety;

The requested design adjustment has no impact on congestion and improves safety by adhering to street tree setbacks identified in the NCDOT Guidelines for Planting within Highway Right-of-Way.

D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

No additional maintenance responsibilities are created. Street trees will remain in the right-of-way as required by the City.

E. The requested design adjustment has been designed and certified by a Professional Engineer.

The design adjustment has been designed and certified by a Professional Landscape Architect in conjunction with a Professional Engineer.

Individual Acknowledgement



STATE OF NORTH CAROLINA COUNTY OF Chathan	INDIVIDUAL
I, Anita T. Vaughn Kendall S. Oliver acknowledged the due execution of the forge	, a Notary Public do hereby certify tha personally appeared before me this day and poing instrument.
This the 21 st day of July	, 20 <u>/ ¥</u> .
(SEA) ANITA T VAUGHN NOTARY PUBLIC, NORTH CAROLINA CHATHAM COUNTY MY COMMISSION EXPIRES DECEMBER 10, 2019	tary Public Anita J. Vaugh
My Commission Expires: $\frac{12/10/2018}{12018}$	

Design Adjustment Application



The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions.

This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

כו	Project Name Cambridge Villag	ge of Brier Creek					· · · · · · · · · · · · · · · · · · ·	
PROJECT	Case Number SR-42-17							
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000	Name Cambridge Village, LL	C - Kendall Oliver	(Owner)					
OWNER		ess 7780 Brier Creek Parkway, Suite 400 City Raleigh						
õ	State NC	Zip Code 27617		Phone 919-792-3750			3750	
ļ	Name David Lasley	1	Firm Pied					
CONTACT	Address 8522 Six Forks Road,	Suite 204	7 100		mont Land Design, LLP City Raleigh			
NO	State NC	Zip Code 27615		<u>-</u>	ne 919-8	45-7	7600	
)	I am seeking a Design Adjustment	<u> </u>	ents set forth					
	UDO Art. 8.3 Blocks, Lots, Acce	······································	- See page 2			-6-		
			- See page 3	 				
			- See page 4					
	Raleigh Street Design Manual		- See page 5					
REQUEST	Provide details about the request						:J-J\.	
E.	Per coordination with City Staff, the exis	· · · · · · · · · · · · · · · · · · ·						tional
Appl	the responsibility of the applicant to provicant must be the Property Owner.							
by s	igning this document, I hereby acknow	owledge the informa	tion on this a	appiid	cation is, to	my	Knowledge,	accurate.
Owi	ner/Owner's Representative Signatur	re				-	Date	78/13
	•							
CH	ECKLIST							
Sign	ned Design Adjustment Application					☑	Included	
	e(s) addressing required findings						Included	
	n(s) and support documentation						Included	
	ary page (page 6) filled out; Must					$\overline{\mathbf{V}}$	Included	
-	t Class stamped and addressed env	· · · · · · · · · · · · · · · · · · ·					Included	
	mit all documentation, with the exc	ception of the requi	ed addresse	d en	velopes an	d let	tters to	
	gnadjustments@raleighnc.gov. ver the addressed envelopes and le	ttore to:						
	elopment Services, Development En							
	Exchange Plaza, Suite 500							
	eigh NC, 27601							
Fo	or Office Use Only	RECEIVED DATE:			DA-	1 4 4 		

Raleigh Street Design Manual Administrative Design Adjustment Findings



The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of the Raleigh Street Design Manual;

 The design adjustment meets the intent of the Raleigh Street Design Manual. Street trees will remain in the right-of-way as required by the City and be located between the existing curb and sidewalk per coordination with Urban Forestry Staff.
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

The requested design adjustment has no impact on the Comprehensive Plan and City Staff supports this request.

C. The requested design adjustment does not increase congestion or compromise safety;

The requested design adjustment has no impact on congestion or compromises safety. Urban Forestry has requested that we provide street trees between existing curb and sidewalk on numerous projects.

D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

No additional maintenance responsibilities are created. Street trees will remain in the right-of-way as required by the City.

E. The requested design adjustment has been designed and certified by a Professional Engineer.

The design adjustment has been designed and certified by a Professional Landscape Architect in conjunction with a Professional Engineer.

Individual Acknowledgement



STATE OF NORTH CAROLINA COUNTY OF Chatham	INDIVIDUAL
1, Anita 1. Vaughn Kendall 3. Oliver acknowledged the due execution of the forg	, a Notary Public do hereby certify that personally appeared before me this day and soing instrument.
This the 213th day of July	, 20 <u>/ 8</u> .
(SEAL) ANITA T VAUGHN NOTARY PUBLIC, NORTH CAROLINA CHATHAM COUNTY MY COMMISSION EXPIRES DECEMBER 10, 2019	otary Public Anta T. Vaugh
My Commission Expires: 12/10/2019	·

PRELIMINARY STAKING / TREE CONSERVATION PLAN PRELIMINARY NOT FOR CONSTRUCTION SSUED: 13 APR 2017 PROJECT: CVBCRU OF BRIER CREEK CAMBRIDGE VILLAGE DWG, NO. NORTH EXCUSOR EXCUSOR BN 2014, PC 135 - TOD YCAR STODDPLAN BOUNDARY PCR CITY OF RALESH APPROVED PLODD STUDY FAMB ALDANDOR GROUP LLD 00 12777, PG 972 04 2505, PG, 407 PM: 0760.01—49—4970 DESCRIPTION AREA - NUMBER CONE 2 0.11 AC.4 ARBORS DR. DEL WEBB NEW 10" NEWSTRING CHOCSPALK PER NCOOL STO. 1205.07 LOT 112 (PHASE 13)
T.W. ALEXANDER PLACE
6.36 AC.± WITHOUT AREA MORANEZ SIGNIT-COUNCE, CASOLIO AND LITTES, REPUZANOS NO DECONALIDADO AND LA COUNCIDADO NO DECONAL SILVEDOS DOCUMENTOS NOS TELAS SILVEDOS DECONALIDADOS NOS TELAS SILVEDOS DECONALIDADOS NOS TELAS SILVEDOS NOS TELAS NOS TELAS SILVEDOS NOS TELAS NOS TELAS NOS TELAS SILVEDOS NOS TELAS NOS TELAS NOS TELAS NOS AND TELAS TELAS NOS TELAS N NTERIAL ACCESSIGLE WALKERY ROLFE (TYP.) OUTDOOR ANDNIN NATURE SERVICES NATURE SERVICES OF 1874 OF 1874 OF 1874 OF 1874 OF 1874 OF 1874 OF 1817 N/F DRAF CREDX ANDDES DESC REPA. U.C. DB 1501, PC. 1208 B4 2013, PC. 1208 PPC 0708.01 - 68-4870 NEW CLINIC RAMPS T-20.01.1 GUNDOR AUDURY A 420' SIBHT POSTANCE OSCINOT SECULOUSH'NT PARSECTION FRE COMPONENDA WITH UTW STAFF, THE COMMINICO MON THEE CONSERVATION AND WENT FOR THE TOWNS OF LOST AND THE TOWN THE TOWN THE TOWN THE THE THE THE THAT COMPANIES THE CONSERVATION AND RECORDS ON THESE THE PARKETS. 2014-FIG. 154) TA, Altanuly Diene (Primary street) let redatace — 786 lé — 80 le de Rearra Bustyr — 786 le 10 metace (de-180 pill) — 496 le (pall) Barling an Dolla—10 metace (de-180 pill) — 496 le (pall) aci diviligiardo (sous streict) lot frograce — sus le — 113 le of roman 373 up Dulloing in duild-to frontage (0-aos fect) — 335 up (sejar) 0,27 AG.S D.DO AG.S 0,27 AG.± (4,24X) PARKING SPACES AND STAND UNBOUND DEEDT MODITARY BRACES AND GOT MICH. MINISTANCE THAT NO WALLES — VAND.

SPECIALLY PARKET WITH THE DIRECTOR OF ANY DIPOCULAR, EDGING MINISTANCE DIRECTOR OF ANY DIPOCULAR, EDGING MINISTANCE DIRECTOR. ALL DAINEONS, ART, TO BACK OF LIGHT, FACE OF PAINTED DOWN WA FIRST OF PAYING, PACIDING WALL FACE OF PROPERTY UNC. RETEN TO ARRESTMENT, DRAWNESS FOR DAINCHOUGH OF THE BUILDIN 5. ALL CORD AND GUTTER ONDIT DIALL DE 24" MIDE.
6. ALL CONDITIONENT TO DE IN ACCOMMANDE WITH OITY OF PALIDON STANDARDS AND SPLENDANDING. SIGHT DISTANCE TRIANCLE DUTDOOR AMENITY AREA OUTDOOR OPEN SPACE (SECT. 6.2,2,C. RICHORTAL UNTS: 201 201 UNIS X 218 SF AMENDY ARCH POS UNIT + 1.00 AG. PRICEINO CUTDOOR OPEN SPACE 1.12 AG. BUILD-TO FRONTAGE CALCULATIONS LOT 112 TREE CONSERVATION AREA: UT ANICH: 6.38 AC.± PROPOSED OUTDOOR AMENITY ARGUE 0.89 AC.± OUTDOOR AMENITY AREA:

7950 ACC BOULEVARD RALEIGH, NORTH CAROLINA

PA.3

STREET ADDRESS: 4. WAKE COUNTY P.I.N.:

5. TOTAL NUMBER OF LOTS: 6. LOT AREA:

7. ZONING:

2. PROPOSED USE:

8. BUILDING SQUARE FOOTAGE: PARKING SUMMARY: BASIS OF DETERMINATION:

PARKING SPACES REQUIRED:

SURFACE PARKING SPACES PROVIDED: DECK PARKING SPACES PROVIDED: TOTAL PARKING SPACES PROVIDED:

ACCESSIBLE SPACES PROVIDED:

10. INSIDE CITY LIMITS:

11. INSIDE FLOOD HAZARD BOUNDARY: 12. INSIDE FALLS LAKE OR SWIFT CREEK DRAINAGE AREA:

13. DEDICATED STREET RIGHT OF WAY:

14. OWNER/DEVELOPER:

15. CONTACT PERSON

Ordinance (2015) 496 ZC 715

Conditions dated: August 19, 2015

Prior to the issuance of a building permit for new development or recording of a subdivision plot, whichever occurs first, if requested by the City of Raleigh, a transit easement shall be deeded to the City and recorded in the Wake County Registry. Prior to recordation of the transit easement, the dimensions (not to exceed 15 feet in depth and 20 feet in width) and location of the easement shall be agreed to by the Public Works Department and then Property Owner, and the asement deed approved as to form by the City Attorney's Office.

Z-19-15 - TW Alexander Drive, south side, from Brier Creek Parkway to ACC

1. The following uses shall be prohibited: detention center, jail, prison.

Boulevard, approximately 12.56 acres rezoned Office Mixed Use-7 Stories-Parking Limited-Conditional Use (OX-7-PL-CU), being Wake County PINs 0768497410 and

The maximum development intensities for the property shall be one of the following scenarios, at the election of the property owner: 201,300 square feet of office and medical land uses; or

28,000 square feet of office and medical land uses and a Congregate Care Facility with up to 316 units and 43,000 square feet of health club land limited use pursuant to UDO Section 6.4.11.C.2); or

3. Any land use or mix of land uses permitted on the property so long as the overall development does not exceed 335 AM peak hour trips and 304 PM

References to land uses in this condition shall have the meaning as ascribed in the Allowed Principal Use Table (UDO Section 6.1.4). Election of the specific scenario will occur prior to the issuance of the first building permit, or the recording of a subdivision plot, whichever occurs first. However, this shall not preclude the subsequent election of another scenario so long as it complies with this condition. The election and any amendment thereto will be in writing and recorded with the Wake County Register of Deeds. Any amendment to the initial election requires the consent of the City Planning Director, as evidenced by the signature of the City Planning Director on the recorded instrument, and which consent shall be given if the subsequent election complies with this condition.

4. Within thirty (30) days following the approval of the form and substance of the restrictive covenant hereinafter mentioned by the City Attorney or his or her deputy, the owner of the Property shall cause to be recorded in the Wake County Registry a restrictive covenant that allocates the allowable development upon the Property as provided in foregoing Zoning Condition 3 among all existing lots comprising the Property. Such restrictive covenant shall be submitted to the City

Attorney within thirty (30) days following approval of this rezoning case by the

Ordinance (2015) 496 ZC 715 Effective: 10/7/15

NO X

7950 ACC BOULEVARD (LOT 112 - T.W. ALEXANDER PLACE PHASE 13)

1 SP/3 UNITS + 1 SP/400 SF ADMINISTRATIVE, EMPLOYEE, STAFF WORK AREA

CONGREGATE CARE

OFFICE MIXED USE (OX-7-PL-CU)

67 (201 RESIDENTIAL UNITS) 10 (3,760 S.F. WORK AREA)

88 SPACES (INCLUDES 4 H/C)

258 SPACES (INCLUDES 5 H/C) 346 SPACES

YES (REFER TO GENERAL NOTE #6)

7780 BRIER CREEK PARKWAY; SUITE 400

ksoliver@oliverdevelopmentllc.com (E-MAIL)

CAMBRIDGE VILLAGE, LLC

PIEDMONT LAND DESIGN, LLP

8522-204 SIX FORKS ROAD

(919) 845-7600 (PHONE)

(919) 845-7703 (FAX)

RALEIGH , NORTH CAROLINA 27615

david@piedmontlanddesign.com (E-MAIL)

c/o KENDALL OLIVER

RALEIGH, NC 27617 (919) 792-3750 (PHONE)

c/o DAVID LASLEY

77 TOTAL REQUIRED

319,996 SF (REFER TO CHART ON THIS SHEET)

0768-49-7410

6.36 AC.±

9 SPACES

City Council and shall be approved by the City Attorney or his or her deputy prior to recordation. The restrictive covenant and the allocation of development set forth therein may be amended from time to time following recordation. Any such amendment shall require the written concurrence of the City Attorney or his or her deputy and the owners of all portions of the Property affected by the amendment and shall be at the sole discretion of such owner(s). Following recordation, a copy of each amendment shall be mailed to the Planning Director at P. O. Box 590, Raleigh, NC 27602 with a reference to zoning case Z-19-15.

DEVELOPMENT **Administrative Site Review Application** (for UDO Districts only) Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831

wnen sub	mitting plans, please check the appro	opriate building typ	e and include the Plan Cr	neckrist document.		
	BUILDING TYP	3		FOR OFFICE USE ONLY		
Detached Attached Apartment Townhouse	□ Mix	neral ced Use en Lot		Transaction Number Assigned Project Coordinator Assigned Yearn Leader		
Has your project previou	sly been through the Due Diligence or Sk	etch Plan Review pro	cess? If yes, provide the tran	nsaction # 454570		
	2000	ERAL INFORMATIO	N			
Development Name C	ambridge Village of Brier	Creek				
Zoning District OX-	PL-7-CU Overlay District (if app	olicable)	Inside City Limi	its? ■Yes □No		
Proposed Use Cong	regate Care		'			
	950 ACC Boulevard	N	Major Street Locator:			
Wake County Property le	dentification Number(s) for each parcel to	o which these guidelir	nes will apply:			
P.I.N. 0768-49-7	410 P.I.N.	P.I.N.	P.	I.N.		
What is your project type? Mixed Residential Duplex Other: If other, please d	Non-Residential Condo ☐ Scho ☐ Telecommunication Tower ☐ Relig	ol 🖳 st	ospitals Hot hopping Center Ban esidential Condo Ret			
WORK SCOPE	occupancy (per Chapter 6 of the UDO), Clear and grade parcel as re	er City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or coupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Ilear and grade parcel as required to install a congregate care facility, parking deck, urface parking and drives, and underground utilities.				
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if y Administrative AE Design Adjustments are requested to keep ACC B					
	Company Cambridge Village, LLC Name (s) Kendall O			liver		
CLIENT/DEVELOPER/ OWNER	Address 7780 Brier Creek Parkway, Suite 400; Raleigh, NC 27617					
o men		1000001	verdevelopmentllc.cor			
	Company Piedmont Land	Design, LLP	Name (s) David Las	sley		
CONSULTANT (Contact Person for	Address 8522 Six Forks R	oad, Suite 20	04; Raleigh, NC 2	7615		
Plans)	Phone 919-845-7600 Email david@piedmontlanddesign.com					

WWW.RALEIGHNC.GOV

DEVELOPMENT TYPE & SITE DATA TA	ADLE (APPIICE		
Zoning Information		Building Information	
Zoning District(s) OX-PL-7-CU		Proposed building use(s) Congregate care	
If more than one district, provide the acreage of each:	-	Existing Building(s) sq. ft. gross 0	
Overlay District		Proposed Building(s) sq. ft. gross 319,996 SF.	
Total Site Acres Inside City Limits Yes No 6.36		Total sq. ft. gross (existing & proposed) 391,996 SF.	
Off street parking: Required 77 Provided 342		Proposed height of building(s) 85'	
COA (Certificate of Appropriateness) case #		# of stories 5	
BOA (Board of Adjustment) case # A-		Ceiling height of 1 st Floor 12'	
CUD (Conditional Use District) case # Z- 19-15			
	r Information		
Existing Impervious Surface 0 acres/square feet		Flood Hazard Area 🔳 Yes 🔲 No	
Proposed Impervious Surface 3.502 AC. acres/square feet 158		If Yes, please provide:	
Neuse River Buffer ■ Yes □ No Wetlands □ Yes ■ No		Alluvial Soils Flood Study #348 FEMA Map Panel # 3720076800J	
FOR RESIDENTIA			
Total # Of Apartment, Condominium or Residential Units	5. Bedroom	1 Units: 1br 2br 3br	
Total # Of Congregate Care Or Life Care Dwelling Units 201		evelopment 2.2.7	
		Space (only) or Amenity 1,27 AC.+/- (Open Space	
3. Total Number of Hotel Units			
4. Overall Total # Of Dwelling Units (1-6 Above) 201	8. Is your p	ır project a cottage court? 🔲 Yes 🗏 No	
SIGNATURE BLOCK (Appli	icable to all d	levelopments)	
In filing this plan as the property owner(s), I/we do hereby agree and firrand assigns jointly and severally to construct all improvements and make approved by the City. I hereby designate Piedmont Land Design, LLP receive and respond to administrative comments, to resubmit plans on rapplication.	e all dedication	is as shown on this proposed development plan as to serve as my agent regarding this application, to	
I/we have read, acknowledge and affirm that this project is conforming tuse. Signed		on requirements applicable with the proposed developm	
Printed Name Kendall S. Oliver			
Signed	Date		
Printed Name			

WWW.RALEIGHNC.GOV

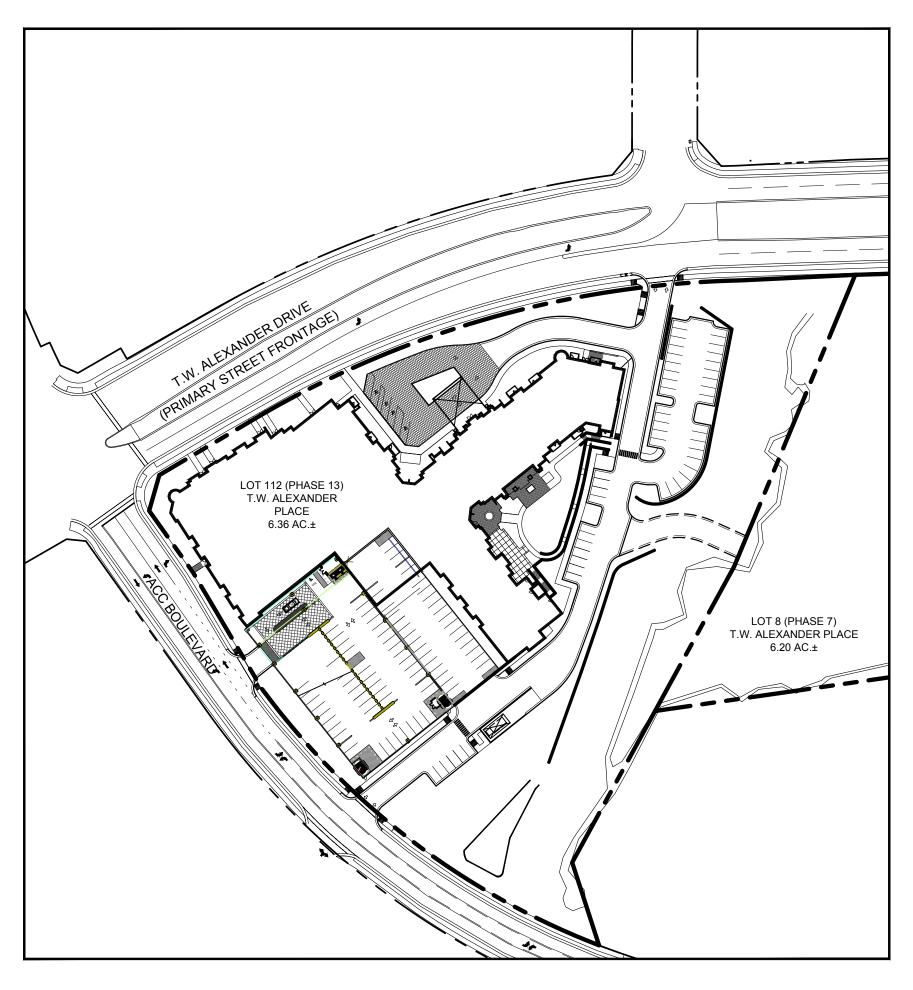
REVISION 05.13.16

ADMINISTRATIVE SITE REVIEW PLANS FOR:

CAMBRIDGE VILLAGE OF BRIER CREEK

7950 ACC BOULEVARD RALEIGH, NORTH CAROLINA WAKE COUNTY

SR-42-17/TRANSACTION NO. 510611



CONGREGATE CARE USE STANDARDS COMPLIANCE (UDO Sec. 6.2.2.C.2)

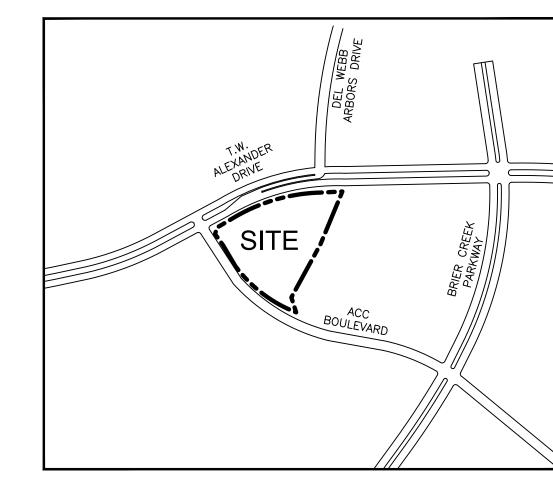
- a. THE FACILITY IS LIMITED IN OCCUPANCY TO PERSONS 62 YEARS OR OLDER, THEIR SPOUSES AND THEIR SURVIVING SPOUSES, EXCEPT FOR ROOMING UNITS OR DWELLING UNITS OCCUPIED BY RESIDENT STAFF PERSONNEL PERFORMING DUTIES DIRECTLY RELATED TO THE OPERATION OF THE FACILITY.
- b. THIS IS NOT LOCATED IN THE R-6 OR R-10 DISTRICT. c. EACH ROOMING UNIT OR DWELLING UNIT WILL BE OCCUPIED BY NO MORE THAN 2 PERSONS NOT RELATED BY BLOOD, MARRIAGE OR ADOPTION. d. FACILITIES FOR RESIDENT MANAGERS OR CUSTODIANS PROVIDING ADMINISTRATIVE SERVICES AND MEDICAL SERVICES FOR THE EXCLUSIVE USE OF THE RESIDENTS ARE
- LOCATED ON SITE AND OPEN AND STAFFED FOR AT LEAST 4 HOURS, ONE DAY A WEEK. e. THE FACILITY CONTAINS INDOOR SHARED FOOD PREPARATION SERVICE, COMMON DINING HALLS AND COMMON RECREATION ROOMS, FOR THE EXCLUSIVE USE OF ALL
- RESIDENTS AND THEIR GUESTS, AND THESE FACILITIES TOGETHER EXCEED 30 SF PER UNIT. f. THE FACILITY PROVIDES A COMPREHENSIVE PEDESTRIAN CIRCULATION PLAN, INCLUDING INTERNAL ACCESSIBLE WALKWAYS, WITH PROVISIONS FOR ALTERNATIVE TRANSPORTATION SERVICES FOR THE RESIDENTS OF THE FACILITY. SPECIFICALLY, THIS FACILITY WILL USE GOLF CARTS TO ASSIST RESIDENTS WITH TRANSPORTATION TO
- PERSONAL VEHICLES AND TO SHOPPING AREAS. g. OUTDOOR OPEN SPACE IS BEING PROVIDED AT A RATE EXCEEDING EITHER 10% OF THE LAND AREA OR 218 SF/UNIT. THESE OPEN SPACES ARE LOCATED WITHIN 300 FEET OF CONTROLLED ENTRANCES TO THE FACILITY.

USE STANDARD CALCULATIONS

Minimum (201 Units x30sf) Total Building	Dining		Recreation		Total
	Pub	2984	Library	1087	
	Restaurant	3280	Club Room	1690	
			Movie Theater	1115	
			Art Room	834	
			Meditation	125	
			Multipurpose	1357	
			Meeting		
			Room	298	
6030		6264		6506	12770

BUILDING AREA

Project Total	GSF Total	Wellness Center	Front of House (Club House)	Back of House (Club House)	Optimal Living	RSF/ Floor	Units Per Floor
Level 0 (373'-4")	4263	0	0	3618	0	0	0
Level 1 (385)	65327	18505	17972	8526	2770	10269	11
Level 2 (399'-1")	62408	0	5842	676	0	37585	43
Level 3 (411'-2")	62666	0	0	796	0	43833	49
Level 4 (422'-3")	62666	0	0	796	0	43833	49
Level 5 (433'-4")	62666	0	0	796	0	43833	49
Totals	319996	18505	23814	15208	2770	179353	201
Total	319996 239650 201						



VICINITY MAP

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND
- 2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- 3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO
- 4. BOUNDARY, SURVEY, AND HORIZONTAL/VERTICAL DATUM INFORMATION IS TAKEN FROM SURVEY BY JOHN A. EDWARDS & COMPANY. HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 88.
- 5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS
- 6. THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 3720076800J, WITH A DATE OF IDENTIFICATION OF MAY 2, 2006, FOR COMMUNITY NUMBER 370243, IN RALEIGH, CITY OF RALEIGH, WAKE COUNTY, STATE OF NORTH CAROLINA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED. THE 100 YEAR FLOOD PLAIN SHOWN ON SURVEY PER CITY OF RALEIGH APPROVED FLOOD
- ALL SITE LIGHTING SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH ZONING

SOLID WASTE COMPLIANCE STATEMENT

NEW TRASH COMPACTOR WITH HEAVY DUTY CONCRETE PAD, A 6' HIGH ENCLOSURE TO MATCH BUILDING MATERIALS, AND A LOCKABLE GATE SHALL BE PROVIDED IN THE LOCATION SHOWN ON THE PLANS. ENCLOSURE DETAILS SHALL BE PROVIDED ON THE ARCHITECTURE PLANS. THE OWNER WILL USE A PRIVATE HAULER TO REMOVE SOLID WASTE, CARDBOARD, AND OTHER RECYCLABLES.

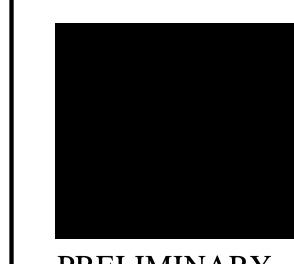
DRAWING INDEX

- PA.1 COVER SHEET
- PA.2 EXISTING CONDITIONS PLAN PA.3 PRELIMINARY STAKING/TREE CONSERVATION PLAN
- PA.4 PRELIMINARY GRADING PLAN
- PA.5 PRELIMINARY UTILITY PLAN PA.6 PRELIMINARY LANDSCAPE PLAN
- PA.7 LOT 8 TREE CONSERVATION AREA ALLOCATION PA.8 PRELIMINARY STORMWATER CONTROL MEASURES DETAILS
- PA.9 PRELIMINARY SANITARY SEWER PROFILE BM 2014/PG 158 RECORDED MAP
- BM 2014/PG 156 RECORDED MAP AT-00 - COVER SHEET
- A1-01D LEVEL 1 FLOOR PLAN A1-01E - WELLNESS CENTER LEVEL 1 FLOOR PLAN
- A1-10A PARKING DECK PLAN
- A1-10B PARKING DECK PLAN A1-10C - PARKING DECK PLAN
- A1-10D PARKING DECK PLAN
- A1-10E PARKING DECK PLAN
- A5-01 PHASE 1 ELEVATIONS A5-02 - PHASE 1 ELEVATIONS
- A5-03 PHASE 1 ELEVATIONS A5-04 - PHASE 1 ELEVATIONS

A5-07 - WELLNESS CENTER ELEVATIONS

A5-15 - PARKING DECK ENLARGED ELEVATIONS A5-16 - PARKING DECK ENLARGED ELEVATIONS

8 - X - X \ A RA = - \ \ \ \ - A \ A 7 9 . .7 - = 9 . .77 -AX FI\ = = #--



PRELIMINARY

ISSUED: 13 APR 2017

REVISIONS:

/1\ 5 JUN 2018

<u>/2\</u> 20 JUL 2018

REV. PER CITY COMMENTS <u>∕3</u>\ 15 AUG 2018

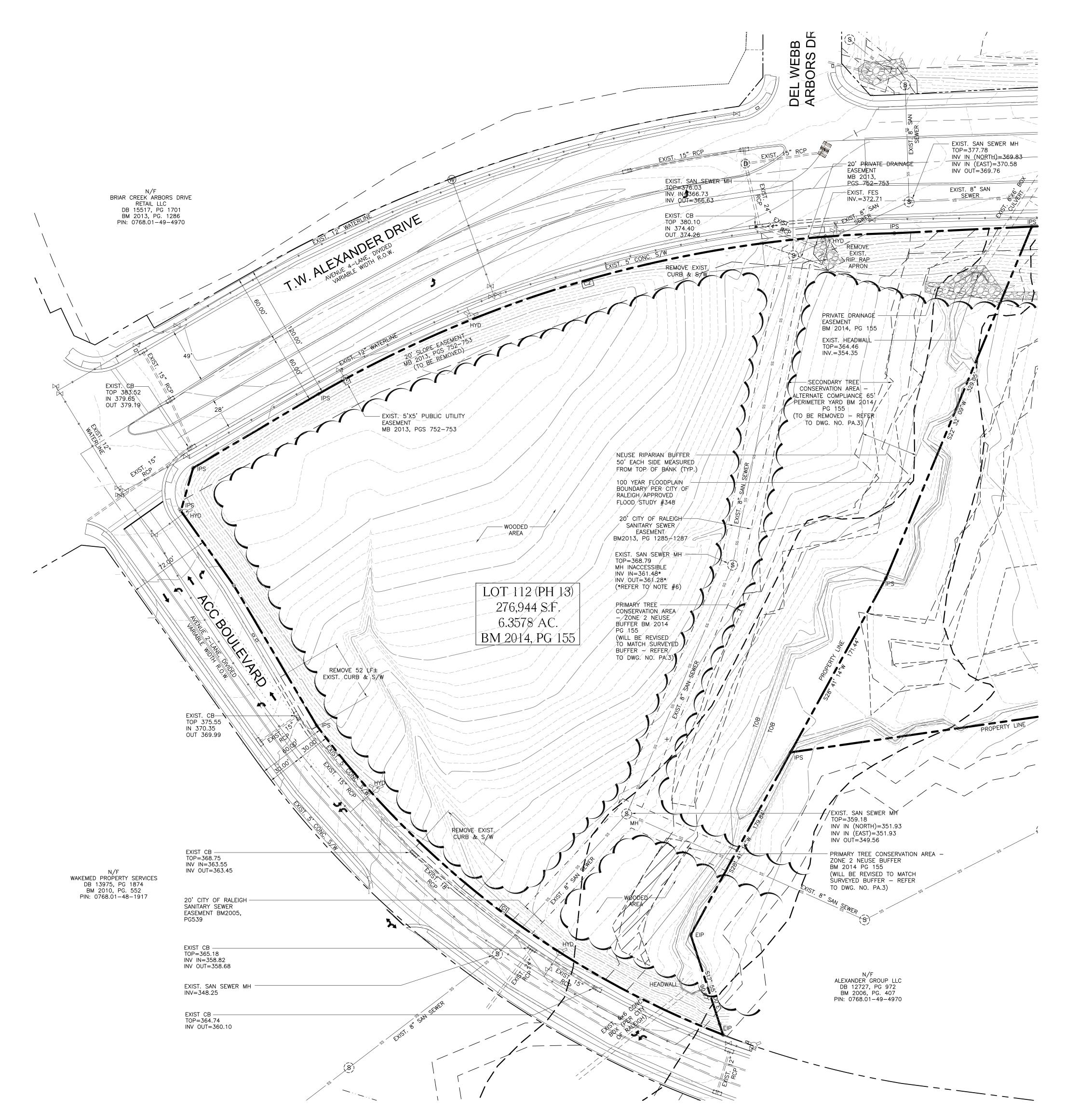
REV. PER CITY COMMENTS

DRAWN BY: MGD CHECKED BY: JDL

PROJECT: CVBCRJTR

COVER

SCALE IN FEET: 1" = 100'



EXIST. CONDITIONS/DEMOLITION NOTES

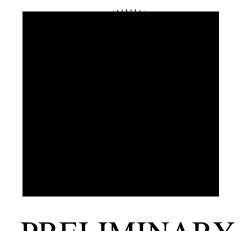
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- 4. CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES
- ALL SILT FENCE WITH TREE PROTECTION SIGNAGE SHALL BE INSTALLED PRIOR TO BEGINNING DEMOLITION.
- 6. INVERTS ON EXISTING SANITARY SEWER MANHOLE LABELED 'INACCESSIBLE'
 WERE OBTAINED FROM APPROVED INFRASTRUCTURE CONSTRUCTION DRAWINGS PREPARED
 BY JOHN A. EDWARDS AND COMPANY FOR TW ALEXANDER PLACE SUBDIVISION
 (S-12-12 DATED APRIL 2013). CONTRACTOR SHALL REMOVE MANHOLE COVER
 AND VERIFY INVERTS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY THE ENGINEER
 OF ANY DISCREPANCIES OR CONFLICTS.

CURVE TABLE							
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING		
C1	447.24	790.00'	032°26'13"	441.30'	N52° 43′ 56″W		
C2	522.20'	1040.00'	028*46'09"	516.73	N74° 24' 23"E		
С3	32.65'	2670.00'	000°42'02"	32.65	S00° 44' 49"E		
C4	174.67	1440.00'	006°57'00"	174.57	S03° 04' 42"W		



PIEDMONT LAND DESIGN, LLP

8522-204 SIX FORKS ROAD RALEIGH, NORTH CAROLINA 27615 919.845.7600 PHONE 919.845.7703 FAX FIRM LICENSE #F-0843



PRELIMINARY NOT FOR CONSTRUCTION

CAMBRIDGE VILLAGE OF BRIER CREEK 7950 ACC BOULEVARD RALEIGH, NORTH CAROLIN

ISSUED: 13 APR 2017

REVISIONS:

PROGRESS

REV. PER CITY COMMENTS

20 JUL 2018

REV. PER CITY COMMENTS

DRAWN BY: MGD

CHECKED BY: JDL

PROJECT: CVBCRJTR

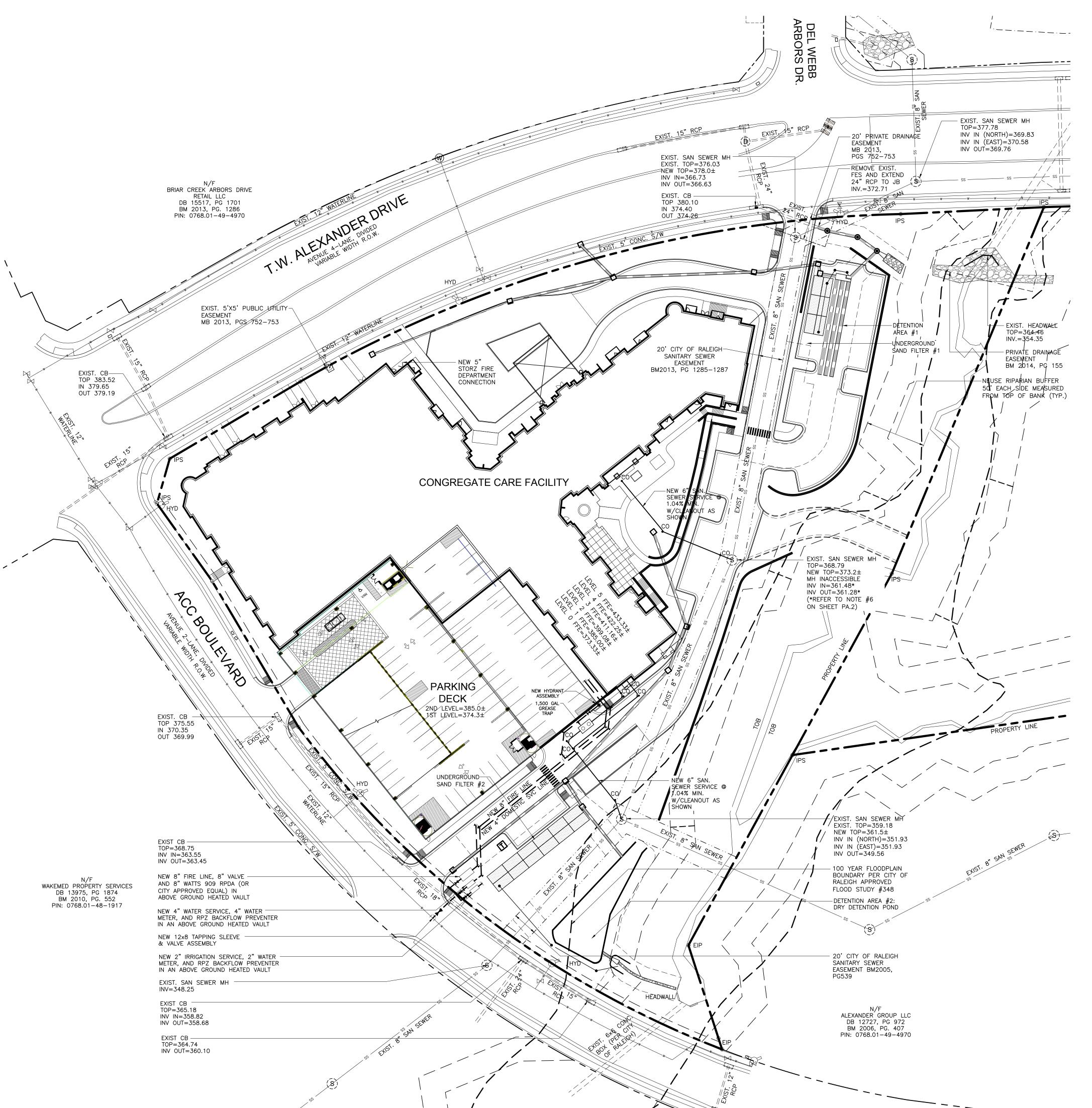
NORTH

SCALE IN FEET: 1" = 40'

EVICTING

EXISTING CONDITIONS PLAN

VG. NO. **PA.2**



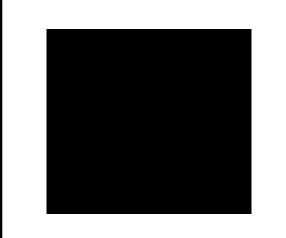
UTILITY NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- 2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- 3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- 4. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS, AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- 5. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
- 6. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE WATER AND SEWER SERVICE TO THE BUILDINGS WITH THE BUILDING PLUMBING CONTRACTOR AND THE BUILDING PLANS.
- 7. CONTRACTOR SHALL PROVIDE CONDUITS FOR IRRIGATION LINES UNDER PAVED AREAS.
- 8. THE CONTRACTOR SHALL LOCATE AND ABANDON THE EXISTING WATER AND SANITARY SEWER SERVICES PER CORPUD HANDBOOK.

STANDARD UTILITY NOTES

- STANDARD UTILITY NOTES (AS APPLICABLE): I. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- 2. UTILITY SEPARATION REQUIREMENTS: A) A DISTANCE OF 100'SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC
- WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25'FROM A PRIVATE WELL OR 50'FROM A PUBLIC WELL.
- B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10'ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER. E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS;
- MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE
- CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49). F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES &
- BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. 5. 3.0'MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0'MINIMUM COVER IS
- REQUIRED ON ALL REUSE MAINS. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR
- EASEMENT PER CORPUD HANDBOOK PROCEDURE. INSTALL 1"COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2"X2" WATERLINE
- EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- 8. INSTALL 4"PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER
- VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN
- EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS
- SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE
- 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.





PRELIMINARY NOT FOR CONSTRUCTION

ISSUED: 13 APR 2017

REVISIONS:

5 JUN 2018 <u>/2</u>\ 20 JUL 2018

REV. PER CITY COMMENTS

/3\ 15 AUG 2018 REV. PER CITY COMMENTS

DRAWN BY: MGD CHECKED BY: JDL

PROJECT: CVBCRJTR

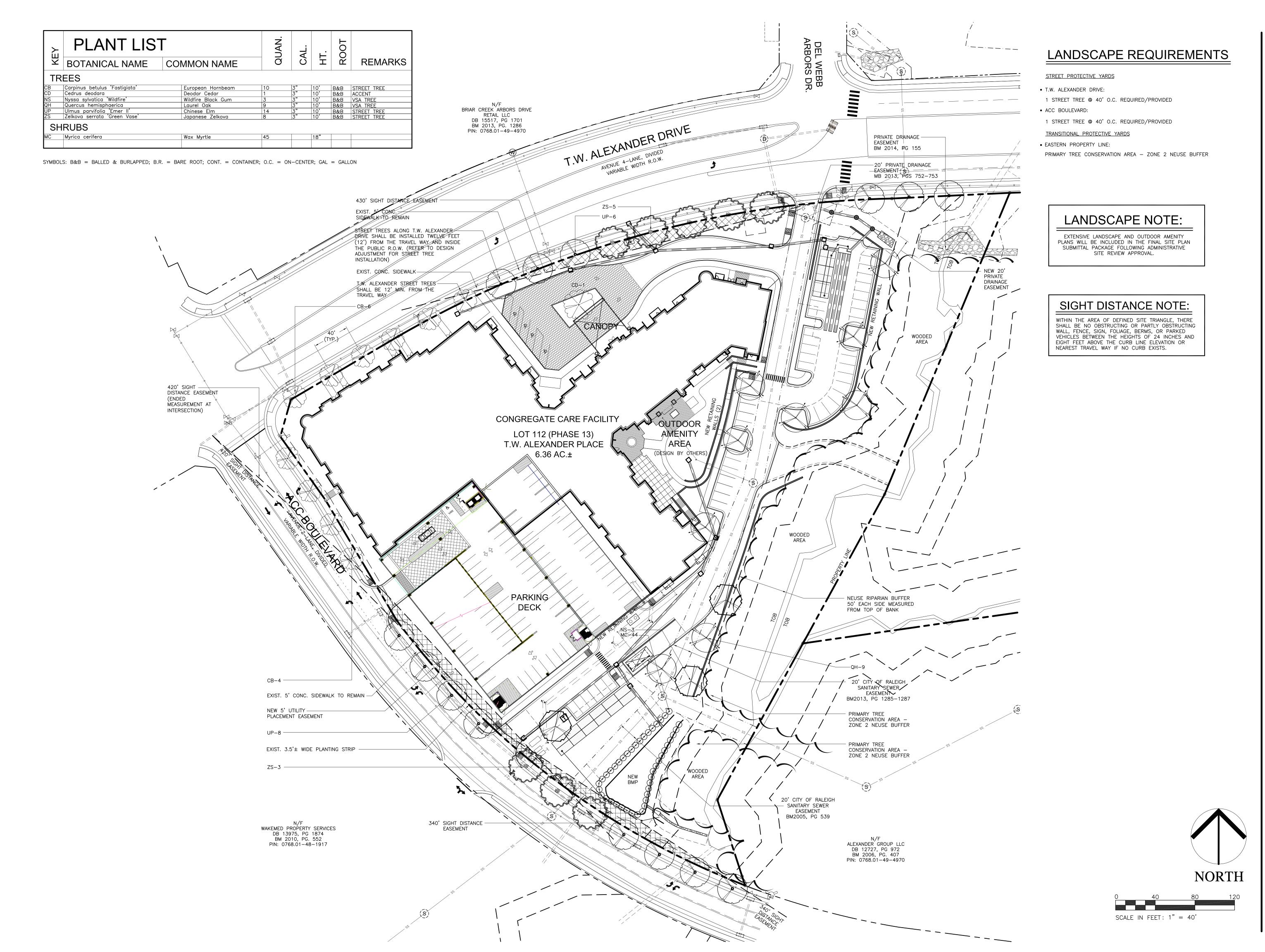
PRELIMINARY UTILITY PLAN

DWG. NO.

NORTH

SCALE IN FEET: 1" = 40'

PA.5



PIEDMONT LAND DESIGN, LLP

8522–204 SIX FORKS ROAD RALEIGH, NORTH CAROLINA 27615 919.845.7600 PHONE 919.845.7703 FAX



PRELIMINARY NOT FOR CONSTRUCTION

7950 ACC RALEIGH,

ISSUED: 13 APR 2017

REVISIONS:

<u>√1</u> 5 JUN 2018

20 JUL 2018 REV. PER CITY COMMENTS

<u>3</u> 15 AUG 2018 REV. PER CITY COMMENTS

DRAWN BY: MGD CHECKED BY: JDL

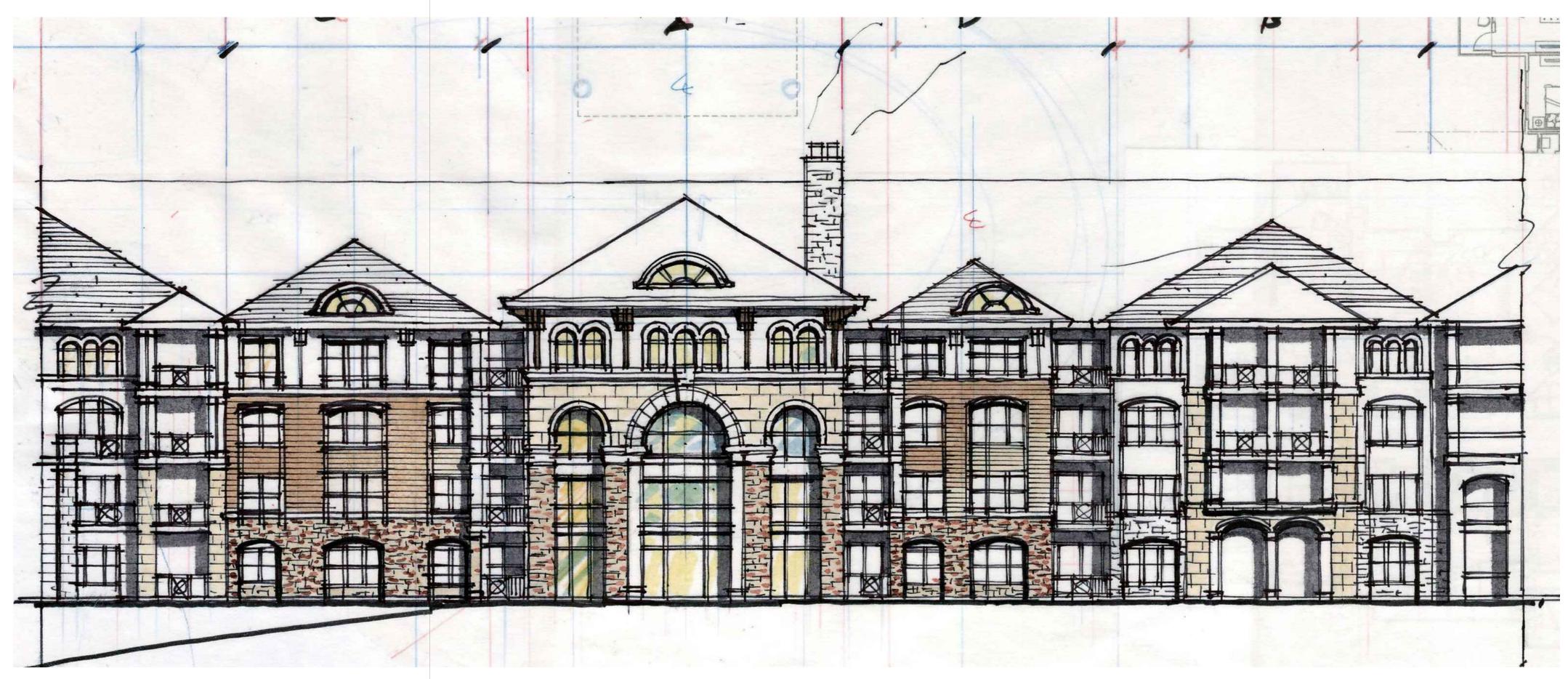
PROJECT: CVBCRJTR

PRELIMINARY LANDSCAPE PLAN

PA.6 DWG. NO.

CAMBRIDGE VILLAGE OF BRIER CREEK

RALEIGH, NC 27617



ASR SUBMITTAL JULY 20, 2018 VOLUME 1 - SITE + ARCHITECURAL

PROJECT DIRECTORY

OWNER:

 CAMBRIDGE VILLAGE RETIREMENT 7780 BRIER CREEK PARKWAY SUITE 400 RALEIGH, NC 27617

CIVIL ENGINEER:

 PIEDMONT LAND DESIGN 8522-204 SIX FORKS ROAD RALEIGH, NC 27615 919-845-7600

ARCHITECT/INTERIOR DESIGN:

RULE JOY TRAMMELL + RUBIO, LLC.
 ARCHITECTURE + INTERIOR DESIGN
 300 GALLERIA PARKWAY
 SUITE 740
 ATLANTA, GA 30339
 770-661-1492

FOODSERVICE DESIGN:

 CAMACHO ASSOCIATES, INC 6735 PEACHTREE INDUSTRIAL BLVD. SUITE 120 ATLANTA, GA 30360 770-582-1144

STRUCTURAL ENGINEER:

• ELLINWOOD + MACHADO 800 LAMBERT DRIVE SUITE H ATLANTA, GA 30324 404-262-0800

AQUATICS:

POOL DESIGN CONSULTANTS
 1016 RIPPLING BROOK COURT INDIAN LAND, SC 29707
 704-362-3144

MEP ENGINEER:

 JORDAN AND SKALA ENGINEERS, INC 4275 SHACKLEFORD ROAD, SUITE 200 NORCROSS, GA 30093 770-447-5547

LANDSCAPE ARCHITECT:

SITE SOLUTIONS
 3715 NORTHSIDE PARKWAY
 300 NORTHCREEK, SUITE 720
 ATLANTA, GA 30327
 404-705-9411

GENERAL CONTRACTOR:

BRASFIELD & GORRIE
3700 GLENWOOD AVE
SUITE 300
RALEIGH, NC 27612
919-790-9272

CONGREGATE CARE:

WELLNESS:

179,353 SF 201 UNITS 18,505 SF RUCTION

CAMBRIDGE
CAMBRIDGE
CAMMISSION NO: 16-030.00
DRAWING NO:

BRIER

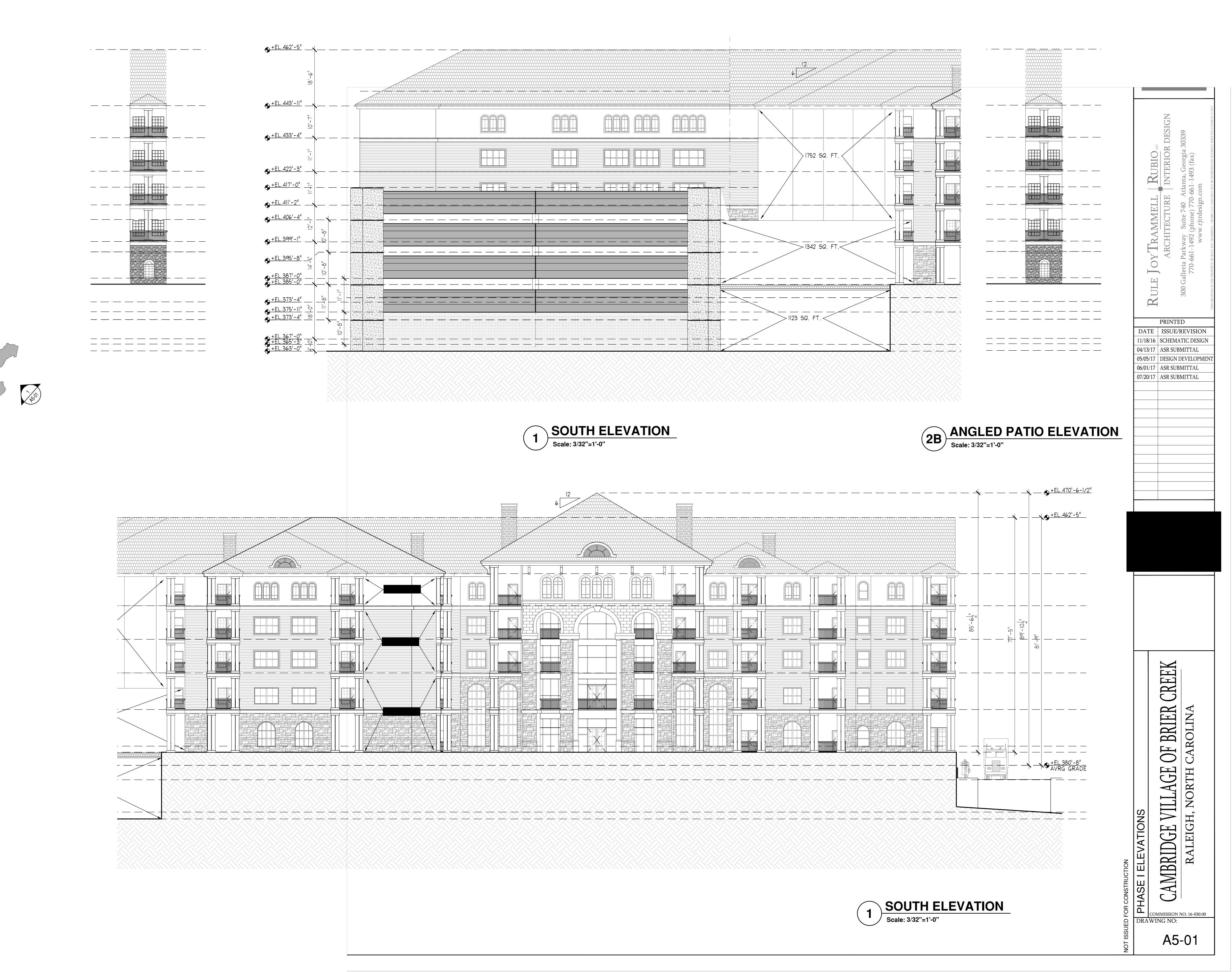
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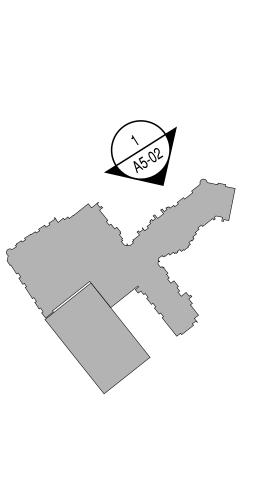
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DATE | ISSUE/REVISION

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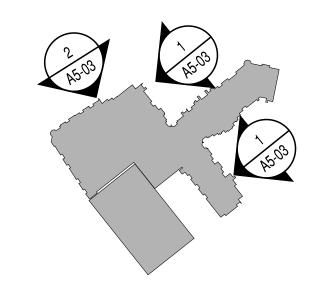
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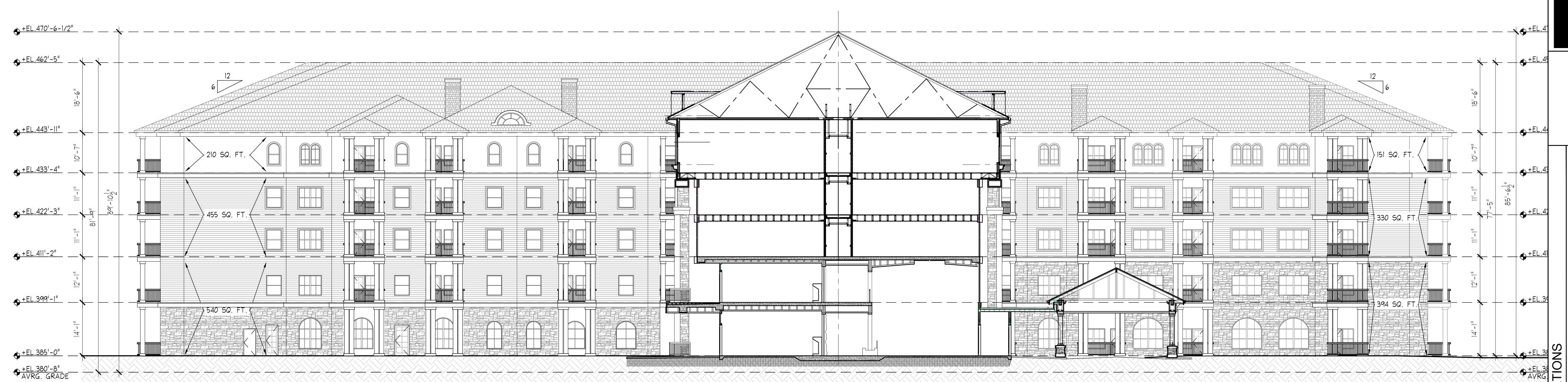














UED FOR CONSTRUCTION

PHASE I ELEVATIONS

ON BUINDAND

CAMBRIDGE VI

RALEIGH,

OF BRIER CREEK

ILLAGE

OY TRAMMELL ARCHITECTURE

RULE

PRINTED

DATE ISSUE/REVISION

11/18/16 SCHEMATIC DESIGN

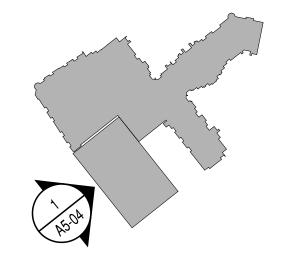
05/05/17 DESIGN DEVELOPMENT

04/13/17 ASR SUBMITTAL

06/01/17 ASR SUBMITTAL 07/20/17 ASR SUBMITTAL

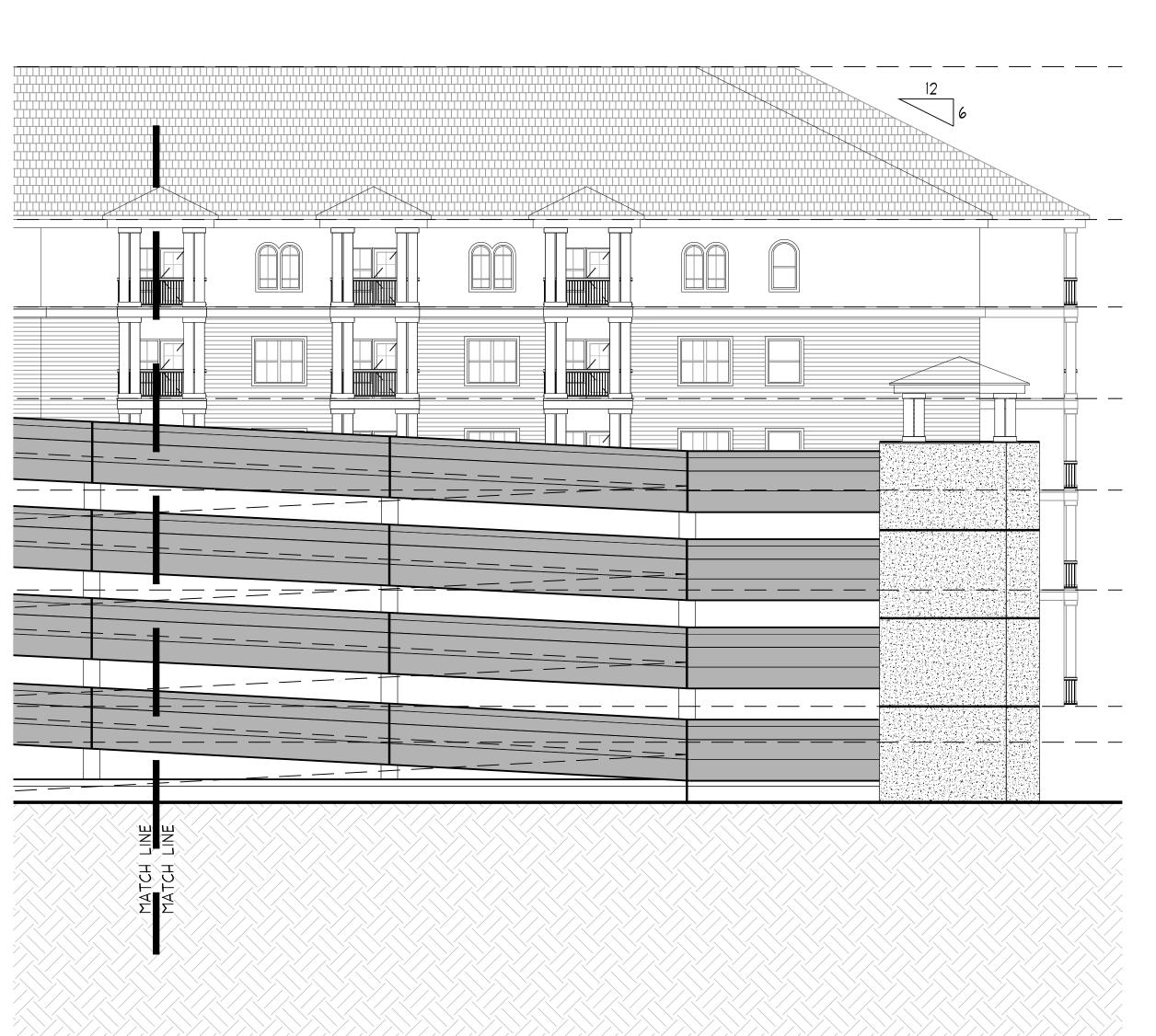
A5-03











EST ELEVATION @ LOADING DOCK e: 3/32"=1'-0"



OF BRIER CAROLINA CAMBRIDGE VI.

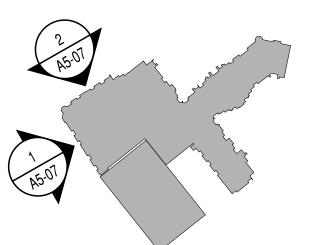
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JOY TRAMMELL RUBIO

PRINTED

A5-04





IESS CTR. SOUTH ELEVATION

WELLNESS CTR. NORTH ELEVATION



WELLNESS CTR. WEST ELEVATION

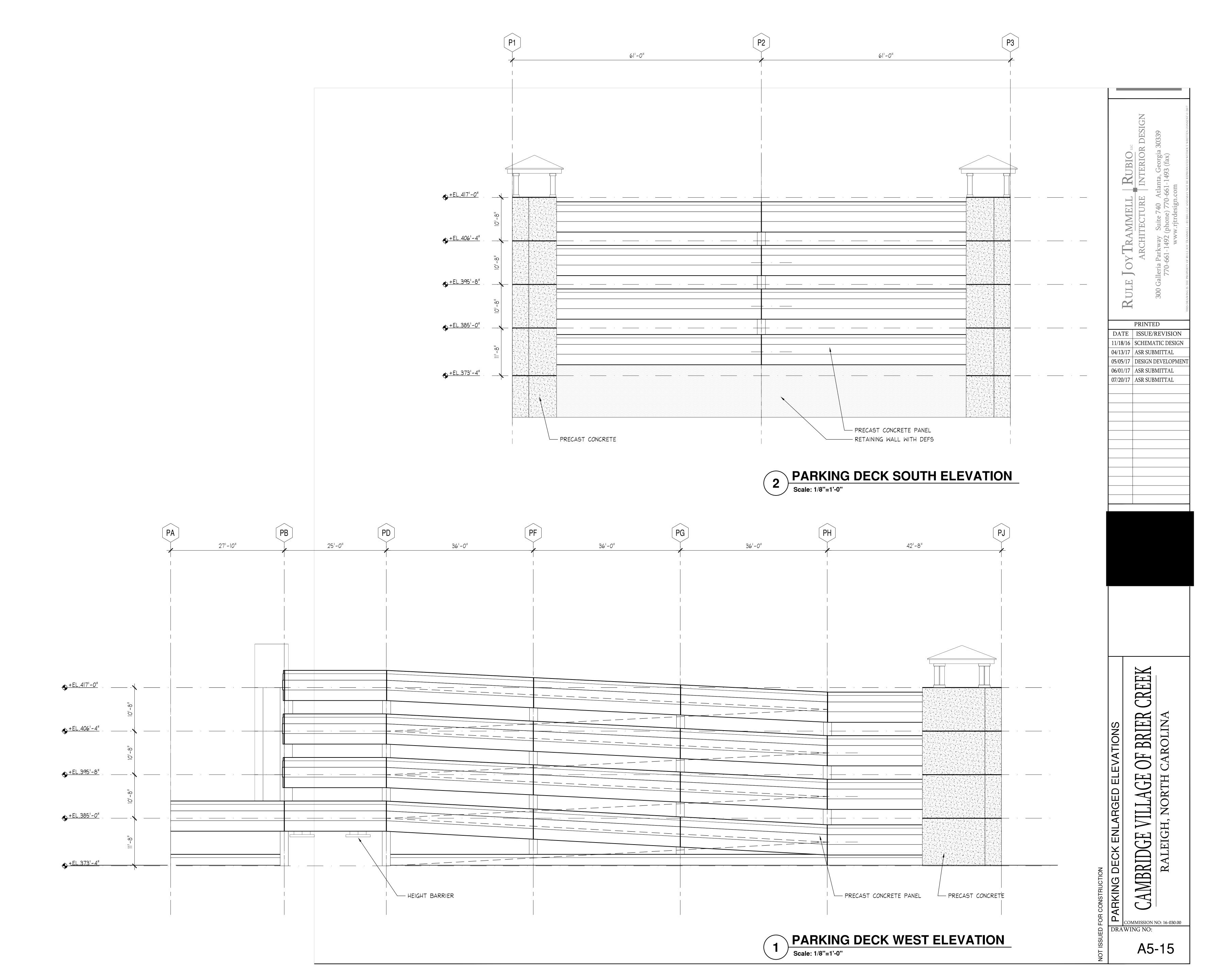
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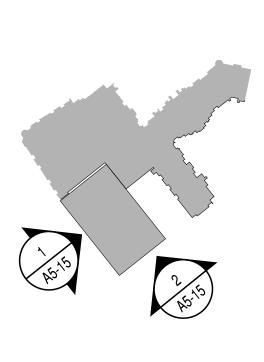
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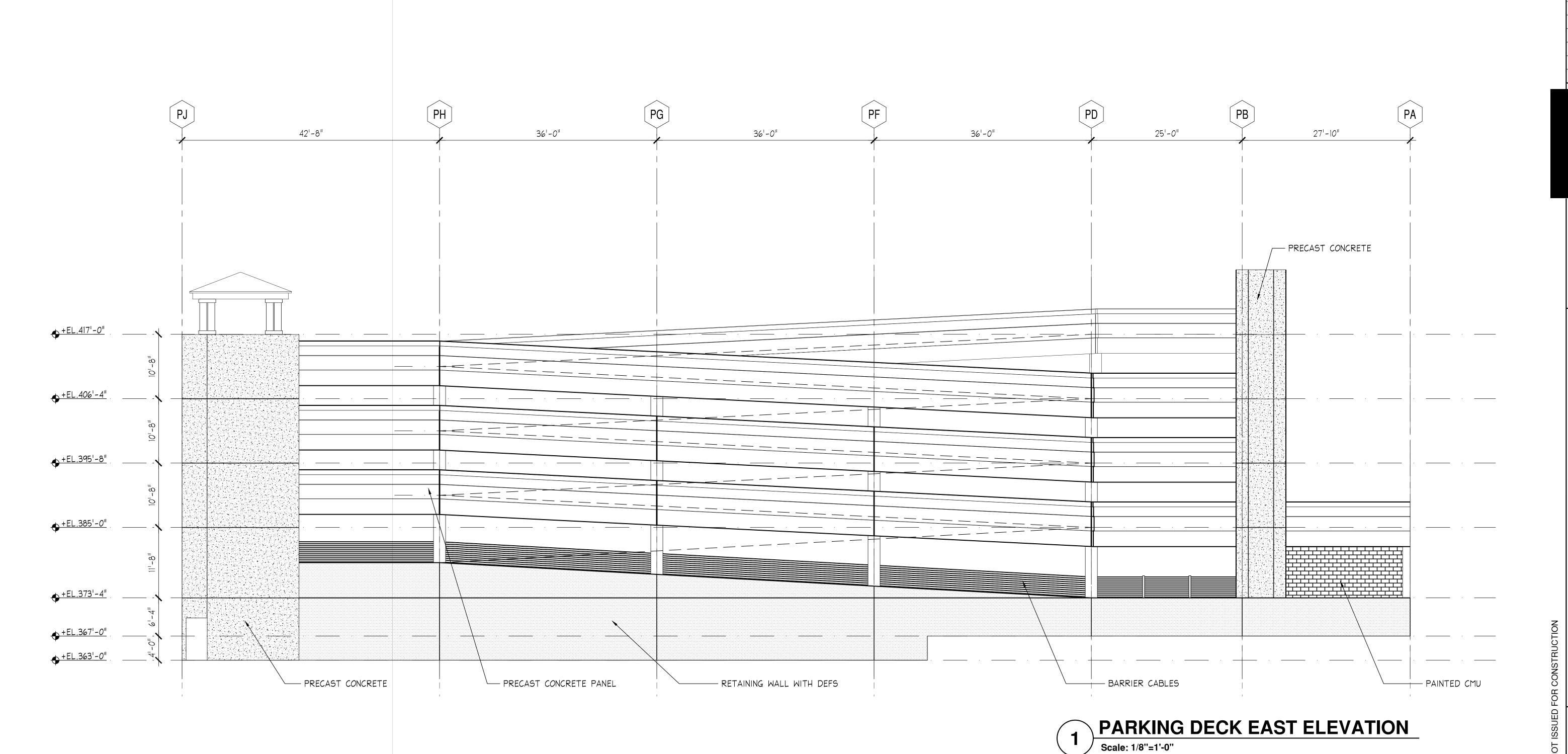
CAMBRIDGE VILLAGE OF BRIER CREEK
RALEIGH, NORTH CAROLINA

OY TRAMMELL ARCHITECTURE

PRINTED







OYTRAMMELL RUBIO RULE PRINTED

DATE ISSUE/REVISION 11/18/16 SCHEMATIC DESIGN 04/13/17 ASR SUBMITTAL 05/05/17 DESIGN DEVELOPMENT 06/01/17 ASR SUBMITTAL 07/20/17 ASR SUBMITTAL

CAMBRIDGE VILLAGE OF BRIER CREEK
RALEIGH, NORTH CAROLINA PARKING DECK ENLARGED ELEVATIONS

SOURCE OF BRIER

SOURCE OF BRIER

SOURCE OF BRIER

BALEIGH, NORTH CAROLINA

A5-16