

AA# 3927 / SR-96-17, The Willard (Revision) Transaction# 572819 City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Glenwood Avenue, on the southwest

corner of the intersection of Glenwood Avenue and Willard Place, at 21

Glenwood Avenue.

REQUEST: Development of two parcels recombined into a 0.9 acre tract zoned DX-7-SH for

development of a 7 story, 119,596 gross square foot mixed use building consisting of retail space (3,865 SF on the ground floor) and overnight lodging (147 rooms). THIS IS A REVISION TO A PREVIOUSLY APPROVED SITE PLAN SR-96-17, TRANSACTION (#535899), AA # 3779. This revised plan increases the number of lodging units, removes residential units entirely, decreases the overall size of the structure, and changes the traffic circulation

into the parking deck.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

One Administrative Alternate has been approved by the Planning Director for this project, noted below.

1. Allowing the percentage Build To requirement and the corner lot Build To requirement to be met with building façade and amenity area.

FINDINGS: City Administration finds that this request, with the below conditions of approval

being met, conforms to the Unified Development Ordinance. This approval is

based on a preliminary plan dated 1/11/19 by JDavis Architects

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

□ CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

☑ <u>CONCURRENT SITE REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be **REVISED** upon receipt of this signed approval document.



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The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

- 2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☑ <u>LEGAL DOCUMENTS</u> - Email to <u>legaldocumentreview@raleighnc.gov</u>. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

	City Code Covenant	Slope Easement
	Stormwater Maintenance	Transit Easement
	Covenant	
	Utility Placement Easement	Cross Access Easement
\boxtimes	Sidewalk Easement	Public Access Easement
		Other:

⊠ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- 1. A demolition permit shall be issued for the existing buildings on site and this building permit number shown on all maps for recording.
- 2. The required water line easement shown on the preliminary plan shall be dedicated to the City of Raleigh and shown on the map approved for recordation.



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Engineering

- 3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
- 4. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.

Stormwater

- 5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
- All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

■BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

- 1. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lot into a single tract.
- 2. Provide fire flow analysis.

Engineering

3. <u>Next Step:</u> In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.



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- 4. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of these documents shall be provided to the Development Services Department one day from authorization of recordation. If a recorded copy of the documents is not provided within this time period, further recordings and building permit issuance may be withheld.
- 5. A public infrastructure surety shall be provided to the City of Raleigh Development Services Development Engineering (UDO 8.1.3).
- 6. Real time deck occupancy signage will be required at the deck entrance on Glenwood Ave S for vehicular traffic to know whether spaces are available on that level of the parking deck and an internal notifier will be required for front desk staff to accurately direct patrons to the deck entrance with available parking.
- 7. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

Stormwater

- 19. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
- 20. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 21. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

22.	A tre	e impact permit must be obtai	ned for t	he approved street	scape tree installati	on in the right of
	way.	This development proposes	6	street trees along	Glenwood Ave	_and seven street
	trees	along Willard Place, all using	structur	al soils.		

The following are required prior to issuance of building occupancy permit:

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- 2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.



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- 3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services - Development Engineering program.
- 4. All street lights and street signs required as part of the development approval are installed.
- 5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
- 6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
- 7. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring reapproval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 2-28-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

Just latto

I hereby certify this administrative decision.

Signed:(Development Services Dir./Designee)

Staff Coordinator: Michael Walters

5

Date: 2/28/19



NOTE: THIS IS A REVISION TO PREVIOUSLY APPROVED SR-96-17; TA #535899

|SR-96-17; TA #572819|

Administrative Site Review

1st Submittal: October 11, 2018 2nd Submittal: January 11, 2019 3rd Submittal: February 11, 2019

The Willard

9 Glenwood Ave Raleigh, North Carolina 27603

ļ	REVISION TO PREVIOUSLY APPROVED SR	-96-17; TA #535899	
•	THIS REVISION REMOVES THE 16 RESIDENTIAL UNITS THE PARKING DECK IS NOW ACCESSED FROM BOTH TABLE BELOW FOR A DETAILED ANALYSIS.		
	Comparison table Project: Willard AC Hotel Date: 01.11.2019 (updated xx/xx/2019)		
		Previously approved plan	Revised plan
1	Proposed use	Mixed Use	Mixed Use
	Overnight lodging	124 rooms	147 rooms
	Residential (all 2 bedroom)	16 DU	0 DU
	Non-residential (Ground floor)	3,042 SF	3,865 SF
2	Gross square footage		
	Overnight lodging	79,558 SF (48.4%)	88,449 SF (74.4%)
	Residential (all 2 bedroom)	36,996 SF (22.5%)	0 SF (0.0%)
	Non-reidential (Ground floor)	2,835 SF (1.7%)	3,865 SF (3.2%)
	Parking deck	44,840 SF (27.3%)	27,282 SF (22.4%)
	Total	164,229 SF (100%)	119,596 SF (100%)
3	Proposed FAR	305.1%	235.9%
_	Building lot coverage	84.1%	64.9%
4	Outdoor amenity area (UDO section 3.2.6.A3)	0	3 110 70
•	Area required - 10% of net acreage	0.090 AC	0.090 AC
	7 trod regained 1070 of flot deredge	3,913 SF	3,913 SF
	Area provided - Total	0.092 AC	0.102 AC
	Alea provided - Total	3,998 SF	4,422 SF
_	Building height	3,996 SF	4,422 5F
3	Allowed height	(00! max) 7 Ctan;	(00! max) 7 Ctan;
		(90' max) 7 Story	(90' max) 7 Story
_	Proposed height	(84'-4 1/4") 7 Story	(90'-0") 7 Story
6	Frontage requirements (UDO section 3.4.9)		
	Required Primary Street - Glenwood Ave.		
	Required	199.6 FT	199.6 FT
	Provided	189.2 FT	189.2 FT
	Required Side Street - Willard St.		
	Required	62.0 FT	62.0 FT
	Provided	138.3 FT	123.5 FT
7	Required parking (UDO section 7.1.2 & 7.1.3.A)		
	Overnight lodging (1 space per room)	62.0 SP	74.0 SP
	Residential (1 SP/DU - 1st 16 exempt)	0.0 SP	0.0 SP
	Retail uses (first 30K SF exempt)	<u>0.0</u> <u>SP</u>	<u>0.0 SP</u>
	Total required	62.00 SP	74.00 SP
	Parking provided		
	Standard space - parking deck	77 SP	62 SP
	Conpact space - parking deck	33 SP	25 SP
	HC space - parking deck	5 SP	<u>5</u> <u>SP</u>
	Total spaces provided	115 SP	92 SP
8	Required bicycle parking (UDO section 7.1.2)		
	Total required	14.2 SP	11.4 SP
	Total bike parking provided	16.0 SP	12.0 SP
9	Impervious area		
	Existing	33,864.00 SF	33,864.00 SF
	Proposed	44,664.00 SF	33,053.00 SF
0	Notes:	,	,
			4

Sheet Index Vicinity Map Project Team EXISTING CONDITIONS/DEMOLITION PLAN CE-1 OWNER / DEVELOPER: SITE PLAN Glenwood Willard Hotel, LLC UTILITY PLAN CE-2 SHG LLC, Attn: R. Doyle Parrish **GRADING PLAN** CE-3 3141 John Humphries Wynd, Suite 200 STORMWATER MANAGEMENT PLAN CE-4 Raleigh, NC 27612 LANDSCAPE PLAN 919-787-5100 FIRST FLOOR PLAN 919-576-2845 (fax) SECOND FLOOR PLAN timd@crown-companies.com TYPICAL AND 7TH FLOOR PLANS **EXTERIOR ELEVATIONS CONSULTANTS:** Landscape Architect Architect JDavis Architects, PLLC **Overcash Demmitt Architects** 2010 South Tyron Street, Suite 1a 510 South Wilmington Street Charlotte, North Carolina 28703 Raleigh, North Carolina 27601 704-332-1615 919-835-1500 919-835-1510 (fax) 919-835-1510 (fax) tdemmitt@oda.us.com kent@jdavisarchitects.com

Surveyor

300 Wade Avenue

919-828-4711 (fax)

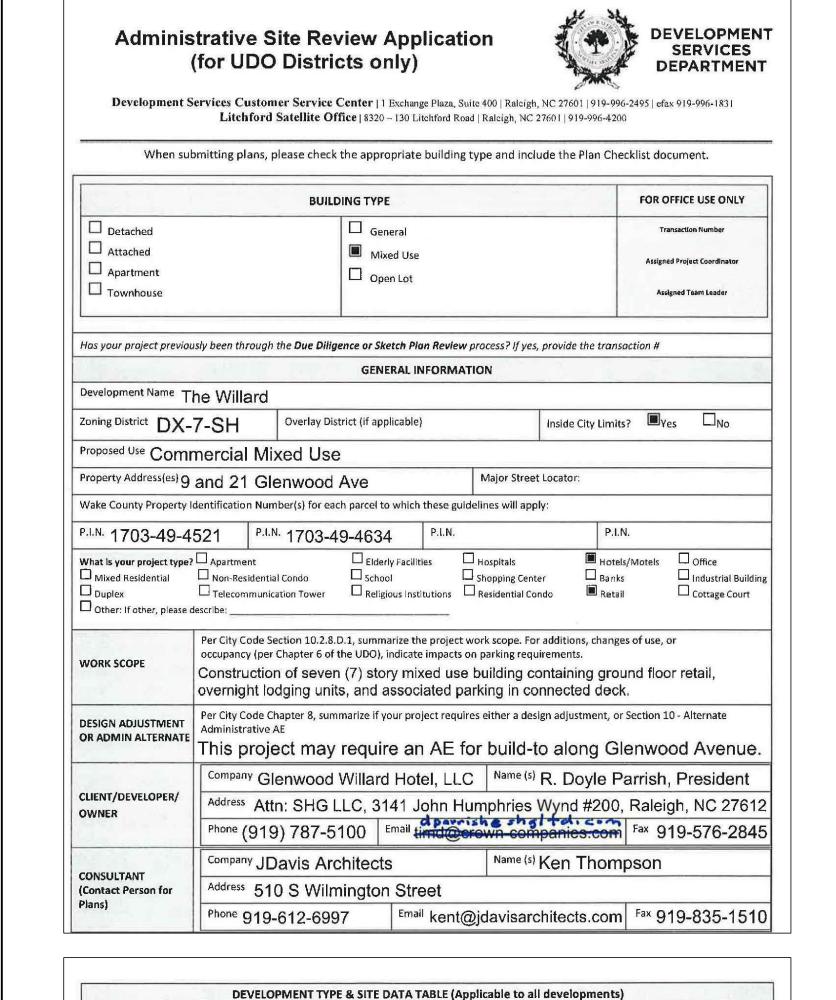
chris@jaeco.com

919-828-4428

John A. Edwards & Co.

Raleigh, North Carolina 27605

Application



Zoning Information	Building Information
Zoning District(s) DX-7-SH	Proposed building use(s) Commercial
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 20,806 SF
Overlay District N/A	Proposed Building(s) sq. ft. gross +/- 92,314 SF
Total Site Acres Inside City Limits 🗏 Yes 🔲 No 0.9 AC	Total sq. ft. gross (existing & proposed) +/- 92,314 SI
Off street parking: Required 74 Provided 92 in park	ring deck Proposed height of building(s) 90'-0"
COA (Certificate of Appropriateness) case #	# of stories 7
BOA (Board of Adjustment) case # A-	Ceiling height of 1st Floor +/-14'
CUD (Conditional Use District) case # Z-	
Stormwa	ter Information
Existing Impervious Surface 0.78 AC acres/square feet	Flood Hazard Area Yes No
Proposed Impervious Surface +/- 0.76 AC acres/square feet	If Yes, please provide:
Neuse River Buffer Yes No Wetlands Yes	Alluvial Soils Flood Study FEMA Map Panel #
FOR RESIDENT	AL DEVELOPMENTS
1. Total # Of Apartment, Condominium or Residential Units ()	5. Bedroom Units: 1br Q 2br Q 3br Q 4br or more Q
2. Total # Of Congregate Care Or Life Care Dwelling Units 0	6. Infill Development 2.2.7 ()
3. Total Number of Hotel Units 147	7. Open Space (only) or Amenity 0
3. Total Number of Hotel Units 147 4. Overall Total # Of Dwelling Units (1-6 Above) 147	7. Open Space (only) or Amenity 0 8. Is your project a cottage court? Yes No
4. Overall Total # Of Dwelling Units (1-6 Above) 147	
4. Overall Total # Of Dwelling Units (1-6 Above) 147 SIGNATURE BLOCK (Ap	8. Is your project a cottage court? Yes No plicable to all developments) irmly bind ourselves, my/our heirs, executors, administrators, successors ake all dedications as shown on this proposed development plan as to serve as my agent regarding this application, to
SIGNATURE BLOCK (Appliant of Dwelling Units (1-6 Above) 147 SIGNATURE BLOCK (Appliant of Signature Block) and severally to construct all improvements and many approved by the City. Thereby designate Ken Thompson Thereby designate receive and respond to administrative comments, to resubmit plans of application.	8. Is your project a cottage court? Yes No plicable to all developments) irmly bind ourselves, my/our heirs, executors, administrators, successors ake all dedications as shown on this proposed development plan as to serve as my agent regarding this application, to

Tree Conservation Notes

I. THIS SITE IS LESS THAN 2 ACRES AND THEREFORE NO TREE CONSERVATION IS REQUIRED PER UDO SEC. 9.1.2.

General Notes

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR MINIMUM TO THE START OF THE WORK. SEE "RIGHT-OF-WAY
- ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION
- APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF THE WORK. 8. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- 9. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 10. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 11. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE
- DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919) 996-2483
- 4. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS
- 15. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION. 16. ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY JONH A. EDWARDS & COMPANY IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN OCTOBER, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST, 2017.

- 17. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM. FOLIAGE. FENCE. WALL. SIGN. OR PARKED
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM
- 20. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- 22. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE
- 23. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA
- 24. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- 25. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- 26. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
- 27. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS
- 28. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS AND SHALL BE COMPLY WITH 2012 NCSBC AND ICC A117.1-2009.
- 29. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- 30. GENERAL UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.



2010 south tryon st. suite 1a charlotte north carolina 28203 office.704.332.1615 web.www.odarch.com









ODA Project No. 163073

REVIEW

	10.11.2018	
	REVISIONS	
No.	Description	Date
1	1st Review Comments	01.11.19
2	2nd Review Comments	02.11.19

COVER

Fire Department Notes

HORIZONTAL AND VERTICAL DATUM:

NAD 83 F & NAVD 88 F

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) OR 250 FEET (NFPA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCFC 503.1.1).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2012 NCFC, SECTION 507.3.

SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR.

John A. Edwards & Co.

Raleigh, North Carolina 27605

300 Wade Avenue

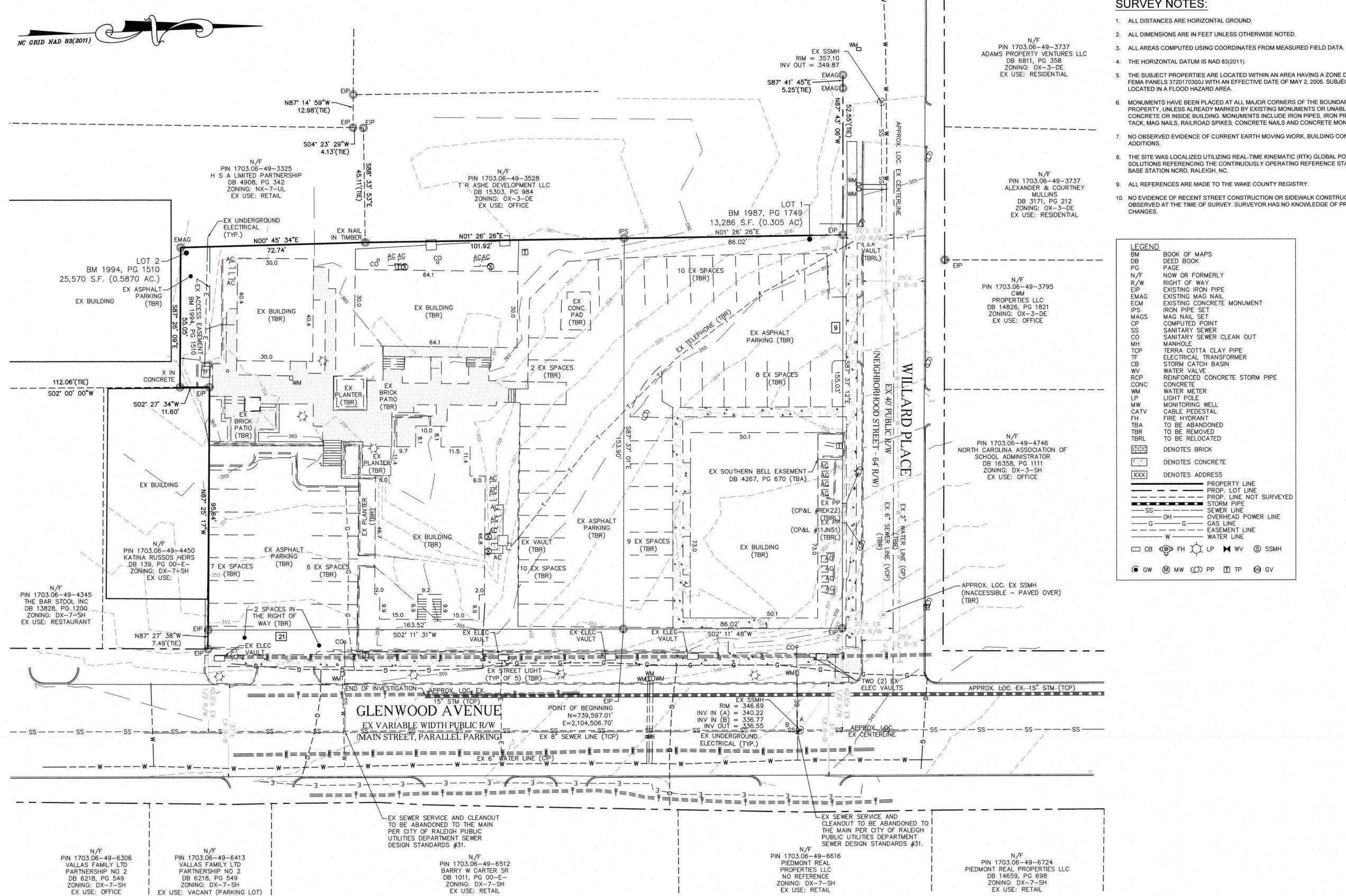
919-828-4711 (fax)

jon_callahan@jaeco.com

919-828-4428

THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL. 3. THIS PROJECT HAS DUMPSTERS FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.

Solid Waste Inspection Statement



SURVEY NOTES:

1. ALL DISTANCES ARE HORIZONTAL GROUND.

2. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.

4. THE HORIZONTAL DATUM IS NAD 83(2011).

5. THE SUBJECT PROPERTIES ARE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATIONS "X" BY FEMA PANELS 3720170300J WITH AN EFFECTIVE DATE OF MAY 2, 2006. SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.

MONUMENTS HAVE BEEN PLACED AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SUBJECT PROPERTY, UNLESS ALREADY MARKED BY EXISTING MONUMENTS OR UNABLE TO SET DUE TO CONCRETE OR INSIDE BUILDING, MONUMENTS INCLUDE IRON PIPES, IRON PIPES WITH A CAP AND TACK, MAG NAILS, RAILROAD SPIKES, CONCRETE NAILS AND CONCRETE MONUMENTS.

7. NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING

8. THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK

9. ALL REFERENCES ARE MADE TO THE WAKE COUNTY REGISTRY.

10. NO EVIDENCE OF RECENT STREET CONSTRUCTION OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED AT THE TIME OF SURVEY. SURVEYOR HAS NO KNOWLEDGE OF PROPOSED RIGHT OF WAY

BOOK OF MAPS NOW OR FORMERLY RIGHT OF WAY EXISTING IRON PIPE EXISTING MAG NAIL EXISTING CONCRETE MONUMENT IRON PIPE SET MAG NAIL SET COMPUTED POINT SANITARY SEWER SANITARY SEWER CLEAN OUT TERRA COTTA CLAY PIPE ELECTRICAL TRANSFORMER STORM CATCH BASIN REINFORCED CONCRETE STORM PIPE CONCRETE WATER METER LIGHT POLE MONITORING WELL CABLE PEDESTAL FIRE HYDRANT TO BE ABANDONED TO BE REMOVED TO BE RELOCATED DENOTES BRICK DENOTES CONCRETE XXX DENOTES ADDRESS PROPERTY LINE PROP. LOT LINE
PROP. LINE NOT SURVEYED STORM PIPE ------OH ------- OVERHEAD POWER LINE ---- G ---- GAS LINE ---- EASEMENT LINE ----- W ----- WATER LINE □ CB (FH) LP | WV (S) SSMH (● GW (M) MW (C) PP I TP (A) GV

overcash demmitt

2010 south tryon st. suite 1a charlotte north carolina 28203 office.704.332.1615 web.www.odarch.com



NC License F-0289 333 Wade Ave., Raleigh, N.C. 27605 Phone: (919) 828-4428 Fax: (919) 828-4711 E-mail: info@jaeco.com

and Land Surveyors

www.jaeco.com



RALEIGH - GLENWOOD RALIEGH, NC ODA Project No. 163073

REVIEW

10.11.2018

	REVISIONS	
No.	Description	Date
1	PER CITY COMMENTS	12/14/1
2	PER CITY COMMENTS	02/23/1
3	LAYOUT REVISIONS	10/10/1
4	PER CITY COMMENTS	01/11/1
5	PER CITY COMMENTS	02/08/1
		+

EXISTING CONDITIONS/ **DEMOLITION PLAN**

JAECO #:	405-03
DRAWN BY:	тст
CHECKED BY:	JRC

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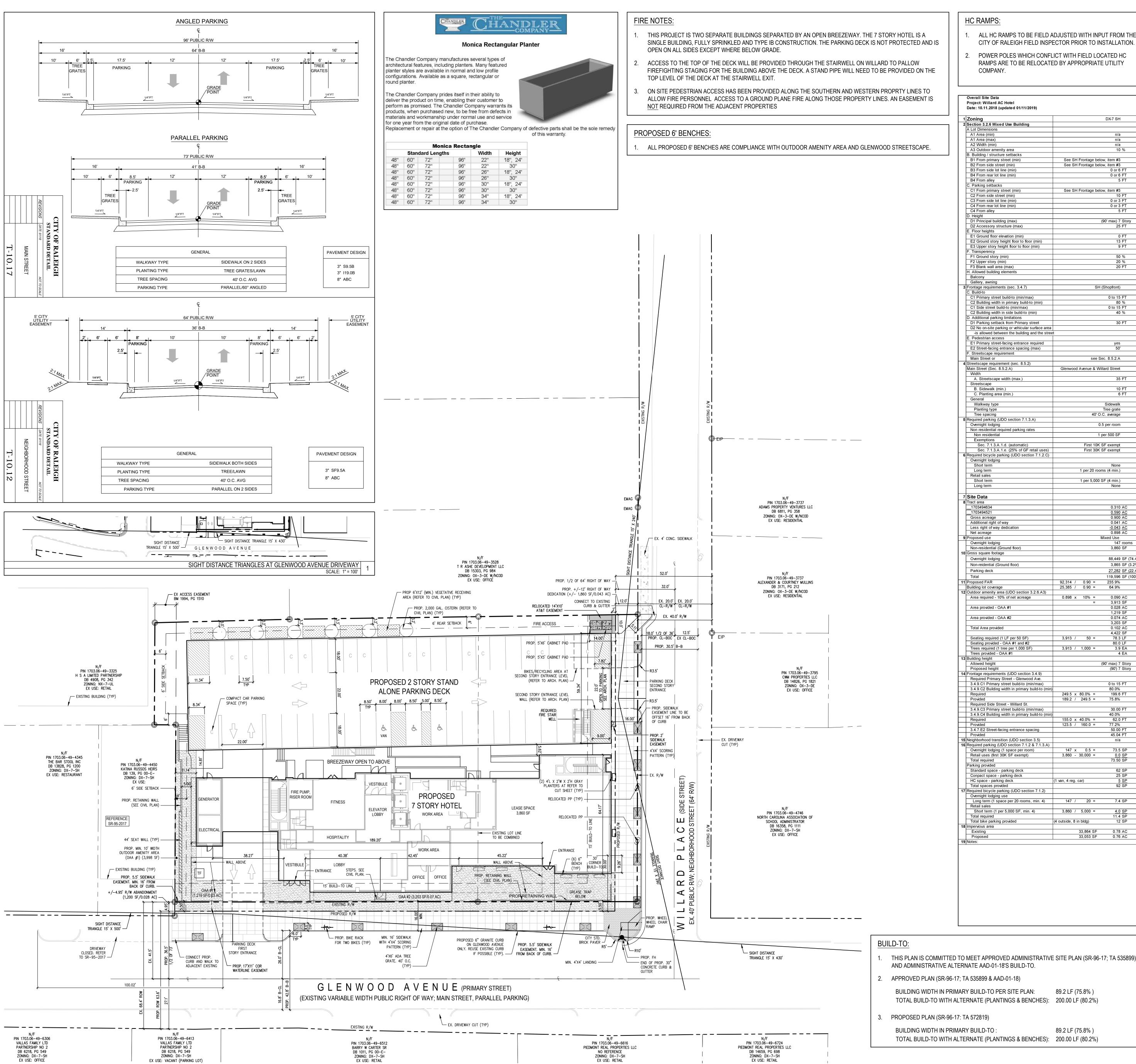
EXISTING IMPERVIOUS CALC.

TOTAL EFFECTIVE AREA... EXISTING PERVIOUS AREA...

EXISTING IMPERVIOUS AREA....

..11,821 SF

...33,864 SF



SITE PLAN

- FIREFIGHTING STAGING FOR THE BUILDING ABOVE THE DECK. A STAND PIPE WILL NEED TO BE PROVIDED ON THE
- ON SITE PEDESTRIAN ACCESS HAS BEEN PROVIDED ALONG THE SOUTHERN AND WESTERN PROPRTY LINES TO ALLOW FIRE PERSONNEL ACCESS TO A GROUND PLANE FIRE ALONG THOSE PROPERTY LINES. AN EASEMENT IS

HC RAMPS:

- 1. ALL HC RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION
- POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

Overall Site Data Project: Willard AC Hotel Date: 10.11.2018 (updated 01/11/2019) DX-7 SH 1 Zoning 2 Section 3.2.6 Mixed Use Building .1 Area (mir A1 Area (max A2 Width (min) 3 Outdoor amenity area B. Building / structure setbacks See SH Frontage below, item #3 B1 From primary street (min) B2 From side street (min) See SH Frontage below, item #3 B3 From side lot line (min) B4 From rear lot line (min) B4 From alley C. Parking setbacks See SH Frontage below, item #3 C1 From primary street (min) C2 From side street (min) C3 From side lot line (min) C4 From rear lot line (min) C4 From alley D1 Principal building (max) D2 Accessory structure (max) E1 Ground floor elevation (min) E2 Ground story height floor to floor (min) E3 Upper story height floor to floor (min) F1 Ground story (min) F2 Upper story (min) F3 Blank wall area (max) H. Allowed building elements SH (Shopfront) 0 to 15 FT 0 to 15 FT see Sec. 8.5.2.A

- Gallery, awning 3 Frontage requirements (sec. 3.4.7) C1 Primary street build-to (min/max) 22 Building width in primary build-to (min) 1 Side street build-to (min/max) C2 Building width in side build-to (min) D. Additional parking limitations D1 Parking setback from Primary street D2 No on-site parking or vehicular surface area is allowed between the building and the stree E. Pedestrian access E1 Primary street-facing entrance required E2 Street-facing entrance spacing (max) F. Streetscape requirement Main Street or
- 4 Streetscape requirement (sec. 8.5. Glenwood Avenue & Willard Street Main Street (Sec. 8.5.2.A) A. Streetscape width (max.) B. Sidewalk (min.) C. Planting area (min.) Walkway type Planting type Tree grate 40' O.C. average Required parking (UDO section 7.1.3.A)
- 0.5 per room Overnight lodging Non residential required parking rates Non residential First 10K SF exempt Sec. 7.1.3.A.1.e. (25% of GF retail uses) First 30K SF exempt Required bicycle parking (UDO s Short term 1 per 20 rooms (4 min.) Long term
- 1 per 5,000 SF (4 min.) Long term 7 Site Data 8 Tract area _1703494634 ____ 1703494521 Gross acreage

Retail sales

Short tern

Overnight lodging

Additional right of wa Less right of way dedication Net acreage 9 Proposed use Overnight lodging
Non-residential (Ground floo Gross square footage

3,860 SF

88,449 SF (74.

3,865 SF (3.29

27,282 SF (22.4%

119,596 SF (100%

235.9%

3,913 SF

0.028 AC

0.074 AC

3,203 SF

0.102 AC

80.0%

75.8%

249.5 x 80.0% =

89.2 LF (75.8%)

89.2 LF (75.8%)

199.6 FT

- Non-reidential (Ground flo Parking deck 1 Proposed FAR 25,385 / 0.90 = Building lot coverage Outdoor amenity area (UDO section 3.2.6.A3) Area required - 10% of net acreage
- Area provided OAA #1 Area provided - OAA #2 Total Area provided Seating required (1 LF per 50 SF) Seating provided - OAA #1 and #2 Trees required (1 tree per 1,000 SF) Trees provided - OAA #1 13 Building height
- Allowed height Proposed height Frontage requirements (UDO section 3.4.9) Required Primary Street - Glenwood Ave. 3.4.9.C1 Primary street build-to (min/max) 3.4.9.C2 Building width in primary build-to (min Required Side Street - Willard St.

Parking provided

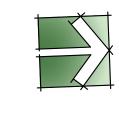
Standard space - parking deck

- 189.2 / 249.5 = 3.4.9.C3 Primary street build-to (min/max) 3.4.9.C4 Building width in primary build-to (mi 3.4.7.E2 Street-facing entrance spacing Required parking (UDO section 7.1.2 & 7.1.3.A) Overnight lodging (1 space per room) Retail uses (first 30K SF exempt) 3,860 - 30,000 =
- Conpact space parking deck HC space - parking deck Total spaces provided Required bicycle parking (UDO section 7.1.2) Overnight lodging use Long term (1 space per 20 rooms, min. 4) 147 / 20 = Short term (1 per 5,000 SF, min. 4)
- Total bike parking provided 8 Impervious area 33,053 SF 0.76 AC

Reference: SR-96-17; TA #535899

SR-96-17; TA #572819

SITE PLAN



	NAD 83 F & NAVD 88 F			
20'	10'	0	20'	
SCA	LE: 1" =	20'		

SITE ADDRESS: 9 & 21 GLENWOOD AVENUE, RALEIGH, NORTH CAROLINA 27603 PIN NUMBER: 1703-49-4521 & 1703-49-4634 DEED BOOK: DB 016199, PG 00508 RECORDED MAP: BM 1994, PG 1510 ZONING(S): DX-7-SH ACREAGE: 0.9 AC EXISTING USE: COMMERCIAL ALLUVIAL SOIL: FEMA MAP PANEL #:

GENERAL NOTES: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT

EXISTING SITE DATA:

- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM
- AMOUNT OF INCONVENIENCE TO TRAFFIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE
- CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK
- WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR MINIMUM TO THE START OF THE WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.

ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL

overcash demmitt

2010 south tryon st. suite 1a

charlotte north carolina 28203

office.704.332.1615

web.www.odarch.com

JOHN A. EDWARDS & COMPANY

Consulting Engineers

and Land Surveyors

510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500

1218 Chestnut Street, 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121

SUMMIT HOSPITALITY

GROUP, LTD.

RALEIGH - GLENWOOD

RALIEGH, NC

ODA Project No. 163073

REVIEW

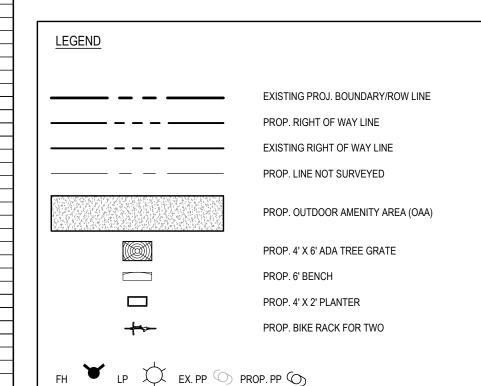
10.11.2018

REVISIONS

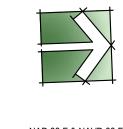
1st Review Comments

2nd Review Comments

- SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF THE WORK.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT
- TO PREVIOUS OR BETTER CONDITION. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE
- PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919)
- 4. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- . ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY JONH A. EDWARDS & COMPANY IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN OCTOBER, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST, 2017.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- . UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- 19. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
- 20. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENT OF SEC. 7.2.5.D.4. AND IS <u>NOT</u> ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL
- ENCROACH ON THIS MINIMUM CORNER CLEARANCE. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS AND SHALL BE COMPLY
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE
- SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL. . GENERAL UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.

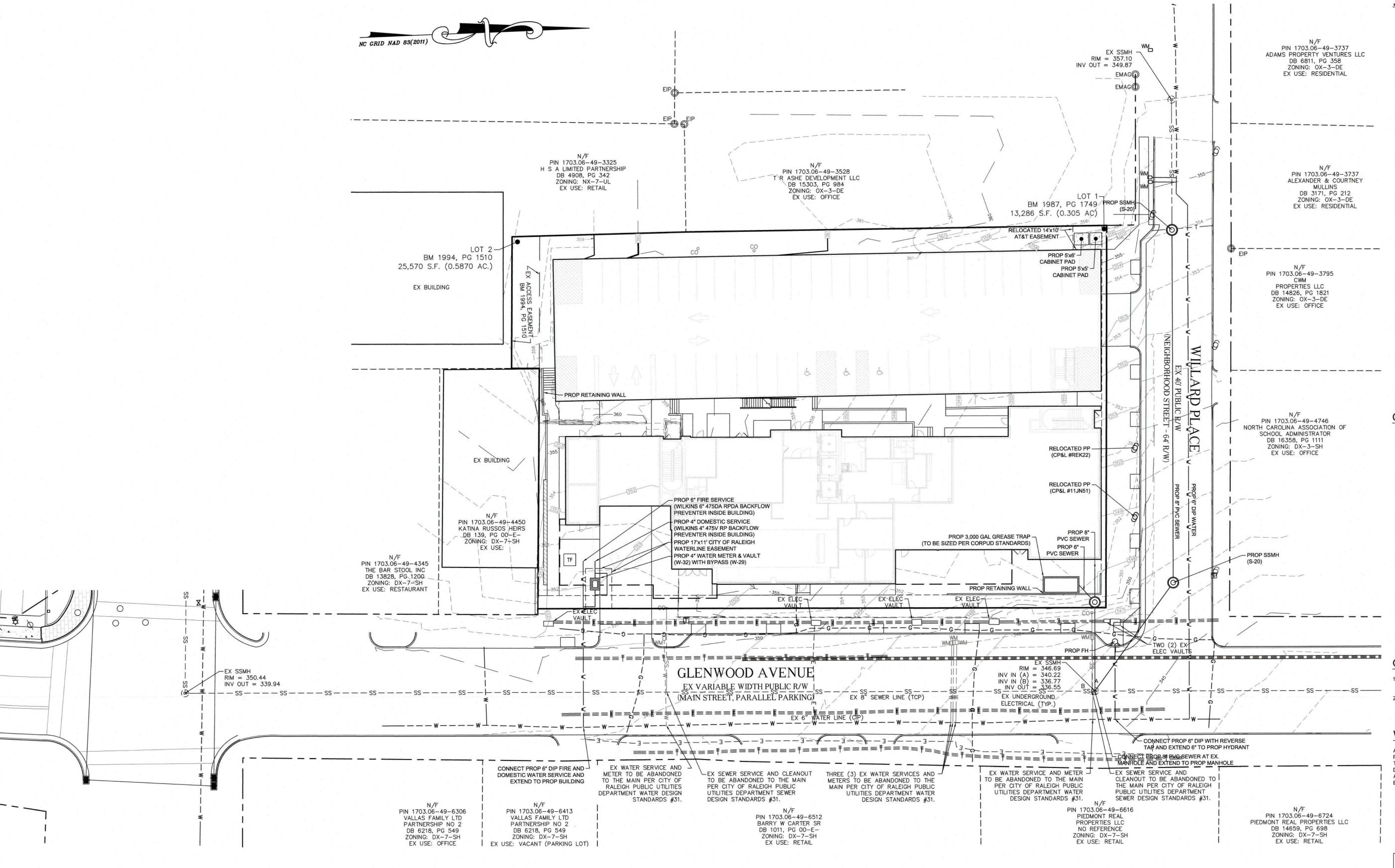






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scale: 1" = 20'



STANDARD UTILITY NOTES (as applicable): 1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details &

specifications (reference: CORPUD Handbook, current edition) 2. Utility separation requirements: a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved,

ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation

cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at

least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter

c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer

specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49) f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required 3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction 4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24

hour advance notice to the City of Raleigh Public Utilities Department 5. 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse

e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved,

6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure 7. Install 3/4" copper* water services with meters located at ROW or within a 2'x2' Waterline Easement immediately

adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure 8. Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum

9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole

10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction. 11. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction

approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information 13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall

be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information

12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STAND 2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOU INCONVENIENCE TO TRAFFIC.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).

4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE

CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF, CONTACT ENGINEERING INSPECTIONS AT (919) 996-2409 TO SET UP THE MEETING. 5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK

CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV. 6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET

7. THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND

RESTORE IT TO PREVIOUS OR BETTER CONDITION. 8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO

PREVIOUS OR BETTER CONDITION. 9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY

ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

WILLARD PLACE UTILITY MAIN REPLACEMENT NOTE

AS REQUIRED BY THE CITY OF RALEIGH URBAN REDEVELOPMENT MAIN REPLACEMENT REIMBURSEMENT POLICY, IN ACCORDANCE WITH THE IDENTIFICATION OF MAINS REQUIRING REPLACEMENT #3 - "PROXIMITY TO AGED INFRASTRUCTURE (WATER AND SEWER)". THE CITY OF RALEIGH WILL REIMBURSE THE DEVELOPER AT THE PREVAILING RATES OUTLINED IN SAID POLICY AT THE TIME OF INFRASTRUCTURE ACCEPTANCE FOR THE FOLLOWING UTILITY REPLACEMENT WITHIN THE WILLARD PLACE RIGHT-OF-WAY, TO BE DESIGNED AND PERMITTED WITH THE CONCURRENT SITE REVIEW:

• APPROXIMATELY 160 LF OF 6" VITRIFIED CLAY PIPE SANITARY MAIN, INCLUDING MANHOLE REPLACEMENT, AND INSTALLATION OF A NEW MANHOLE AT THE LIMIT OF THE SITE FRONTAGE WITH A NEW 8" SANITARY MAIN, AND;

• APPROXIMATELY 160 LF OF 2" GALVANIZED PIPE WATER MAIN ALONG THE SITE FRONTAGE WITH A NEW 6" WATER MAIN.

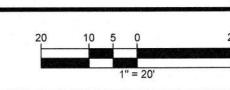
DEED BOOK NOW OR FORMERLY R/W EIP RIGHT OF WAY EXISTING IRON PIPE EXISTING MAG NAIL ECM IPS MAGS EXISTING CONCRETE MONUMENT IRON PIPE SET MAG NAIL SET COMPUTED POINT SANITARY SEWER SANITARY SEWER CLEAN OUT MANHOLE TERRA COTTA CLAY PIPE ELECTRICAL TRANSFORMER STORM CATCH BASIN WATER VALVE RCP REINFORCED CONCRETE STORM PIPE CONC CONCRETE WATER METER MONITORING WELL CATV CABLE PEDESTAL FIRE HYDRANT TO BE ABANDONED TO BE REMOVED TO BE RELOCATED DENOTES BRICK DENOTES CONCRETE XXX DENOTES ADDRESS PROPERTY LINE ---- PROP. LINE NOT SURVEYED STORM PIPE ----- OH ----- OVERHEAD POWER LINE — G — G— GAS LINE ---- EASEMENT LINE ----- W ----- WATER LINE □ CB (@p FH \ LP | WV (S) SSMH

● GW M MW CO PP T TP ⊗ GV

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2409. and the PUBLIC UTILITIES DEPARTMENT at (919)996-4540 at least twenty four hours prior to beginning any of their construction. FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for Inspection, Install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from future work in the CITY OF RALEIGH.



overcash demmitt 2010 south tryon st. suite 1a charlotte north carolina 28203

office.704.332.1615 web.www.odarch.com

A. EDWARDS & COMPANY **Consulting Engineers** and Land Surveyors

NC License F-0289 Wade Ave., Raleigh, N.C. 27605 Phone: (919) 828-4428 Fax: (919) 828-4711 E-mail: info@jaeco.com

www.jaeco.com



RALEIGH - GLENWOOD RALIEGH, NC

REVIEW

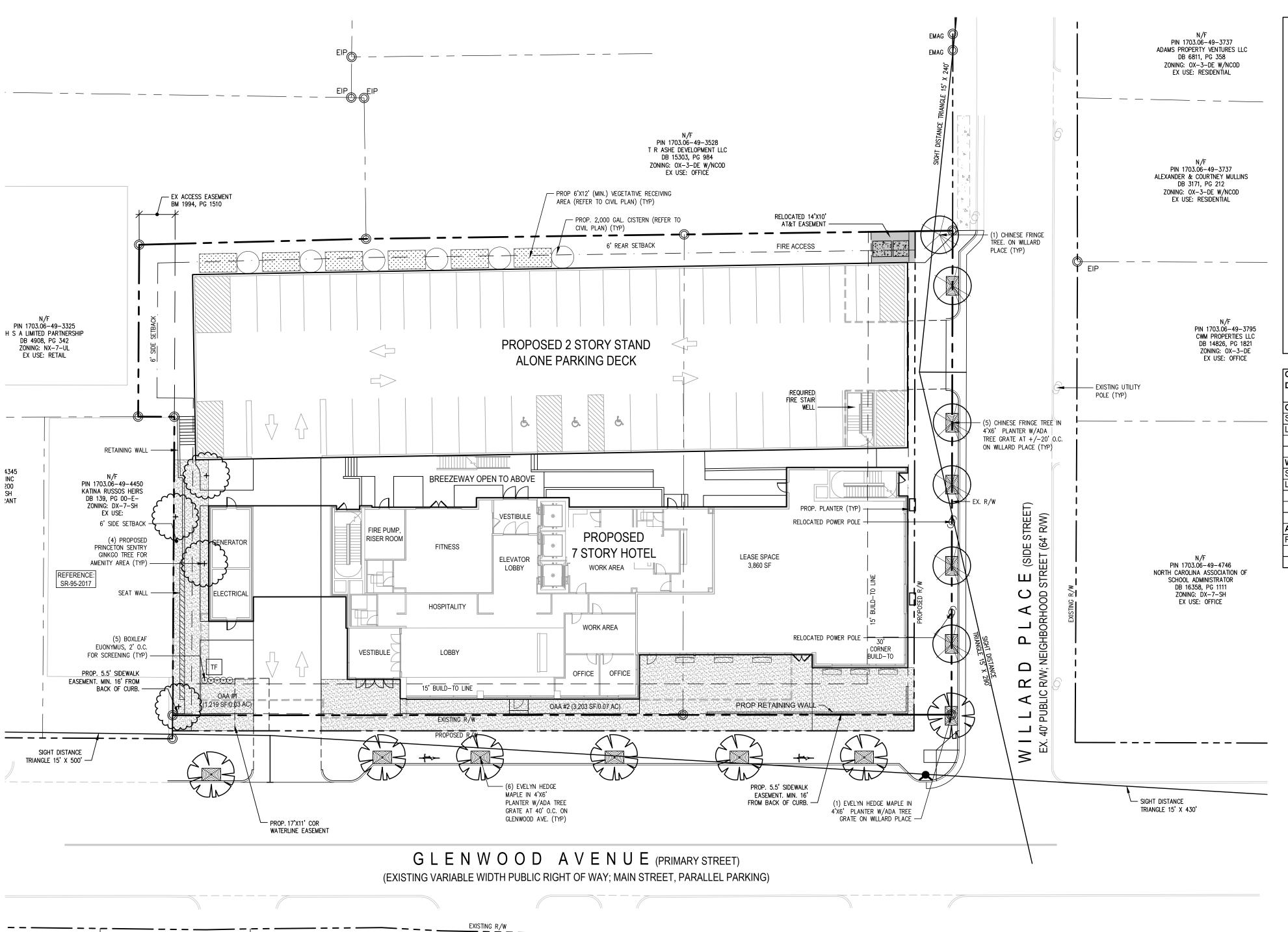
ODA Project No. 163073

10.11.2018 REVISIONS Description PER CITY COMMENTS 12/14/17 PER CITY COMMENTS LAYOUT REVISIONS 10/10/18 PER CITY COMMENTS 01/11/19 PER CITY COMMENTS

UTILITY PLAN

DRAWN BY: CHECKED BY: JRC

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QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	REMARKS
TRE	E S						
7		Acer campestre 'Evelyn'	Evelyn Hedge Maple	3" MIN.	10' MIN.	B&B	Street Plantings
4		Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2" MIN.	8' MIN.	B&B	Amenity Area Plantings
6		Chionanthus retusus	Chinese Fringe Tree	1.5" MIN.	6' MIN.	CONT.	St. Plantings - Single Stem
SHRU	JBS	•	•	•		•	
5		Euonymus japonicus 'Microphyllus'	Boxleaf Euonymus		24" MIN.	CONT.	Screening

PIN 1703.06-49-6616

PIEDMONT REAL PROPERTIES LLC

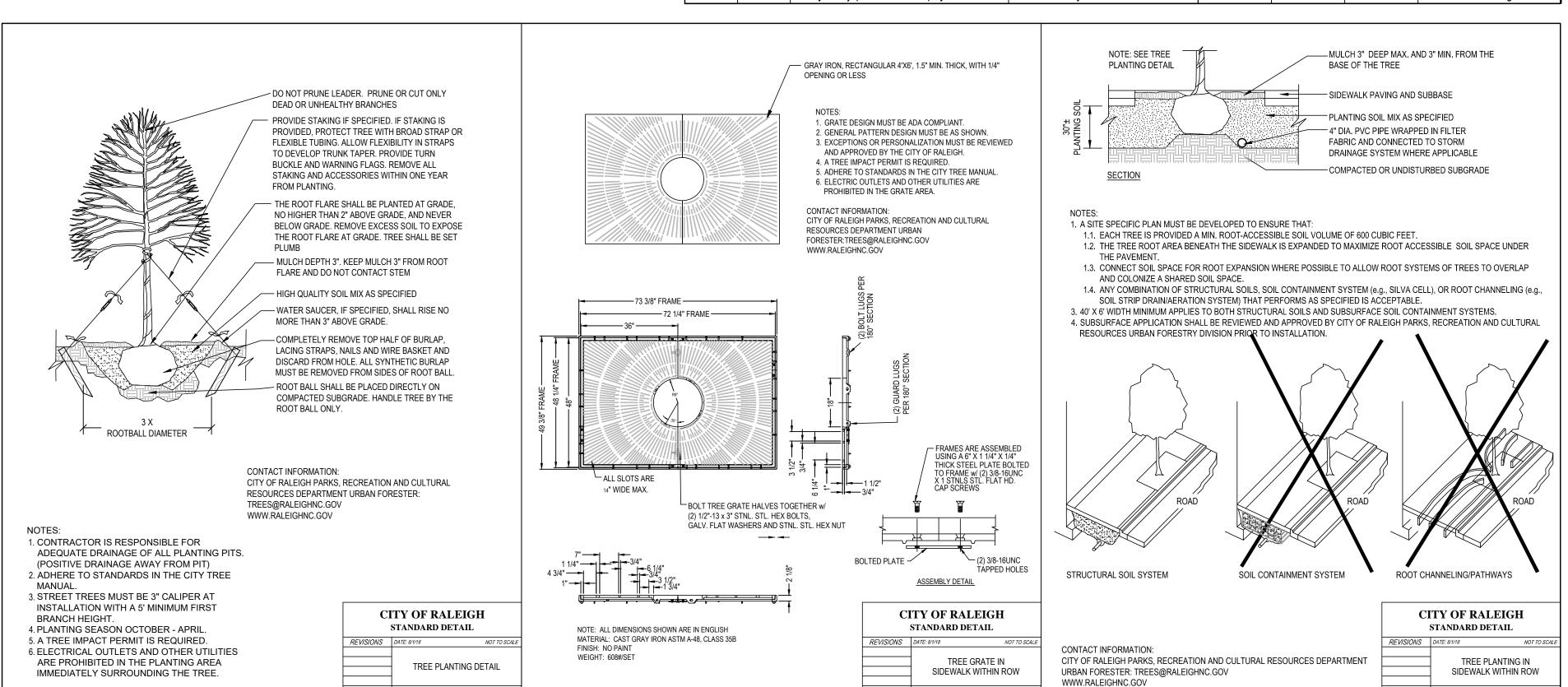
ZONING: DX-7-SH

NO REFERENCE

PIN 1703.06-49-6724

PIEDMONT REAL PROPERTIES LLC DB 14659, PG 698 ZONING: DX-7-SH EX USE: RETAIL

TPP-07



TPP-06

PIN 1703.06-49-6512

BARRY W CARTER SR DB 1011, PG 00-E-ZONING: DX-7-SH

EX USE: RETAIL

LANDSCAPE NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
- THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH. ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 5. ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- ALL PLANTING BEDS ARE TO BE MULCHED TO A MINIMUM DEPTH OF 3". DOUBLE SHREDDED HARDWOOD MULCH; DYED BROWN; 2" MAXIMUM PARTICLE SIZE. NO PINE STRAW PERMITTED.
- ALL LAWN AREAS TO BE SEEDED AS PER SEEDING SPECIFICATIONS. ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN. REFER TO SPECIFICATIONS. PROVIDE ALTERNATE ADD FOR 'TIFBLAIR" CENTIPEDE SOD IN LIEU OF LAWN SEEDING.
- ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.

CONSTRUCTION DOCUMENTS.

- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED
- ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.
- ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF
- 2. A TREE IMPACT PERMIT IS REQUIRED PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE
- 4. CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.

City of Raleigh UDO Requirements for the Wilalrd

Date: 11.13.2017 (Revised: 01.XX.2019)

Ma	in Street, Para	illel Parking
	238	LF
238 / 40	6.0	EA
	6	EA
	Neighbor	hood Street
	160	LF
160 / 40	4.0	EA
	1	EA
	6	EA
	3913	SF
3913 / 1000	3.9	EA
	4	EA
	238 / 40	238 / 40 6.0 Neighbor 160 / 40 4.0 1 6

SITE ADDRESS: 9 & 21 GLENWOOD AVENUE, RALEIGH, NORTH CAROLINA 27603 PIN NUMBER: 1703-49-4521 & 1703-49-4634

DEED BOOK: DB 016199, PG 00508 RECORDED MAP: BM 1994, PG 1510 ZONING(S): DX-7-SH

ACREAGE: 0.9 AC EXISTING USE: COMMERCIAL ALLUVIAL SOIL: FEMA MAP PANEL #:

EXISTING SITE DATA:

6.18.1. STREET TREE PLANTINGS IN AN URBAN SETTING

THE PARKS AND RECREATION DEPARTMENT IS RESPONSIBLE FOR PLAN REVIEW, INSPECTION, MONITORING AND ENFORCEMENT ASSOCIATED WITH TREE PLANTING AND MAINTENANCE ON PROPERTY OWNED OR CONTROLLED BYTHE CITY. TREE RELATED ACTIVITIES ARE CONDUCTED IN ADHERENCE TO CITY OF RALEIGH MUNICIPAL CODE TREES AND VEGETATION, PART 9 CHAPTER 8 AND THE CITY TREE MANUAL. WHERE THE TRANSPORTATION MANUAL DEVIATES FROM THE REFERENCED MATERIALS THE MUNICIPAL CODE PART 9 CHAPTER 8 SHALL TAKE PRECEDENCE. A. DEVELOPMENT AND LANDSCAPE PLAN REQUIREMENTS

THE URBAN FORESTER OR DESIGNEE SHALL REVIEW ALL SITE PLANS WITH TREES IN THE RIGHT OF WAY AND ON CITY OWNED OR CONTROLLED PROPERTY. THIS APPLICATION PROCESS DESCRIBES THE REQUIREMENTS FOR PLAN REVIEW, PERMITTING, TREE PROTECTION, STANDARD

SPECIFICATIONS, TREE QUALITY, INSTALLATION AND MAINTENANCE. WHERE DEVELOPMENT ABUTS A STREET CONTROLLED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION TREES MAY NOT BE REQUIRED OR WILL FALL UNDER THE LANDSCAPE REQUIREMENTS OF THE STATE. THE CITY IS STILL REQUIRED TO REVIEW AND APPROVE ALL PROPOSED TREES IN

B. APPLICATION PROCESS

THIS IS THE APPLICATION PROCESS FOR ACTIVITIES IMPACTING CITY TREES. IMPACTS INCLUDE BUT ARE NOT LIMITED TO PLANTING, REMOVAL, PRUNING,

TRENCHING, BORING, EXCAVATING, FILLING, FERTILIZING, TREATING FOR DISEASE OR INSECTS, INSTALLING DECORATIONS AND PLANTING.

SUBMIT TREE IMPACT PERMIT REQUEST TO THE URBAN FORESTER

2. ADDITIONAL DOCUMENTATION REQUIRED A.

- a. SITE AND/OR LANDSCAPE PLAN
- I. IDENTIFY PROPERTY BOUNDARIES AND RIGHTS OF WAY
- II. LABEL STREETS AND OTHER PLAN ELEMENTS
- III. OVERHEAD UTILITIES AND LIGHTING PLAN IV. IDENTIFY TREES FOR DEMOLITION AND PRESERVATION
- V. DEPICT THE REQUIRED SITE DISTANCE TRIANGLES
- VI. DEPICT TREE PROTECTION ZONES AND FENCING DETAIL
- VII. TREE SPECIES INCLUDING BOTANICAL NAME, INSTALLATION SIZE AND COUNTS
- VIII. URBAN TREE PIT DETAIL AND SUBSURFACE ROOT TREATMENT IF APPLICABLE WITH 600CUFT MINIMUM SOIL REQUIREMENT.
- IX. ADHERENCE TO TREE QUALITY SPECIFICATIONS AND DETAIL
- X. ADHERENCE TO TREE PLANTING SPECIFICATIONS AND DETAIL

XI. TREE PROTECTION PLAN (WAIVED IF NO TREES IMPACTED WITHIN CRITICAL ROOT ZONE ON SITE)

6.18.2. TREE INFRASTRUCTURE, INSTALLATION AND MAINTENANCE STANDARDS . TREES IN SIDEWALKS, PITS AND GRATES AND TREE LAWN

- 1. A TREE MAINTENANCE FEE SHALL BE ASSESSED AT THE TIME OF PERMIT ISSUANCE FOR EACH STREET TREE TO BE INSTALLED. THIS SHALL BE INCLUDED IN THE FEE SCHEDULE
- TREE GRATE a. 4 FEET X 6 FEET GRAY IRON, ADA COMPLIANT
 - b. TREE GRATES SHALL HAVE A PROVISION FOR TRUNK EXPANSION OF THE TREE, SUCH AS POP OUT CONCENTRIC RINGS IN THE GRATE
 - c. NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE PIT OR GRATE (UTILITIES MAY RUN BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE)

c. NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE LAWN (UTILITIES MAY RUN BELOW AND THROUGH THE

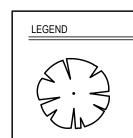
- d. TREES SHALL BE CENTERED IN THE PIT
- e. TREE PITS SHALL ACCOMMODATE A DEPTH OF 3 FEET OF PLANTING SOIL
- f. HIGH QUALITY PLANTING SOIL SHALL BE USED IN THE PIT DIRECTLY BELOW THE GRATE

g. DRAINAGE SHALL BE PROVIDED

- MINIMUM 6 FEE WIDE TREE LAWN
- b. TREES CENTERED IN AREA
- SUBSURFACE ROOT EXPANSION INFRASTRUCTURE) d. 600 CUBIC FEET OF ORGANIC SOIL IN THE IMMEDIATE AREA WHERE THE TREE IS TO BE PLACED

B. REQUIRED SUBSURFACE ROOT EXPANSION

- 1. HIGH QUALITY TOP SOIL OR STRUCTURAL SOIL SHALL BE USED TO ACCOMPLISH THE SOIL VOLUME REQUIREMENT. 2. REQUIRE MINIMUM 600 CUBIC FEET.
- 3. EXCEPTIONS AND DESIGN ALTERNATIVES ARE ENCOURAGED TO ACHIEVE SOIL VOLUME: URBAN FORESTER REVIEW REQUIRED. DESIGNS THAT GROUP TREES AND CONNECT ROOT SPACES WILL BE FAVORED AS WELL AS THE INTRODUCTION OF LID MATERIALS AND TECHNOLOGY
- 4. SELECT ONE OR MORE OPTIONS BELOW a. STRUCTURAL SOIL
- b. SUBSURFACE SOIL CONTAINMENT STRUCTURE
- c. MINIMUM 6 PATHS FROM EACH TREE, 3 ON EACH SIDE 20' MINIMUM EXTENSION FOR EACH PATH. CONNECT TO ADJACENT PIT PATH. d. SUSPENDED PAVEMENT
- 5. WHEN ROOT EXPANSION PATHS EXTEND UNDER SIDEWALKS, ENSURE MINIMUM DENSITY REQUIREMENTS ARE MET. C. PLANTING STANDARDS
- 1. ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:
- a. AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300. AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42ND STREET, NEW YORK, N.Y. 10036 b. AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1. AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250 EYE STREET.
- NW, SUITE 500, WASHINGTON, D.C. 20005 c. HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORIUM. 1976. MACMILLAN PUBLISHING CO., NEW YORK

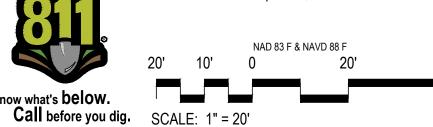


FOR GLENWOOD AVE & WILLARD PLACE(1)

|SR-96-17; TA #572819|

LANDSCAPE PLAN





PRINCETON SENTRY GINKGO FOR AMENITY AREA TREES CHINESE FRINGE TREE FOR WILLARD PLACE STREET TREES FOR SCREENING PROP. AMENITY AREA

> LANDSCAPE PLAN

overcash demmitt

2010 south tryon st. suite 1a

charlotte north carolina 28203

office.704.332.1615

web.www.odarch.com

JOHN A. EDWARDS & COMPANY

Consulting Engineers

and Land Surveyors

510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500

1218 Chestnut Street, 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121

SUMMIT HOSPITALITY

RALEIGH - GLENWOOD

RALIEGH, NC ODA Project No. 163073

REVIEW

10.11.2018

REVISIONS

1st Review Comments 2nd Review Comments

Copyright 2019 JDavis Architects

LANDSCAPE PLAN

TPP-03

PIN 1703.06-49-6413 VALLAS FAMILY LTD PARTNERSHIP NO 2

DB 6218, PG 549

ZONING: DX-7-SH

EX USE: VACANT (PARKING LOT)



ODO overcash demmitt

2010 south tryon st. suite 1a charlotte north carolina 28203 office.704.332.1615 web.www.odarch.com

SUMMIT HOSPITALITY GROUP, LTD.

UPPER STORY THANSPARENCY:
TOTAL WALL AREA: 16,870 Sq. Ft.
TRANSPARENT AREA: 6,377 Sq. Ft.
37.8% TRANSPARENT
OF 2 STORIES PROVIDED: 100%
OF STREET FRONTAGE
EXCEEDS THE MINIMUM
HEIGHT AND BUILDING IS 7
STORIES. DEPTH OF PLAN
EXCEEDS 30' MINIMUM. SEE
PLANS

UPPER STORY THANSPARENCY:
TOTAL WALL AREA: 16,870 Sq. Ft.
TRANSPARENT
GROUND LEVEL TRANSPARENCY:
TOTAL WALL AREA: 2,760 Sq. Ft.
TRANSPARENT AREA: 1,989 Sq. Ft.
TRANSPARENT
TOTAL WALL AREA: 2,760 Sq. Ft.
TRANSPARENT AREA: 1,989 Sq. Ft.
TRANSPARENT
TOTAL WALL AREA: 2,760 Sq. Ft.
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TOTAL WALL AREA: 1,989 Sq. Ft.
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TOTAL WALL AREA: 2,760 Sq. Ft.
TOTAL WALL AREA: 2,760 Sq. Ft.
TOTAL WALL AREA: 1,989 Sq. Ft.
TOTAL WALL AREA: 2,760 Sq. Ft.
TOTAL WALL AREA: 2,7

WILLARD

scale: 3/32" = 1'-0"

| PLACE

LOWEST POINT OF FIRE ACCESS
-2'-9" - 346.0'

ADMINISTRATIVE PLAN REVIEW

REVISIONS

No. Description Date

1 REVISIONS 01.11.19

EXTERIOR ELEVATIONS

A-201

Copyright 2018 Overcash Demmitt Architects



 $\left(\mathsf{G}\right)$

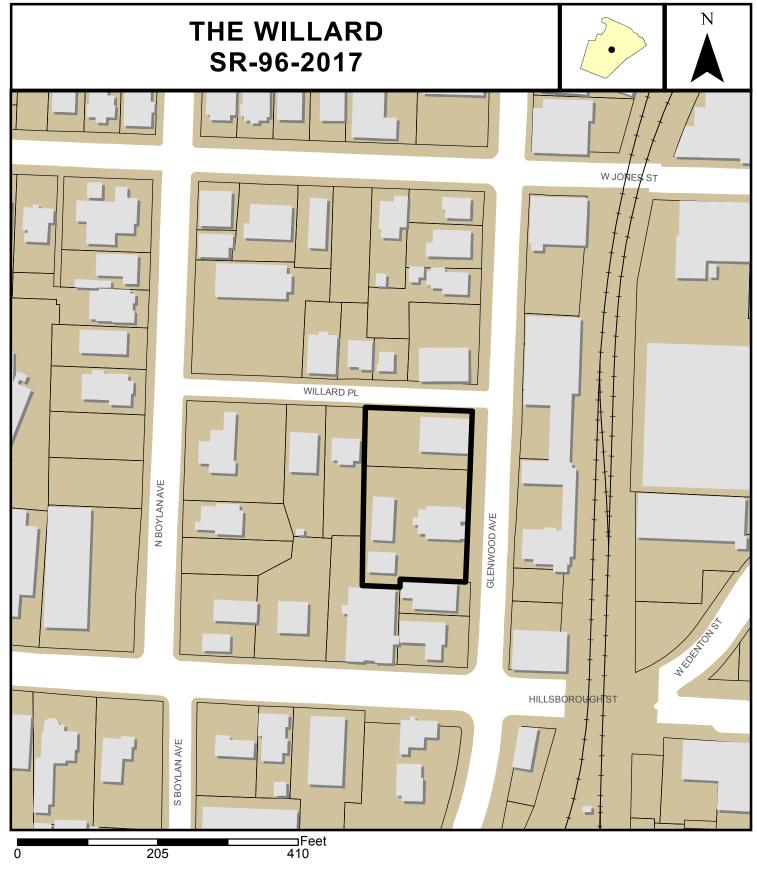
2 EXTERIOR ELEVATION - WILLARD PLACE

(L) (K.9)

2nd FLOOR 18'-0" A.F.F.

> 1st FLOOR at HOTEL LOBBY 1'-4" - 350.08'

1st FLOOR at RETAIL SPACE 0'-0" - 348.75'



Zoning: **DX-7-SH** CAC: Hillsborough Drainage Basin: Pigeon House

Acreage: 0.9 Sq. Ft.: **164,229** Planner: Michael Walters Phone: (919) 996-2636

Applicant: Summit Hospitality

Group

Phone: (919) 576-2845





AA#3779 / SR-96-17, The Willard Transaction# 535899 City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Glenwood Avenue, on the southwest

corner of the intersection of Glenwood Avenue and Willard Place, at 21

Glenwood Avenue.

REQUEST: Development of two parcels recombined into a 0.9 acre tract zoned DX-7-SH for

development of a 7 story, 164,229 gross square foot mixed use building

consisting of retail, overnight lodging, and residential uses.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

One Administrative Alternate has been approved by the Planning Director for this

project, noted below.

1. Allowing the percentage Build To requirement and the corner lot Build To requirement to be met with building façade and amenity area. (AAD-01-18)

FINDINGS: City Administration finds that this request, with the below conditions of approval

being met, conforms to the Unified Development Ordinance. This approval is

based on a preliminary plan submitted by JDavis Architects.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note:

This document must be applied to the second sheet of all future submittals with

the exception of final plats.

Stormwater: This site will utilize a sand filter, underground detention and a TN buydown in order to

meet stormwater quality and quantity regulations.

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. <u>Next Step:</u> A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

 Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

<u>Next Step:</u> In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

3. <u>Next Step:</u> A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund.

SR-96-17, The Willard



AA#3779 / SR-96-17, The Willard Transaction# 535899 City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

- 4. <u>Next Step:</u> All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements.
- 5. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department
- 6. Next Step: The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office.
- 7. That as the preliminary plan shows proposed abandonment of public street right-of-way the developer shall file a request with the City Transportation Department for City Council approval of the right-of-way closure and upon approval a recombination map shall be recorded in accordance with the terms of the approved closure. A copy of the recombination map shall be provided to the City's Development Services Department prior to building permit issuance.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

- 1. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right of Way and/or Easement Dedications, and Tree Save Areas.
- 2. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lot into a single tract.
- 3. A demolition permit shall be obtained.
- 4. Provide fire flow analysis.
- 5. <u>Next Step:</u> In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services Development Engineering program.
- 6. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of these documents shall be provided to the Development Services Department one day from authorization of recordation. If a recorded copy of the documents is not provided within this time period, further recordings and building permit issuance may be withheld.

PUBLIC UTILITIES

7. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas

URBAN FORESTRY

A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

SR-96-17, The Willard



AA#3779 / SR-96-17, The Willard Transaction# 535899

City of Raleigh **Development Services Department** One Exchange Plaza Raleigh, NC 27602 (919) 996-2495 DS.help@raleighnc.gov www.raleighnc.gov

Prior to issuance of building occupancy permit:

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- 2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
- 3. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services -Development Engineering program.
- 4. Next Step: All street lights and street signs required as part of the development approval are installed.
- 5. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services - Development Engineering program.
- 6. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the **Engineering Services Department**
- 7. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff,

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E. including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring reapproval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 4-11-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.	
Signed:(Planning Dir./Designee)	Date: <u>4/11/2018</u>
Staff Coordinator: Michael Walters	



SR-96-17: TA 535899

Administrative Site Review

1st Submittal: November 13, 2017 2nd Submittal: December 14, 2017 3rd Submittal: March 07, 2018

The Willard

9 Glenwood Ave Raleigh, North Carolina 27603

Vicinity Map OWNER: 21 Glenwood Partners LLC jon_callahan@jaeco.com HORIZONTAL AND VERTICAL DATUM:

THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) OR 250 FEET (NFPA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE

FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).

ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION

FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2012 NCFC, SECTION 507.3.

NAD 83 F & NAVD 88 F

Fire Department Notes

FIRST FLOOR OF THE BUILDING (NCFC 503.1.1).

Sheet Index Project Team

DEVELOPER:
Summit Hospitality Group, Lt
21 Glenwood Ave Suite 203
Raleigh, NC 27603
919-821-4665
919-832-6965 (fax)
roland@whiteoakinc.com

CONSULTANTS:

Solid Waste Inspection Statement

SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR.

3. THIS PROJECT HAS DUMPSTERS FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.

THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.

Landscape Architect JDavis Architects, PLLC 510 South Wilmington Street Raleigh, North Carolina 27601 919-835-1500 919-835-1510 (fax) kent@jdavisarchitects.com

PO Box 341

Dobson, NC 27017

919-832-6965 (fax)

roland@whiteoakinc.com

919-821-4665

John A. Edwards & Co. 300 Wade Avenue Raleigh, North Carolina 27605 919-828-4428 919-828-4711 (fax)

Architect

Overcash Demmitt Architects 2010 South Tyron Street, Suite 1a Charlotte, North Carolina 28703 704-332-1615 919-835-1510 (fax) tdemmitt@oda.us.com

Surveyor John A. Edwards & Co. 300 Wade Avenue

Raleigh, North Carolina 27605 919-828-4428 919-828-4711 (fax) chris@jaeco.com

General Notes

EXISTING CONDITIONS/DEMOLITION PLAN

STORMWATER MANAGEMENT PLAN

SITE PLAN

UTILITY PLAN

GRADING PLAN

LANDSCAPE PLAN

1ST FLOOR PLAN

2ND FLOOR PLAN

3RD FLOOR PLAN

4TH FLOOR PLAN

5TH FLOOR PLAN

6THFLOOR PLAN

7TH FLOOR PLAN

BUILDING ELEVATIONS

BUILDING ELEVATIONS

BUILDING ELEVATIONS

BUILDING ELEVATIONS

BUILDING ELEVATIONS

BUILDING ELEVATIONS

ROOF PLAN

- . ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT

L0.0

CE-1

LS1.1

CE-2

CE-3

CE-4

LP1.1

A-101

A-102

A-103

A-104

A-105

A-106 A-107

A-108

A-201

A-202

A-203

A-204

A-205

A-206

- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A
- STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. 6. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR MINIMUM TO THE START OF THE WORK. SEE "RIGHT-OF-WAY
- ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION
- APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF THE WORK. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- 9. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 10. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION 11. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY
- ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.

PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE

PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS

- PERMITTING COORDINATOR AT (919) 996-2483 4. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE
- 15. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- 16. ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY JONH A. EDWARDS & COMPANY IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN OCTOBER, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST, 2017.

Application

P.I.N. 1703-49-4521

Other: If other, please describe:

Administrative Site Review Application (for UDO Districts only)



SERVICES **DEPARTMENT**

☐ Industrial Building

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831 Litchford Satellite Office | 8320 – 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

	BUILDING TYPE			FOR OFFIC	E USE ONLY
_	DOILDING TIFE				
Detached	General			Transacti	on Number
Attached	■ Mixed Use			Assigned Proj	ect Coordinator
Apartment	☐ Open Lot				
Townhouse				Assigned 1	Геат Leader
as your project previously been through	the Due Diligence or Sketch Plan Revie		s, provide the tran	saction #	
evelopment Name The Willard					
oning District DX-7-SH	Overlay District (if applicable)		Inside City Limi	its? Yes	\square_{No}
roposed Use Commercial					
roperty Address(es) 9 and 21 Gl	enwood Ave	Major Stree	t Locator:		

☐ Hospitals ☐ Shopping Center

Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. **WORK SCOPE** Construction of 7 story mixed use building containing ground floor retail, 121 overnight lodging units, 16 residential condominiums and associated parking in connected deck. Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate DESIGN ADJUSTMENT OR ADMIN ALTERNAT

Elderly Facilities

P.I.N. 1703-49-4634

Company Summit Hospitality Group Ltd. Name (s) R. Doyle Parrish, President Address 3141 John Humphries Wynd #200, Raleigh, NC 27612 Phone (919) 787-5100 | Email timd@crown-companies.com | Fax 919-576-2845 Name (s) Ken Thompson Company JDavis Architects CONSULTANT (Contact Person for Address 510 S Wilmington Street

Email kent@jdavisarchitects.com Fax 919-835-1510 Phone 919-612-6997 DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments) **Building Information** Zoning District(s) DX-7-SH Proposed building use(s) Commercial If more than one district, provide the acreage of each: Existing Building(s) sq. ft. gross 20,806 Overlay District N/A Proposed Building(s) sq. ft. gross 164,229 SF Total Site Acres Inside City Limits Yes No 0.9 AC Total sq. ft. gross (existing & proposed) 164.229 SF Off street parking: Required 62 Provided 115 (in parking deck) Proposed height of building +/- 84.5' COA (Certificate of Appropriateness) case # BOA (Board of Adjustment) case # A-Ceiling height of 1st Floor 16' CUD (Conditional Use District) case # Z-

Stormwater Information Flood Hazard Area 🔲 Yes 🔳 No Existing Impervious Surface 0.78 AC, 33,864 SF acres/square feet acres/square feet 44,664 sf If Yes, please provide Proposed Impervious Surface 1.03AC. Neuse River Buffer Yes No

FOR RESIDENTIAL DEVELOPMENTS 1. Total # Of Apartment, Condominium or Residential Units 16 5. Bedroom Units: 1br 2br 16 3br 4br or more 6. Infill Development 2.2.7 N/A 2. Total # Of Congregate Care Or Life Care Dwelling Units () 3. Total Number of Hotel Units 124 7. Open Space (only) or Amenity Amenity area 8. Is your project a cottage court? Yes No 1. Overall Total # Of Dwelling Units (1-6 Above) 140 SIGNATURE BLOCK (Applicable to all developments) In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors

and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as

_ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this

Tree Conservation Notes

I. THIS SITE IS LESS THAN 2 ACRES AND THEREFORE NO TREE CONSERVATION IS REQUIRED PER UDO SEC. 9.1.2.

- 17. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART, OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED
- 18. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- 19. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB. 20. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- 21. GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENT OF SEC. 7.2.5.D.4. AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
- 22. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE
- 23. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA
- 24. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- 25. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- 26. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
- 27. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS
- 28. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS AND SHALL BE COMPLY WITH 2012 NCSBC AND ICC A117.1-2009.
- 29. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- 30. GENERAL UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.



2010 south tryon st. suite 1a charlotte north carolina 28203 office.704.332.1615 web.www.odarch.com







White Oak Properties Inc.

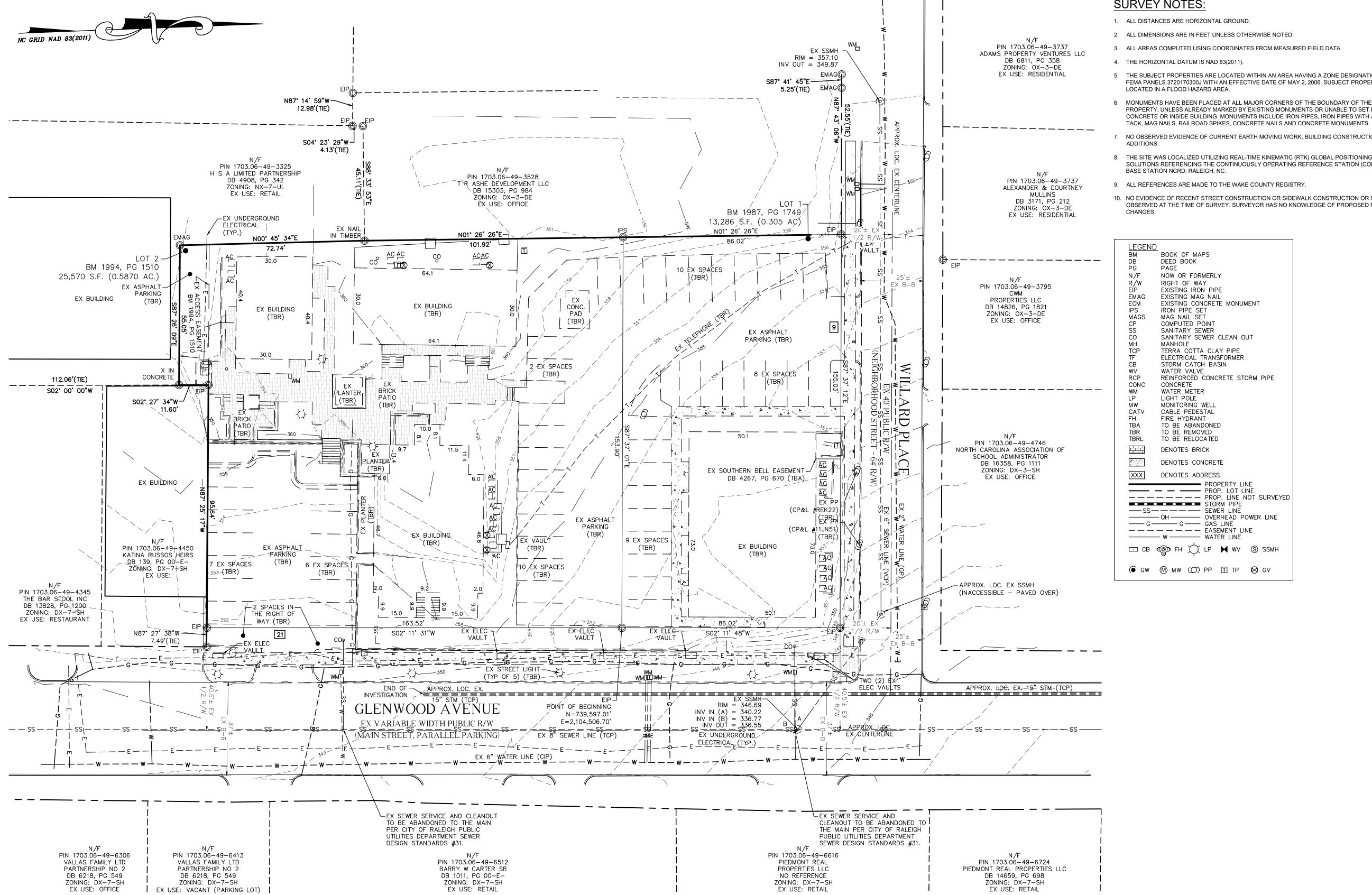
THE WILLARD

RALIEGH, NC ODA Project No. 163073

ADMINISTRATIVE SITE REVIEW

11.13.2017	
REVISIONS	
Description	D
1ST REVIEW COMMENTS	12.1
2ND REVIEW COMMENTS	03.0

COVER



SURVEY NOTES:

- 1. ALL DISTANCES ARE HORIZONTAL GROUND.
- 2. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
- 3. ALL AREAS COMPUTED USING COORDINATES FROM MEASURED FIELD DATA.
- 4. THE HORIZONTAL DATUM IS NAD 83(2011).
- 5. THE SUBJECT PROPERTIES ARE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATIONS "X" BY FEMA PANELS 3720170300J WITH AN EFFECTIVE DATE OF MAY 2, 2006. SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.
- 6. MONUMENTS HAVE BEEN PLACED AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SUBJECT PROPERTY, UNLESS ALREADY MARKED BY EXISTING MONUMENTS OR UNABLE TO SET DUE TO CONCRETE OR INSIDE BUILDING. MONUMENTS INCLUDE IRON PIPES, IRON PIPES WITH A CAP AND
- 7. NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING
- 8. THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NCRD, RALEIGH, NC.
- 9. ALL REFERENCES ARE MADE TO THE WAKE COUNTY REGISTRY.
- 10. NO EVIDENCE OF RECENT STREET CONSTRUCTION OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED AT THE TIME OF SURVEY. SURVEYOR HAS NO KNOWLEDGE OF PROPOSED RIGHT OF WAY

LEGEND BM	BOOK OF MAPS
HM	ROOK OF MAPS
DB	DEED BOOK
PG N/F	PAGE NOW OR FORMERLY
N/F R/W	RIGHT OF WAY
ΕĺΡ	EXISTING IRON PIPE
EMAG ECM	EXISTING MAG NAIL EXISTING CONCRETE MONUMENT
IPS	IRON PIPE SET
MAGS CP	MAG NAIL SET COMPUTED POINT
SS	SANITARY SEWER
CO MH	SANITARY SEWER CLEAN OUT MANHOLE
TCP	TERRA COTTA CLAY PIPE
TF CB	ELECTRICAL TRANSFORMER STORM CATCH BASIN
WV	WATER VALVE
RCP CONC	REINFORCED CONCRETE STORM PIPE CONCRETE
WM	WATER METER
LP MW	LIGHT POLE MONITORING WELL
CATV	CABLE PEDESTAL
FH TBA	FIRE HYDRANT TO BE ABANDONED
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
	DENOTES BRICK
	DENOTES CONCRETE
XXX	DENOTES ADDRESS
	PROPERTY LINE PROP. LOT LINE
	— — — — PROP. LINE NOT SURVEYED
—— SS-	STORM PIPE
	OH — OVERHEAD POWER LINE
—— G —	——— G —— GAS LINE —————— EASEMENT LINE
	- W WATER LINE
□ CB	© FH 🂢 LP 🖊 WV S SSMH
	A . 人,
	(M) MW (C) PP □ TP ⊗ GV

overcash demmitt

2010 south tryon st. suite 1a charlotte north carolina 28203

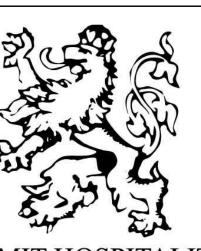
office.704.332.1615 web.www.odarch.com

JOHN A. EDWARDS & COMPANY **Consulting Engineers** and Land Surveyors NC License F-0289 333 Wade Ave., Raleigh, N.C. 27605 Phone: (919) 828-4428

Fax: (919) 828-4711

E-mail: info@jaeco.com

www.jaeco.com



SUMMIT HOSPITALITY GROUP, LTD.



White Oak Properties Inc.

THE WILLARD

RALIEGH, NC

ODA Project No. 163073 **ADMINISTRATIVE** SITE REVIEW (SR-96-17) TRANSACTION # 535899 10.18.2017

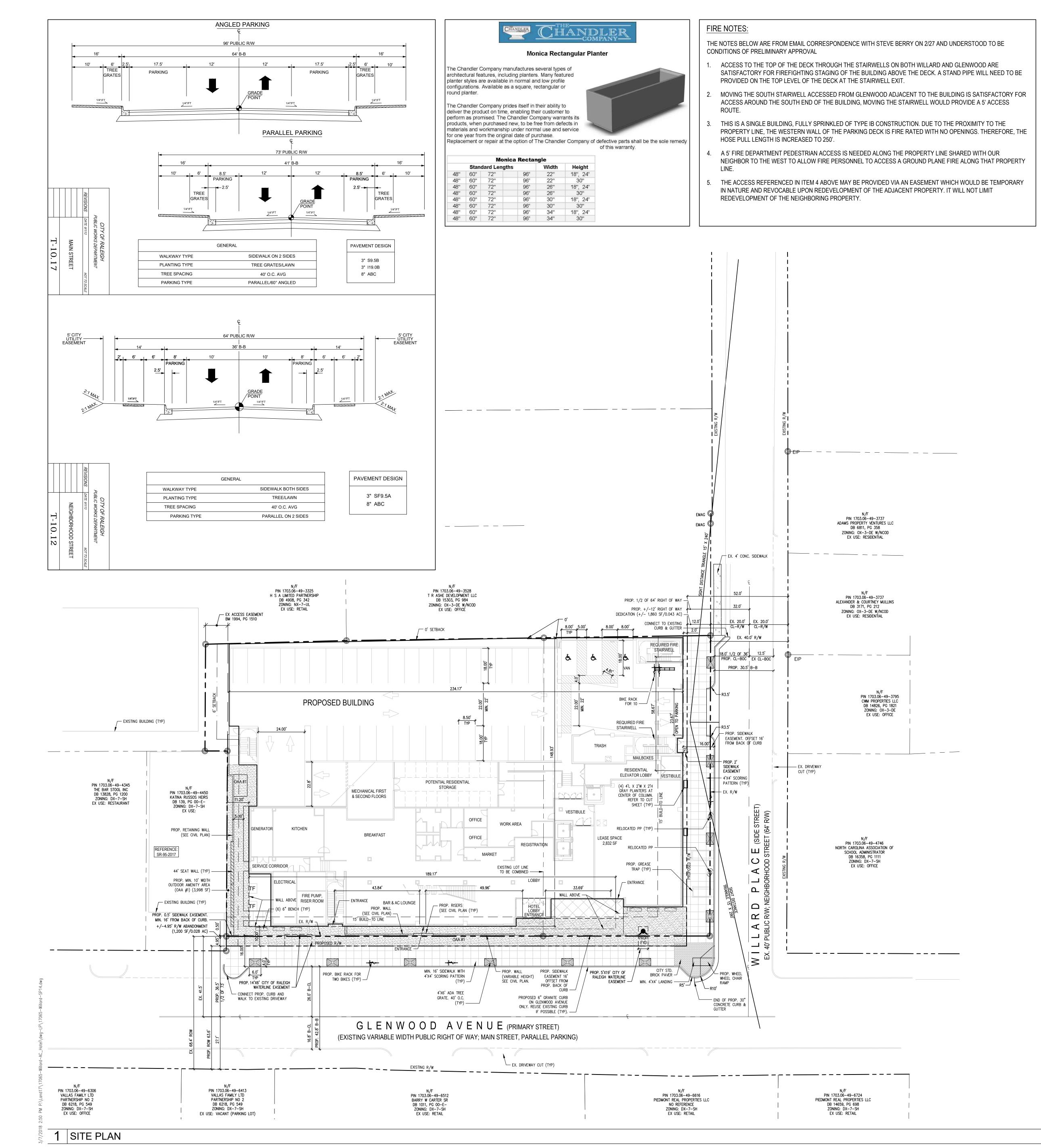
REVISIONS		
No.	Description	Date
1	PER CITY COMMENTS	12/14/1
2	PER CITY COMMENTS	02/23/1

EXISTING CONDITIONS/ **DEMOLITION PLAN**

DRAWN BY:

CHECKED BY: JRC

EXISTING IMPERVIOUS AREA...



HC RAMPS:

Project: Willard AC Hotel

Lot Dimensions

A1 Area (min)

12 Width (min)

B4 From alley

C4 From alley

E. Floor heights

F. Transperency
F1 Ground story (min)

F2 Upper story (min)

F3 Blank wall area (max)

H. Allowed building elements

Gallery, awning
3 Frontage requirements (sec. 3.4.7)

D. Additional parking limitations

4 Streetscape requirement (sec. 8.5.2

A. Streetscape width (max.)

Required parking (UDO section 7.1.3.A)

Non residential required parking rates

6 Required bicycle parking (UDO section 7.1.2.

Sec. 7.1.3.A.1.e. (25% of GF retail uses)

Residential required parking rates

Main Street (Sec. 8.5.2.A)

B. Sidewalk (min.) C. Planting area (min.)

Walkway type

Planting type

Tree spacing

Overnight lodging

Residential use (min.) Residential use (max.)

Residential use Visitor

Non residential

Exemptions

Overnight lodging

Long term Multi-unit living

Long term Retail sales

Short tern

Long term

9 Proposed use

Additional right of way

Overnight lodging

0 Gross square footage

Non-residential uses

Area provided - OAA #1

Residential uses

1 Proposed FAR Building lot coverage

13 Building height

Proposed height

Less right of way dedication

Residential (all 2 bedroon

Non-residential (Ground floor

Non-reidential (Ground floo

12 Outdoor amenity area (UDO section 3.2.6.A3)

Area required - 10% of net acreage

Seating required (1 LF per 50 SF)
Seating provided - OAA #1

4 Frontage requirements (UDO section 3.4.9)

Required Side Street - Willard St.

Required Primary Street - Glenwood Ave.

3.4.9.C1 Primary street build-to (min/max)

3.4.9.C3 Primary street build-to (min/max)

3.4.7.E2 Street-facing entrance spacing

Required parking (UDO section 7.1.2 & 7.1.3.A)

Overnight lodging (1 space per room)
Residential (1 SP/DU - 1st 16 exempt)

Required bicycle parking (UDO section 7.1.2

Long term (1 space per 20 rooms, min. 4)

Long term (1 space per 20 rooms, min. 4)

Short term (1 per 5,000 SF, min. 4)

Total bike parking provided (6 outside, 10 in

Retail uses (first 30K SF exempt)

HC required (Car and Van)

Standard space - parking decl Conpact space - parking deck HC space - parking deck

HC required (Van)

Total spaces provided

Overnight lodging use

Parking provided

8 Impervious area

3.4.9.C4 Building width in primary build-to (mi

3.4.9.C2 Building width in primary build-to (min

rees provided - OAA #1

7 Site Data

E. Pedestrian access

C1 Primary street build-to (min/max)

C2 Building width in side build-to (min)

D1 Parking setback from Primary street

D2 No on-site parking or vehicular surface area is allowed between the building and the street

E1 Primary street-facing entrance required

E2 Street-facing entrance spacing (max)

C2 Building width in primary build-to (min) C1 Side street build-to (min/max)

C. Parking setbacks

A3 Outdoor amenity area

B. Building / structure setbacks

B2 From side street (min)

B3 From side lot line (min)

B4 From rear lot line (min)

C1 From primary street (min) C2 From side street (min)

C3 From side lot line (min) C4 From rear lot line (min)

D. Height
D1 Principal building (max)

D2 Accessory structure (max)

E1 Ground floor elevation (min)

E2 Ground story height floor to ceiling (min)

E3 Upper story height floor to ceiling (min)

B1 From primary street (min)

A1 Area (max

Date: 10.13.2017 (updated 02/22/2018)

1 Zoning 2 Section 3.2.6 Mixed Use Building

- 1. ALL HC RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION
- POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

See SH Frontage below, item #3

See SH Frontage below, item #3

See SH Frontage below, item #3

SH (Shopfront)

see Sec. 8.5.2.A

40' O.C. average

First 16 units exempt

First 10K SF exempt

First 30K SF exempt

1 per 20 rooms (4 min.)

1 per 20 rooms (4 min.)

1 per 5,000 SF (4 min.)

3,042 SF

79.558 SF (48.49 36,996 SF (22.5°

44,840 SF (27.3 164,229 SF (100

127,233 SF (77.

0.092 A

(84'-4 1/4") 7 Story

199 6 FT

75.8%

37.06 - 47.06 FT

1.00 SP

16.0 SP

44,664 SF 1.03 AC

3,998 / 1,000 =

189.2 / 249.5 =

138.3 / 155.0 =

van, 4 reg. car)

36,996 SF (22.5°

Glenwood Avenue & Willard Street

0 to 15 FT

	ALLUVIAL SOIL: FEMA MAP PANEL #:	N/A N/A	
	GENERAL NOTES:		
DX-7 SH	ALL CONSTRUCT STANDARDS.	ION SHALL BE IN ACCORDANCE	WITH CITY OF RALEI
n/a		OR SHALL CONDUCT THE WORK DNVENIENCE TO TRAFFIC.	IN A SAFE MANNER A
n/a	3 THE CONTRACTO	OR SHALL BE RESPONSIBLE FOR	ALL TRAFFIC CONTE

EXISTING SITE DATA:

SITE ADDRESS:

PIN NUMBER:

DEED BOOK:

ZONING(S):

ACREAGE:

EXISTING USE:

RECORDED MAP:

EIGH AND/OR NCDOT R AND WITH A MINIMUM

INTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).

1703-49-4521 & 1703-49-4634

DB 016199, PG 00508

BM 1994, PG 1510

DX-7-SH

COMMERCIAL

0.9 AC

- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.

9 & 21 GLENWOOD AVENUE, RALEIGH, NORTH CAROLINA 27603

- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR MINIMUM TO THE START OF THE WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF THE WORK.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.

THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT

TO PREVIOUS OR BETTER CONDITION. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH

THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS

FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES

- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919)
- 4. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT
- FOR THIS DEVELOPMENT. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- . ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY JONH A. EDWARDS & COMPANY IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN OCTOBER, AND

SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST, 2017.

- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- . UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- 19. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
- 20. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENT OF SEC. 7.2.5.D.4. AND IS <u>NOT</u> ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.

ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.

- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL
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- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE
- SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL. . GENERAL UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.

EXISTING PROJ. BOUNDARY/ROW LINE PROP. RIGHT OF WAY LINE PROP. LINE NOT SURVEYED PROP. OUTDOOR AMENITY AREA (OAA) PROP. 4' X 6' ADA TREE GRATE PROP. 6' BENCH PROP. (1) TABLE & (2) CHAIRS

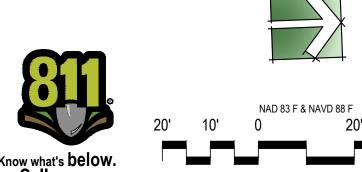
PROP. 4' X 2' PLANTER

PROP. BIKE RACK FOR TWO

PROP. BIKE RACK FOR TEN (IN PARKING DECK)

TA: 535899

SITE PLAN



Call before you dig. SCALE: 1" = 20'

overcash demmitt

2010 south tryon st. suite 1a charlotte north carolina 28203 office.704.332.1615 web.www.odarch.com



510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500 1518 Walnut St. Suite 1308 | Philadelphia, PA 19102 | tel 215.545.0121





White Oak Properties Inc

THE WILLARD

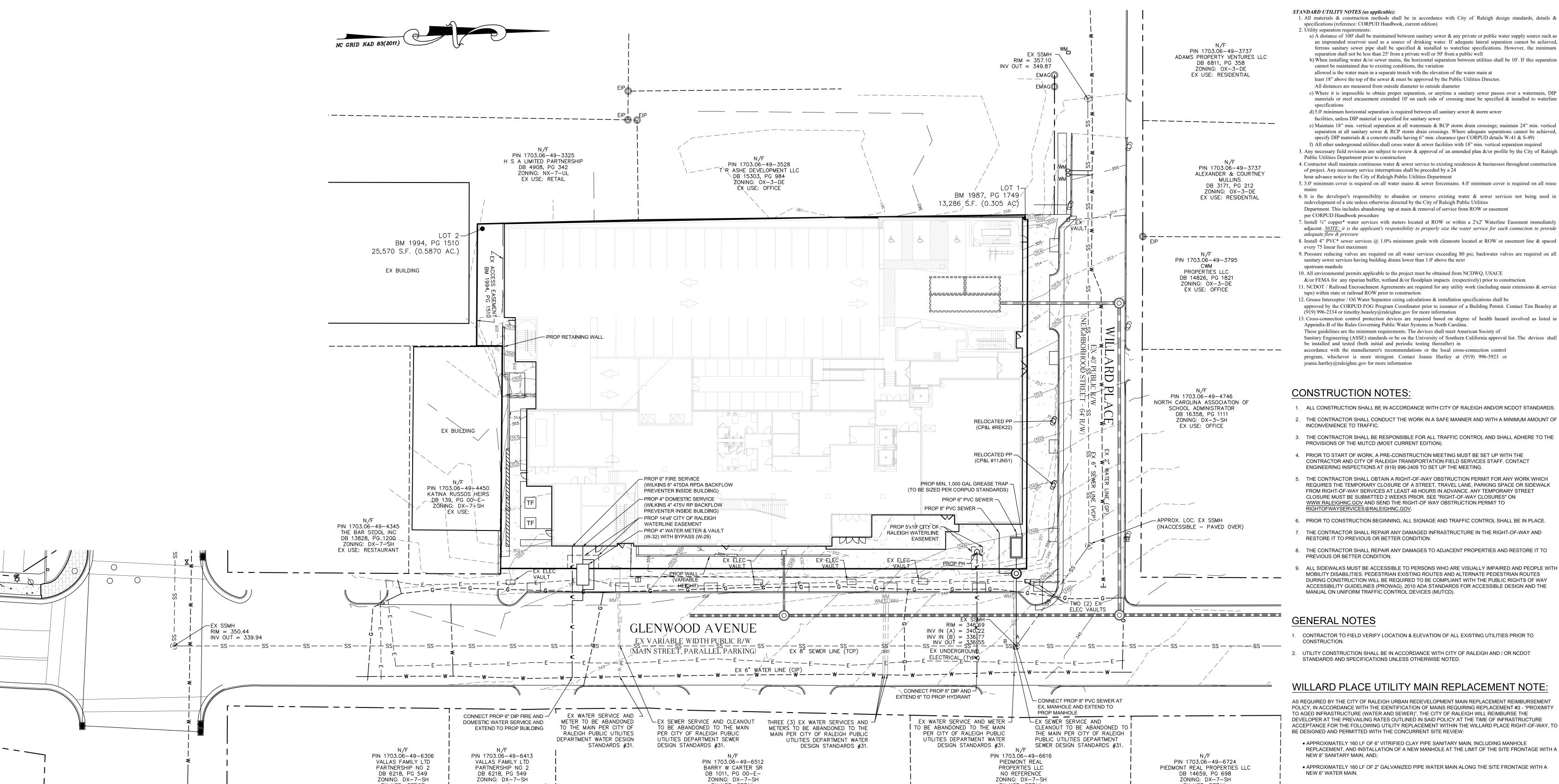
RALIEGH, NC ODA Project No. 163073

ADMINISTRATIVE SITE REVIEW

11.13.2017 **REVISIONS** 1ST REVIEW COMMENTS 2ND REVIEW COMMENTS

SITE PLAN

Copyright 2017 JDavis Architects



EX USE: OFFICE

EX USE: VACANT (PARKING LOT)

EX USE: RETAIL

EX USE: RETAIL

STANDARD UTILITY NOTES (as applicable):

- 1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition) 2. Utility separation requirements:
 - a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation
 - cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director.
 - All distances are measured from outside diameter to outside diameter c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10 on each side of crossing must be specified & installed to waterline
 - d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer
 - facilities, unless DIP material is specified for sanitary sewer e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)

f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required

- 3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction 4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24
- hour advance notice to the City of Raleigh Public Utilities Department 5. 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse 6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in
- redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
- 7. Install 3/4" copper* water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide
- 8. Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum 9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next
- upstream manhole 10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- 11. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction 12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at
- 13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall
- be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information

CONSTRUCTION NOTES:

(919) 996-2334 or timothy.beasley@raleighnc.gov for more information

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- 2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).

REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK

- 4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF, CONTACT
- ENGINEERING INSPECTIONS AT (919) 996-2409 TO SET UP THE MEETING. . THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH
- CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV. 6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET

- THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO
- PREVIOUS OR BETTER CONDITION.
- MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

GENERAL NOTES

EX USE: RETAIL

- 1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

WILLARD PLACE UTILITY MAIN REPLACEMENT NOTE:

AS REQUIRED BY THE CITY OF RALEIGH URBAN REDEVELOPMENT MAIN REPLACEMENT REIMBURSEMENT POLICY, IN ACCORDANCE WITH THE IDENTIFICATION OF MAINS REQUIRING REPLACEMENT #3 - "PROXIMITY TO AGED INFRASTRUCTURE (WATER AND SEWER)", THE CITY OF RALEIGH WILL REIMBURSE THE DEVELOPER AT THE PREVAILING RATES OUTLINED IN SAID POLICY AT THE TIME OF INFRASTRUCTURE ACCEPTANCE FOR THE FOLLOWING UTILITY REPLACEMENT WITHIN THE WILLARD PLACE RIGHT-OF-WAY, TO BE DESIGNED AND PERMITTED WITH THE CONCURRENT SITE REVIEW:

• APPROXIMATELY 160 LF OF 6" VITRIFIED CLAY PIPE SANITARY MAIN, INCLUDING MANHOLE REPLACEMENT, AND INSTALLATION OF A NEW MANHOLE AT THE LIMIT OF THE SITE FRONTAGE WITH A NEW 8" SANITARY MAIN, AND;

• APPROXIMATELY 160 LF OF 2" GALVANIZED PIPE WATER MAIN ALONG THE SITE FRONTAGE WITH A NEW 6" WATER MAIN.

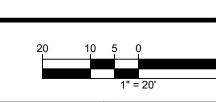
BOOK OF MAPS DEED BOOK N/F NOW OR FORMERLY RIGHT OF WAY R/W EXISTING IRON PIPE EXISTING MAG NAIL EXISTING CONCRETE MONUMENT ECM IRON PIPE SET MAGS MAG NAIL SET COMPUTED POINT SANITARY SEWER SANITARY SEWER CLEAN OUT MANHOLE TERRA COTTA CLAY PIPE ELECTRICAL TRANSFORMER STORM CATCH BASIN WATER VALVE REINFORCED CONCRETE STORM PIPE RCP CONC CONCRETE WATER METER LIGHT POLE MONITORING WELL CABLE PEDESTAL CATV FIRE HYDRANT TO BE ABANDONED TO BE REMOVED TO BE RELOCATED DENOTES BRICK DENOTES CONCRETE XXX DENOTES ADDRESS PROPERTY LINE STORM PIPE ——SS———— SEWER LINE OH OVERHEAD POWER LINE ----- W ----- WATER LINE □ CB (③) FH \ LP M WV S SSMH

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2409. and the PUBLIC UTILITIES DEPARTMENT at (919)996-4540 at least twenty four hours prior to beginning any of their construction. FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require

future work in the CITY OF RALEIGH.

reinstallation of any water or sewer facilities not inspected as a result of this notification failure. FAILURE to call for Inspection, Install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from



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2010 south tryon st. suite 1a charlotte north carolina 28203 office.704.332.1615 web.www.odarch.com



NC License F-0289 333 Wade Ave., Raleigh, N.C. 27605 Phone: (919) 828-4428 Fax: (919) 828-4711 E-mail: info@jaeco.com

www.jaeco.com



SUMMIT HOSPITALITY GROUP, LTD.



White Oak Properties Inc.

THE WILLARD

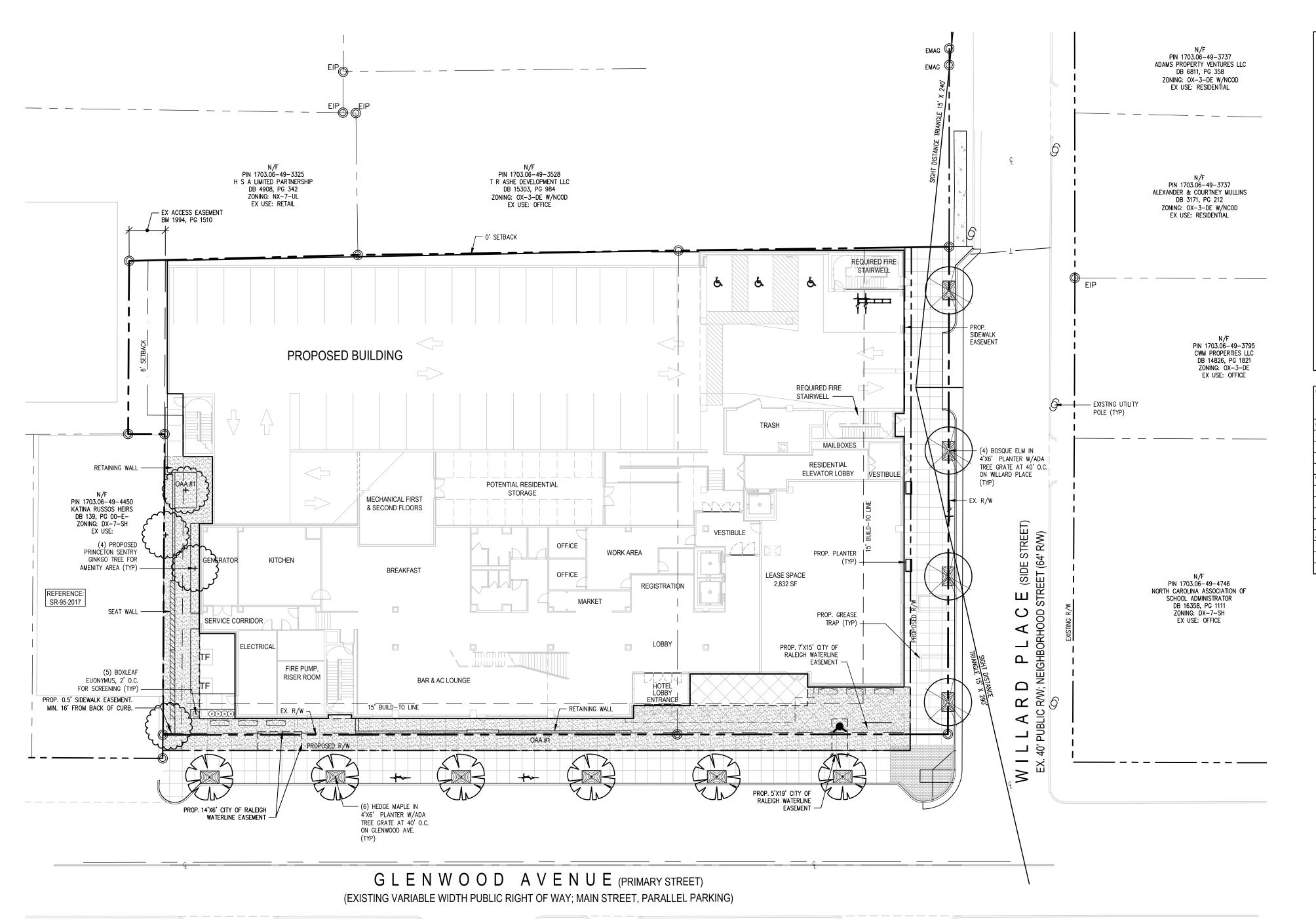
RALIEGH, NC ODA Project No. 163073

ADMINISTRATIVE SITE REVIEW (SR-96-17) TRANSACTION # 535899 10.18.2017

	REVISIONS	
No.	Description	Date
1	PER CITY COMMENTS	12/14/17
2	PER CITY COMMENTS	02/23/18
·		

UTILITY PLAN

DRAWN BY: TCT



PLANT LIST						
QTY SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	REMARKS
TREES						
6	Acer campestre	Hedge Maple	3" MIN.	10' MIN.	B&B	Street Plantings
4	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2" MIN.	8' MIN.	B&B	Amenity Area Plantings
4	Ulmus parvifolia 'Bosque'	Bosque Elm	3" MIN.	10' MIN.	B&B	Street Plantings
SHRUBS			•			
-		D 1 (E		0.411.1.411.1	COLIT	

PIN 1703.06-49-6616

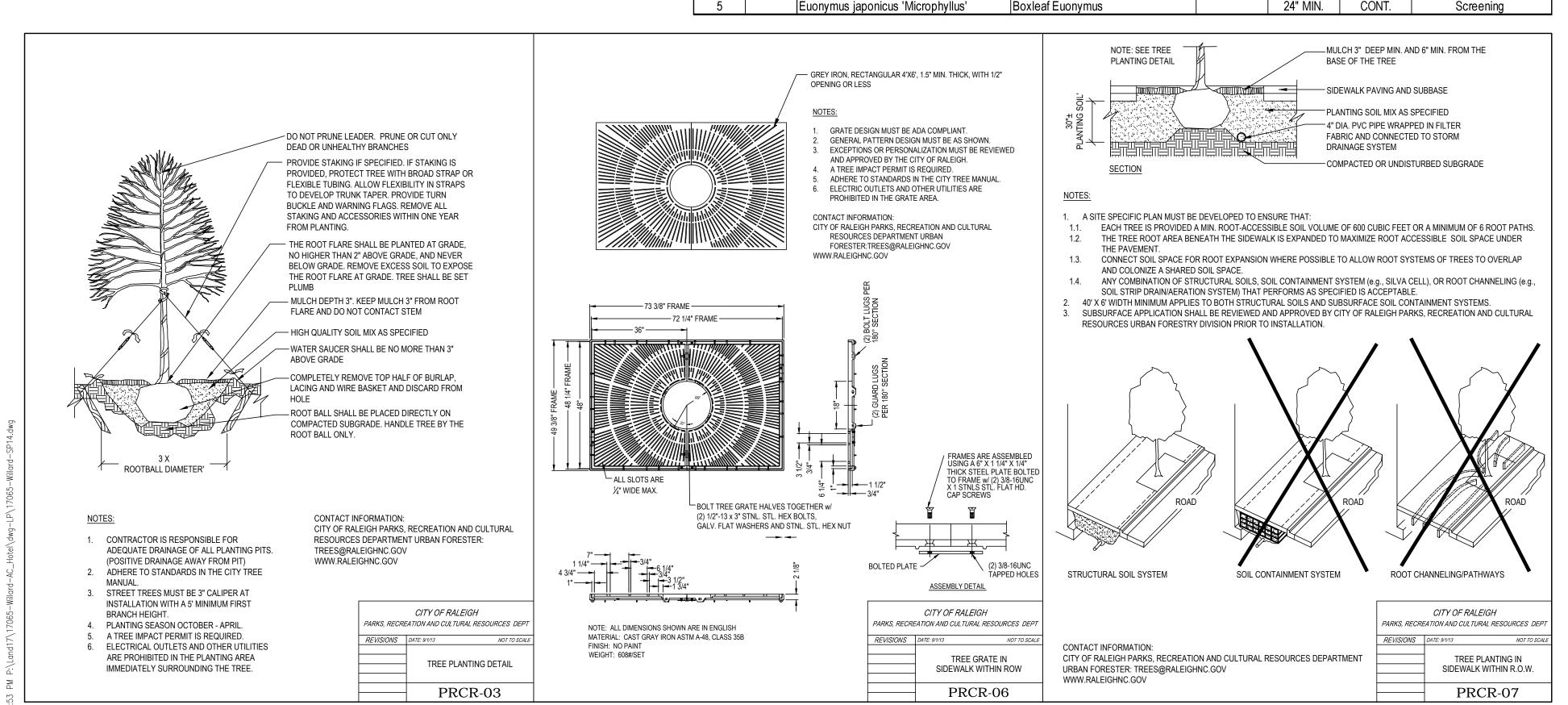
PIEDMONT REAL PROPERTIES LLC NO REFERENCE

ZONING: DX-7-SH

EX USE: RETAIL

PIN 1703.06-49-6724
PIEDMONT REAL PROPERTIES LLC

DB 14659, PG 698 ZONING: DX-7-SH EX USE: RETAIL



EX USE: RETAIL

LANDSCAPE NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
- THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH. ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 5. ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- : ALL PLANTING BEDS ARE TO BE MULCHED TO A MINIMUM DEPTH OF 3". DOUBLE SHREDDED HARDWOOD MULCH; DYED BROWN; 2" MAXIMUM PARTICLE SIZE. NO PINE STRAW PERMITTED.
- ALL LAWN AREAS TO BE SEEDED AS PER SEEDING SPECIFICATIONS. ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN. REFER TO SPECIFICATIONS. PROVIDE ALTERNATE ADD FOR 'TIFBLAIR" CENTIPEDE SOD IN LIEU OF LAWN SEEDING.
- . ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.

CONSTRUCTION DOCUMENTS.

- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED
- ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL
- TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL. ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF
- 2. A TREE IMPACT PERMIT IS REQUIRED PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE
- 4. CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.

City of Raleigh UDO Requirements for the Wilalrd Date: 11.13.2017 (Revised: xx.xx.2017)

Glenwood Avenue Street Plantings

Glenwood Avenue Street Flantings			
Street Typelogy	Mai	n Street, Paralle	el Parking
Length of Right of Way		238	LF
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average)	238 / 40	6.0	EA
Shade Trees Provided		6	EA
Willard Place Street Plantings		·	
Street Typelogy		Neighborho	ood Street
Length of Right of Way (West Side)		160	LF
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average)	160 / 40	4.0	EA
Shade Trees Provided (3" cal. 10' ht. @ 40' o.c. average)		4	EA
Amenity Area Plantings		•	
Required Amenity Area		3919	SF
Trees Required (2" cal.)	3919 / 1000	3.9	EA
Trees Provided (2" cal.)		4	EA

SITE ADDRESS: 9 & 21 GLENWOOD AVENUE, RALEIGH, NORTH CAROLINA 27603 PIN NUMBER: 1703-49-4521 & 1703-49-4634

DEED BOOK: DB 016199, PG 00508 RECORDED MAP: BM 1994, PG 1510 ZONING(S): DX-7-SH

ACREAGE: 0.9 AC EXISTING USE: COMMERCIAL ALLUVIAL SOIL: FEMA MAP PANEL #:

EXISTING SITE DATA:

6.18.1. STREET TREE PLANTINGS IN AN URBAN SETTING

THE PARKS AND RECREATION DEPARTMENT IS RESPONSIBLE FOR PLAN REVIEW, INSPECTION, MONITORING AND ENFORCEMENT ASSOCIATED WITH TREE PLANTING AND MAINTENANCE ON PROPERTY OWNED OR CONTROLLED BYTHE CITY. TREE RELATED ACTIVITIES ARE CONDUCTED IN ADHERENCE TO CITY OF RALEIGH MUNICIPAL CODE TREES AND VEGETATION, PART 9 CHAPTER 8 AND THE CITY TREE MANUAL. WHERE THE TRANSPORTATION MANUAL DEVIATES FROM THE REFERENCED MATERIALS THE MUNICIPAL CODE PART 9 CHAPTER 8 SHALL TAKE PRECEDENCE. A. DEVELOPMENT AND LANDSCAPE PLAN REQUIREMENTS

THE URBAN FORESTER OR DESIGNEE SHALL REVIEW ALL SITE PLANS WITH TREES IN THE RIGHT OF WAY AND ON CITY OWNED OR CONTROLLED PROPERTY. THIS APPLICATION PROCESS DESCRIBES THE REQUIREMENTS FOR PLAN REVIEW, PERMITTING, TREE PROTECTION, STANDARD

SPECIFICATIONS, TREE QUALITY, INSTALLATION AND MAINTENANCE. WHERE DEVELOPMENT ABUTS A STREET CONTROLLED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION TREES MAY NOT BE REQUIRED OR WILL FALL UNDER THE LANDSCAPE REQUIREMENTS OF THE STATE. THE CITY IS STILL REQUIRED TO REVIEW AND APPROVE ALL PROPOSED TREES IN

B. APPLICATION PROCESS

THIS IS THE APPLICATION PROCESS FOR ACTIVITIES IMPACTING CITY TREES. IMPACTS INCLUDE BUT ARE NOT LIMITED TO PLANTING, REMOVAL, PRUNING, TRENCHING, BORING, EXCAVATING, FILLING, FERTILIZING, TREATING FOR DISEASE OR INSECTS, INSTALLING DECORATIONS AND PLANTING.

SUBMIT TREE IMPACT PERMIT REQUEST TO THE URBAN FORESTER 2. ADDITIONAL DOCUMENTATION REQUIRED A.

- a. SITE AND/OR LANDSCAPE PLAN
- I. IDENTIFY PROPERTY BOUNDARIES AND RIGHTS OF WAY
- II. LABEL STREETS AND OTHER PLAN ELEMENTS
- III. OVERHEAD UTILITIES AND LIGHTING PLAN
- IV. IDENTIFY TREES FOR DEMOLITION AND PRESERVATION
- V. DEPICT THE REQUIRED SITE DISTANCE TRIANGLES
- VI. DEPICT TREE PROTECTION ZONES AND FENCING DETAIL
- VII. TREE SPECIES INCLUDING BOTANICAL NAME, INSTALLATION SIZE AND COUNTS
- VIII. URBAN TREE PIT DETAIL AND SUBSURFACE ROOT TREATMENT IF APPLICABLE WITH 600CUFT MINIMUM SOIL REQUIREMENT.
- IX. ADHERENCE TO TREE QUALITY SPECIFICATIONS AND DETAIL X. ADHERENCE TO TREE PLANTING SPECIFICATIONS AND DETAIL
- XI. TREE PROTECTION PLAN (WAIVED IF NO TREES IMPACTED WITHIN CRITICAL ROOT ZONE ON SITE)

6.18.2. TREE INFRASTRUCTURE, INSTALLATION AND MAINTENANCE STANDARDS

A. TREES IN SIDEWALKS, PITS AND GRATES AND TREE LAWN

1. A TREE MAINTENANCE FEE SHALL BE ASSESSED AT THE TIME OF PERMIT ISSUANCE FOR EACH STREET TREE TO BE INSTALLED. THIS SHALL BE INCLUDED IN THE FEE SCHEDULE TREE GRATE

- a. 4 FEET X 6 FEET GRAY IRON, ADA COMPLIANT
 - b. TREE GRATES SHALL HAVE A PROVISION FOR TRUNK EXPANSION OF THE TREE, SUCH AS POP OUT CONCENTRIC RINGS IN THE GRATE
- c. NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE PIT OR GRATE (UTILITIES MAY RUN BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE)

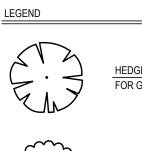
c. NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE LAWN (UTILITIES MAY RUN BELOW AND THROUGH THE

- d. TREES SHALL BE CENTERED IN THE PIT
- e. TREE PITS SHALL ACCOMMODATE A DEPTH OF 3 FEET OF PLANTING SOIL
- f. HIGH QUALITY PLANTING SOIL SHALL BE USED IN THE PIT DIRECTLY BELOW THE GRATE
- g. DRAINAGE SHALL BE PROVIDED
- . MINIMUM 6 FEE WIDE TREE LAWN
- b. TREES CENTERED IN AREA
- SUBSURFACE ROOT EXPANSION INFRASTRUCTURE) d. 600 CUBIC FEET OF ORGANIC SOIL IN THE IMMEDIATE AREA WHERE THE TREE IS TO BE PLACED

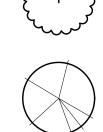
B. REQUIRED SUBSURFACE ROOT EXPANSION

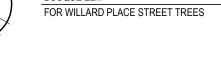
1. HIGH QUALITY TOP SOIL OR STRUCTURAL SOIL SHALL BE USED TO ACCOMPLISH THE SOIL VOLUME REQUIREMENT. 2. REQUIRE MINIMUM 600 CUBIC FEET.

- 3. EXCEPTIONS AND DESIGN ALTERNATIVES ARE ENCOURAGED TO ACHIEVE SOIL VOLUME: URBAN FORESTER REVIEW REQUIRED. DESIGNS THAT GROUP TREES AND CONNECT ROOT SPACES WILL BE FAVORED AS WELL AS THE INTRODUCTION OF LID MATERIALS AND TECHNOLOGY
- 4. SELECT ONE OR MORE OPTIONS BELOW
- a. STRUCTURAL SOIL b. SUBSURFACE SOIL CONTAINMENT STRUCTURE
- c. MINIMUM 6 PATHS FROM EACH TREE, 3 ON EACH SIDE 20' MINIMUM EXTENSION FOR EACH PATH. CONNECT TO ADJACENT PIT PATH. d. SUSPENDED PAVEMENT
- 5. WHEN ROOT EXPANSION PATHS EXTEND UNDER SIDEWALKS, ENSURE MINIMUM DENSITY REQUIREMENTS ARE MET.
- C. PLANTING STANDARDS 1. ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:
- a. AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300. AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42ND STREET, NEW YORK, N.Y. 10036
- b. AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1. AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250 EYE STREET. NW, SUITE 500, WASHINGTON, D.C. 20005
 - c. HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORIUM. 1976. MACMILLAN PUBLISHING CO., NEW YORK



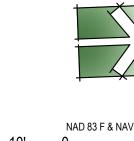
FOR GLENWOOD AVE STREET TREES

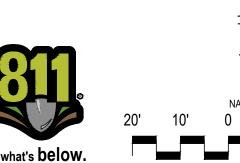




PRINCETON SENTRY GINKGO FOR AMENITY AREA TREES

PROP. AMENITY AREA





Call before you dig. SCALE: 1" = 20'

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LANDSCAPE

PLAN

LANDSCAPE PLAN

PIN 1703.06-49-6413

VALLAS FAMILY LTD PARTNERSHIP NO 2

DB 6218, PG 549

EX USE: VACANT (PARKING LOT)

scale: 1" = 20'

office.704.332.1615 web.www.odarch.com

overcash demmitt

2010 south tryon st. suite 1a

charlotte north carolina 28203

510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500

1518 Walnut St. Suite 1308 | Philadelphia, PA 19102 | tel 215.545.0121

SUMMIT HOSPITALITY



RALIEGH, NC ODA Project No. 163073

ADMINISTRATIVE SITE

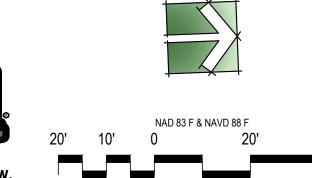
11.13.2017

REVISIONS 1ST REVIEW COMMENTS 2ND REVIEW COMMENTS

BOXLEAF EUONYMUS FOR SCREENING

TA: 535899

LANDSCAPE PLAN





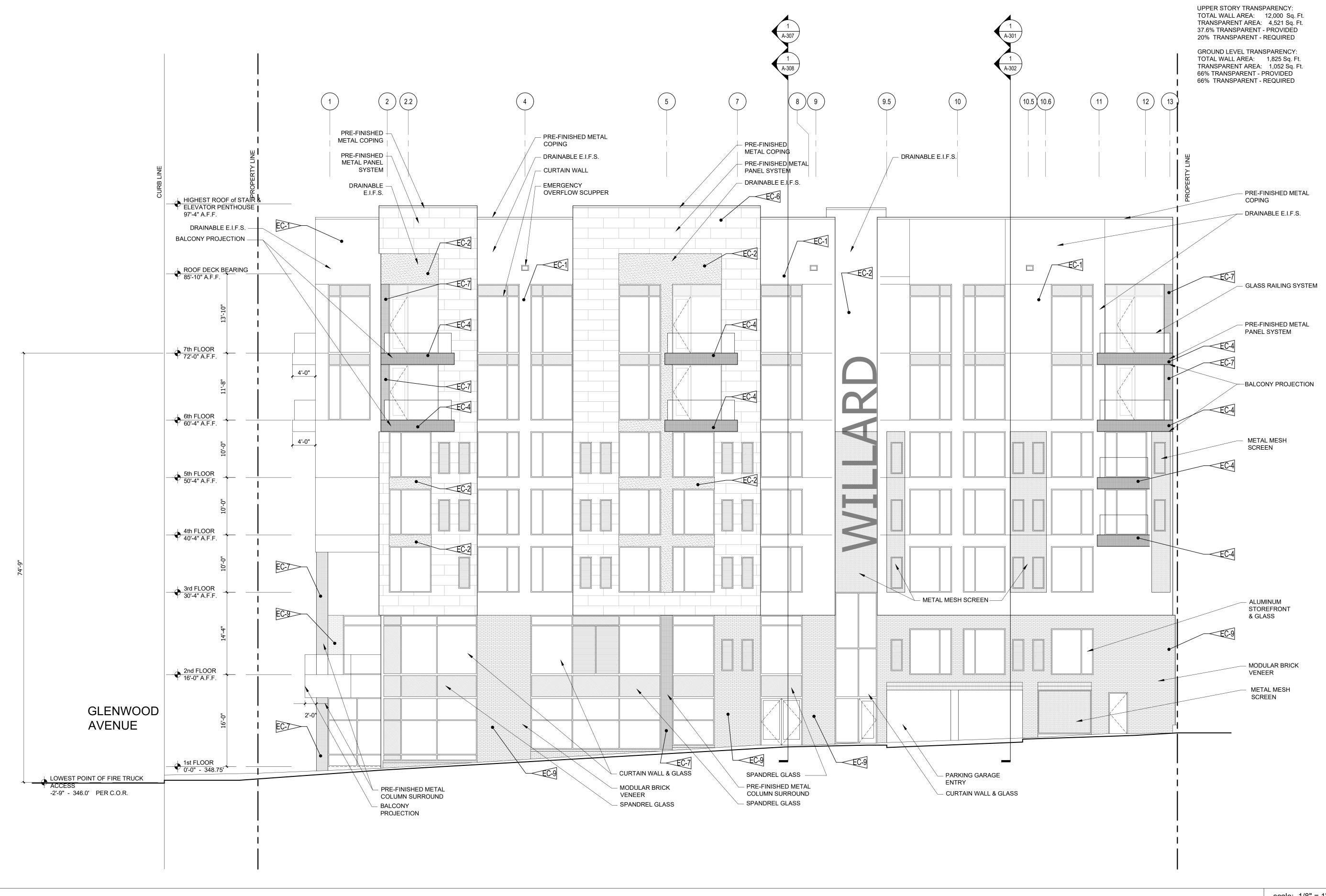


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charlotte north carolina 28203 office.704.332.1615 web.www.odarch.com







White Oak Properties Inc.



DESIGN DEVELOPMENT

PRICING

01.18.2018

	REVISIONS	
No.	Description	Date

ELEVATIONS

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1 WEST ELEVATION - REAR with PARKING DECK





THE WILLARD

AC

HOTELS

MARRIOTT.

RALIEGH, NC

RALIEGH, NC
ODA Project No. 163073

ADMINISTRATIVE PLAN
REVIEW

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THE WILLARD



ADMINISTRATIVE PLAN REVIEW

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THE WILLARD

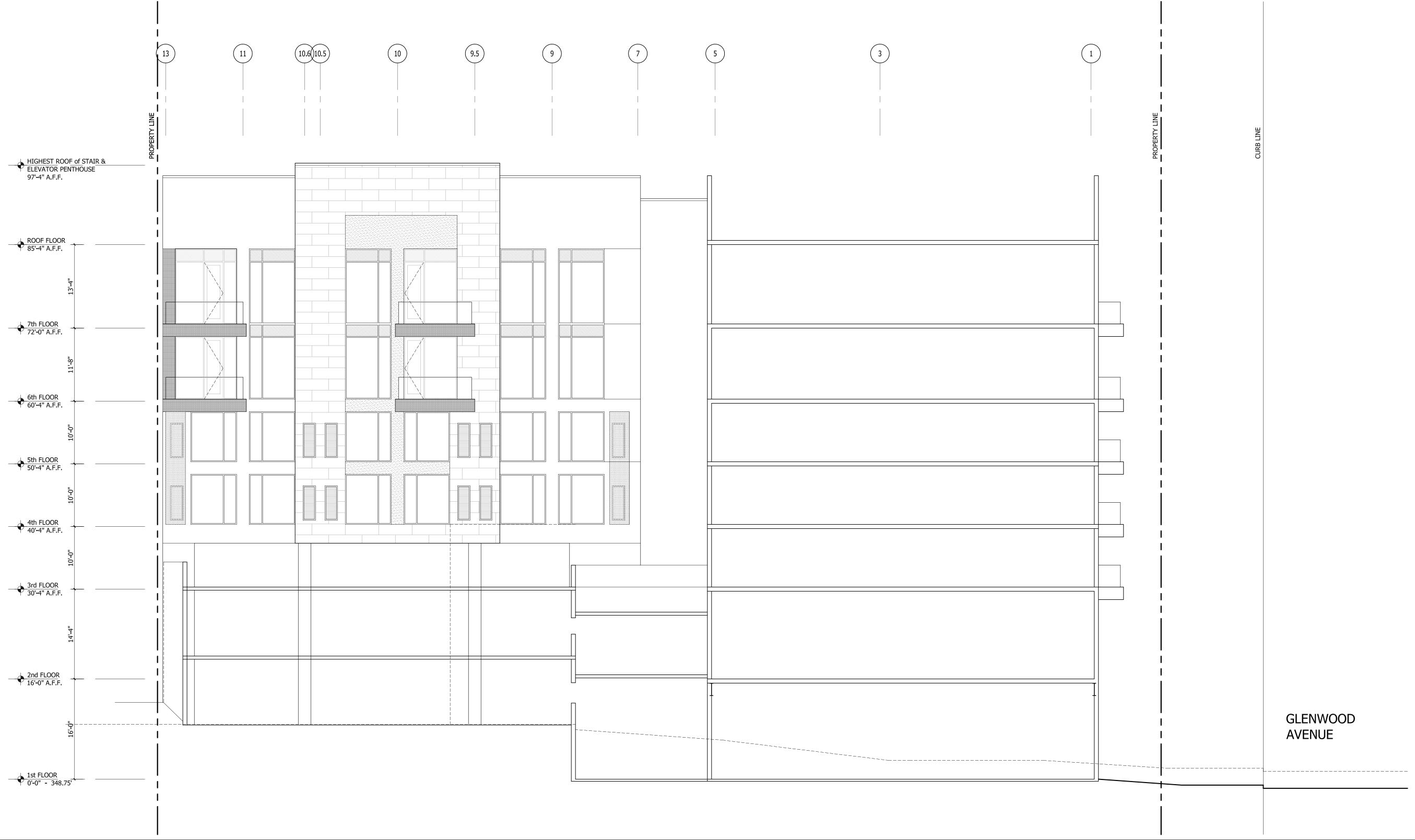
RALIEGH, NC ODA Project No. 163073 ADMINISTRATIVE PLAN REVIEW

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