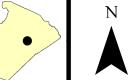
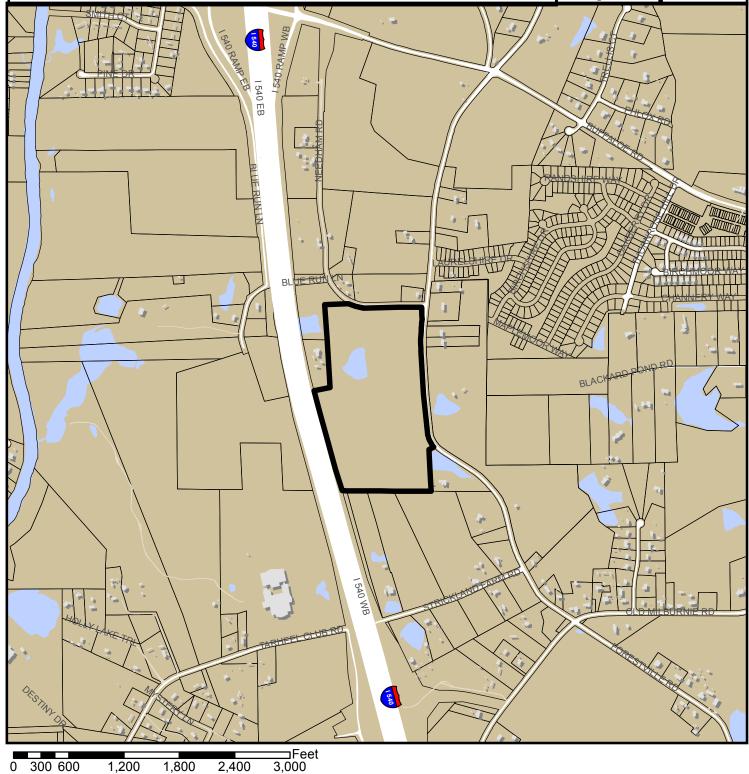
## BRINLEY MANOR SUBDIVISION S-75-2017





Zoning: R-4, CM w/SHOD-2

**CAC: Northeast** 

Drainage Basin: Neuse

Acreage: 49.81 Number of Lots: 110 Planner: Michael Walters Phone: (919) 996-2636

Applicant: Ryan Fisher Phone: (919) 535-5175





•

Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

City of Raleigh

S-75-17, Brinley Manor Subdivision Revision Transaction# 534524 / AA # 3684

**LOCATION:** The 49.81 acre site is located on the west side of Forestville Road Street, at the

southwest corner of the intersection of Forestville and Needham Road(s), at

5320 Forestville Road.

**REQUEST:** This Conservation Development subdivision is on a 49.81 acre parcel and

proposed are 106 detached house lots and 4 open space lots (110 lots total), to be recorded in two phases. The site is zoned Residential-4, Conservation Management, and Special Highway Overlay District-1. Note this is a revision to a previously approved Conservation Development subdivision (S-3-16). This revision consists of the removal of a stub street and the addition of a lot.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

One Design Adjustment has been approved by the Public Works Director for this

project

1. A Design Adjustment has been granted waiving the Block perimeter requirement (8.3). Public street connections are being provided to Forestville, and Needham

Road(s).

FINDINGS: City Administration finds that this request, with the below conditions of approval

being met, conforms to the Unified Development Ordinance. This approval is

based on a preliminary plan submitted by WithersRavenel.

#### **CONDITIONS OF APPROVAL and NEXT STEPS:**

Note:

This document must be applied to the second sheet of all future submittals with the exception of final plats.

## PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

- 1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;
- 2. That as the developer proposes to disturb a designated riparian buffer, the North Carolina Division of Water Quality shall approve the disturbance of the riparian buffer before any grading or approval of construction drawings, (whichever first occurs) and evidence of such approval shall be provided to the Stormwater Engineer in the Public Works Department, and a written watercourse buffer permit is thereby issued by the Inspection Department before commencement of work;
- That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan
  must show metes and bounds descriptions of all tree conservation areas, and tree protection
  fence around all tree conservation areas. Tree protection fence must be located in the field and
  inspected by the Forestry Specialist;
- 4. That a driveway permit on NCDOT-maintained streets will be required to be approved prior to infrastructure construction plan approval or map recordation for subdivisions;



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- 5. That if the planted median in Phase 1 is to be planted in any material other than merely seeded, then an encroachment agreement for plant material within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department. The encroachment agreement shall also be recorded with the Wake County Register of Deeds prior to concurrent review approval.
- That encroachments on NCDOT-maintained right-of-way, approval will also be coordinated by Public Works Department for signatures and approval by NCDOT submitted to City prior to infrastructure construction plan approval;
- 7. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
- 8. That a nitrogen offset payment must be made to a qualifying mitigation bank;
- 9. That plans for the shared stormwater devices be submitted and approved by the City;
- 10. That flood prone areas, as approved by the City Stormwater Engineer, are shown on the preliminary plan and shall be shown on the recorded map;
- 11. That the previously approved subdivision (S-3- 16, Brinley Manor Subdivision) is to be officially withdrawn via a letter of request signed by the property owner;

#### PRIOR TO AUTHORIZATION TO RECORD LOTS:

- 12. That the greenway easement as shown on the preliminary plan be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway;
- 13. That a recombination of adjacent lots to the north and northwest as per plan are recorded in the Wake county register of deeds;
- 14. That Infrastructure construction plans for public improvements and primary internal access streets shall be required and reviewed and approved by the City of Raleigh and NCDOT prior to map recordation;
- 15. That a petition for annexation into the City limits be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property;
- 16. That a fee-in-lieu will be paid for ½ of the required landscaped median along Forestville Road.
- 17. That a 20' slope Easement, 70' in length, is to be shown on the west side of Forestville Road as per the approved preliminary plan;



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S-75-17, Brinley Manor Subdivision Revision Transaction# 534524 / AA # 3684

- 18. That a surety is required for construction costs of public improvements which are not complete at map recordation for subdivisions or building permit for site plans. For City-maintained facilities (internal streets), the surety is 125% of estimated construction costs and 100% for NCDOT-maintained facilities, i.e. Forestville Road and Needham Rd;
- 19. That ½ of the required 104' right of way for Forestville Road, and that ½ of the required 64' right of way for Needham Road is dedicated to the City of Raleigh and a copy of the recorded plat be provided to the City prior to building permit issuance;
- 20. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
- 21. That flood prone areas, as approved by the City Stormwater Engineer, are shown on the preliminary plan and shall be shown on the recorded map;
- 22. That the City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City;
- 23. That the City form document entitled Declaration of City of Raleigh Required City Code Provisions for Developments with Common Elements and Common Expenses shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document be provided to the City by the end of the next business day following the recordation of the final plat; further recordings and building permit authorization will be withheld if the recorded document is not provided to the City;
- 24. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements and the plats shall contain the following note: "All private storm drainage easements & stormwater measures will be maintained by the property owners association.
- 25. That riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grad, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from NC Division of Water Quality in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."
- 26. That in accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device is paid to the City;
- 27. That the following note be placed on the final subdivision maps for recordation: "This subdivision is a Conservation Development approved in accordance with UDO section 2.4";



S-75-17, Brinley Manor Subdivision Revision Transaction# 534524 / AA # 3684 City of Raleigh Development Services Department One Exchange Plaza Raleigh, NC 27602 (919) 996-2495 DS.help@raleighnc.gov www.raleighnc.gov

- 28. That all Public Utility assessments are to be paid:
- 29. That a tree impact permit be obtained from the City of Raleigh;
- 30. That street names for the proposed streets be approved by Wake County and the City of Raleigh;

#### Prior to issuance of building occupancy permit:

31. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate;

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:

3-Year Sunset Date: 12-6-2020 Record at least ½ of the land area approved.

5-Year Sunset Date: 12-6-2022 Record entire subdivision.

I hereby certify this administrative decision.

Signed: (Planning Dir./Designee) \_\_\_\_\_\_ Date: 12/0/2007

Staff Coordinator: Michael Walters

## Preliminary Subdivision Plan (Conservation Development)

## BRINLEY MANOR SUBDIVISION REVISION

## PRELIMINARY SUBDIVISION APPROVAL NOTES

1. THIS PLAN WAS PREVIOUSLY APPROVED UNDER THE CASE NUMBER <u>S-3-2016</u> AND TRANSACTION NUMBER <u>455108</u>.

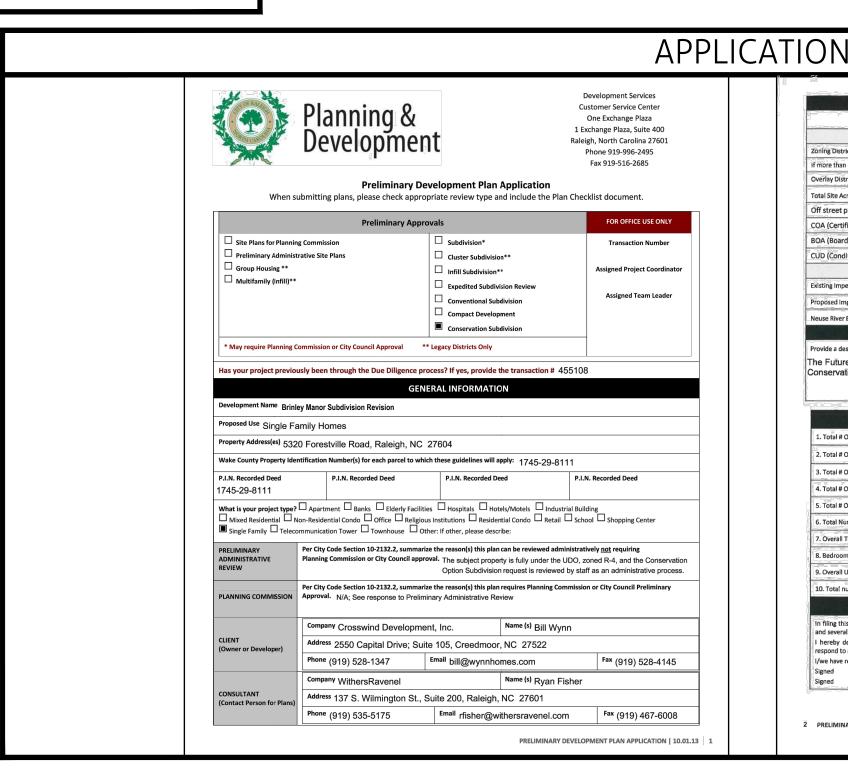
2. THE FOLLOWING REVISIONS TO THAT APPROVED PLAN ARE AS FOLLOWS AND ARE INCLUDED IN THESE PLANS

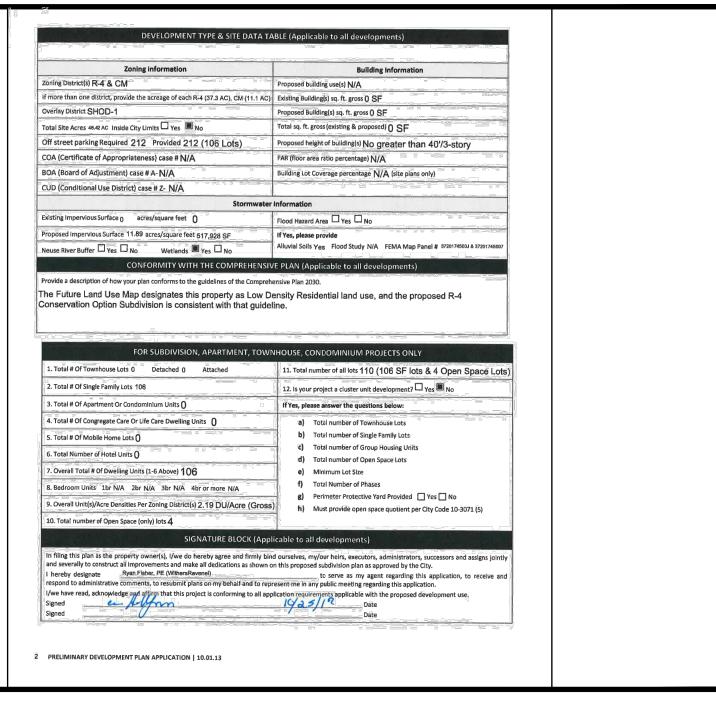
- BASED ON THE PROPOSED RECOMBINATION OF THE ADJOINING MOSLEY PROPERTIES (PINs 1745-19-6449 & 1746-20-1181), THE DEVELOPER IS PROPOSING TO REMOVE THI REQUIRED ROAD STUB THAT WAS PROVIDING PUBLIC RIGHT-OF-WAY ACCESS TO THE MOSLEY'S SOUTHERNMOST PROPERTY
- BASED ON THIS ROAD STUB REMOVAL, THE DEVELOPER IS PROPOSING TO ADD A NEW LOT WHERE THIS ROAD STUB WAS PROPOSED AND SHIFT THE LOT LINES OF THE ADJACENT LO
- SINCE THIS ROAD STUB WAS PROVIDING SANITARY SEWER AVAILABILITY TO THE MOSLEY PROPERTY, THE DEVELOPER IS NOW PROPOSING TO GRANT A CITY OF RALEIGH SANITARY SEWER EASEMENT IN THE SOUTHWESTERN CORNER FOR ACCESS TO THE EXISTING OUTFALL.

## 5320 Forestville Road, Raleigh, NC 27604 Original Approval: August 5, 2016

Revision 1st Submittal: October 19, 2017 Revision 2nd Submittal: December 5, 2017

# **VICINITY MAP** ROAD ATHLETIC NAD 83F, NAVD 88F





INDEX OF SHEETS				
Sheet Number	Sheet Title			
0.0	Cover			
1.0	Existing Conditions Plan			
2.0	Overall Subdivision Plan			
2.1	Subdivision Plan - North			
2.2	Subdivision Plan - South			
3.0	Phasing Plan			
4.0	Open Space Plan			
5.0	Overall Grading & Drainage Plan			
5.1	Grading & Drainage Plan - North			
5.2	Grading & Drainage Plan - South			
6.0	Stormwater Management Plan			
7.0	Overall Utility Plan			
7.1	Utility Plan - North			
7.2	Utility Plan - South			
8.0	Overall Landscape Plan			
8.1	Landscape Plan - North			
8.2	Landscape Plan - South			
8.3	Tree Conservation			
9.0	Site Details			
9.1	Site Details			
9.2	Storm Details			
9.3	Water Details			
9.4	Sewer Details			
9.5	Landscape Details			

## GENERAL NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.

1" = 1000'

- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMEN 4. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS
- NEEDED DURING CONSTRUCTION. 5. ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA
- OFFICE BY ROBINSON & PLANTE, PC IN CARY, NORTH CAROLINA IN DIGITAL FORMAT IN DECEMBER, 2015, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN DECEMBER 2015. 6. ALL CURB AND GUTTER SHOWN ON SITE IS EITHER 30" VALLEY CUTTER OR 30" STANDARD
- 7. ALL DIMENSIONS SHOWN ARE TO BACK TO CURB, UNLESS OTHERWISE STATED ON PLANS. 8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN. NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE,
- 9. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM. 10. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL
- AND/OR COLOR OF THE PRINCIPAL BUILDING. 11. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY. 12. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO
- ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES. 13. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO
- PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS. 14. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.

- 15. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY
- 16. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER
- 17. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS 18. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL. 20. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS

FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES

19. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND

- 21. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR
- 22. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT
- ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING. 23. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION). 25. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTEDC A MINIMUM OF 2 WEEKS PRIOR
- TO THE START OF WORK. SEE " RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO 26. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN

## SOLID WASTE INSPECTION STATEMENT

- 1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY CITY OF RALEIGH.
- 2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- 3. THIS PROJECT HAS ROLL-OUT CARTS FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.
- 4. EACH RESIDENTIAL LOT SHALL PROVIDE A DESIGNATED LOCATION FOR STORAGE OF ROLL-OUT CARTS.

## FIRE DEPARTMENT NOTES

- 1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) OR 250 FEET (NFPA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING
- 2. FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
- 3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- 4. FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2012 NCFC, SECTION 507.3.

## DEVELOPER/OWNER

## CROSSWIND DEVELOPMENT, INC.

2550 CAPITAL DRIVE; SUITE 105; CREEDMOOR, NORTH CAROLINA 27522 PHONE: (919) 528-1347 FAX: N/A **EMAIL: BILL@WYNNHOMES.COM** 

## CONSULTANTS

**SURVEYOR ROBINSON & PLANTE, PC** 1240 SE MAYNARD ROAD, SUITE 203 CARY, NORTH CAROLINA 27511 PHONE: 919-481-1245 FAX: 919-481-1213 EMAIL: BPLANTE4432@BELLSOUTH.NET

**FORESTRY** MEYER-COX FORESTRY CONSULTANTS, LLC 119 COURT JESTER WAY MORRISVILLE, NC 27560 PHONE: 919-796-7306 EMAIL: JOE\_COX55@ICLOUD.COM

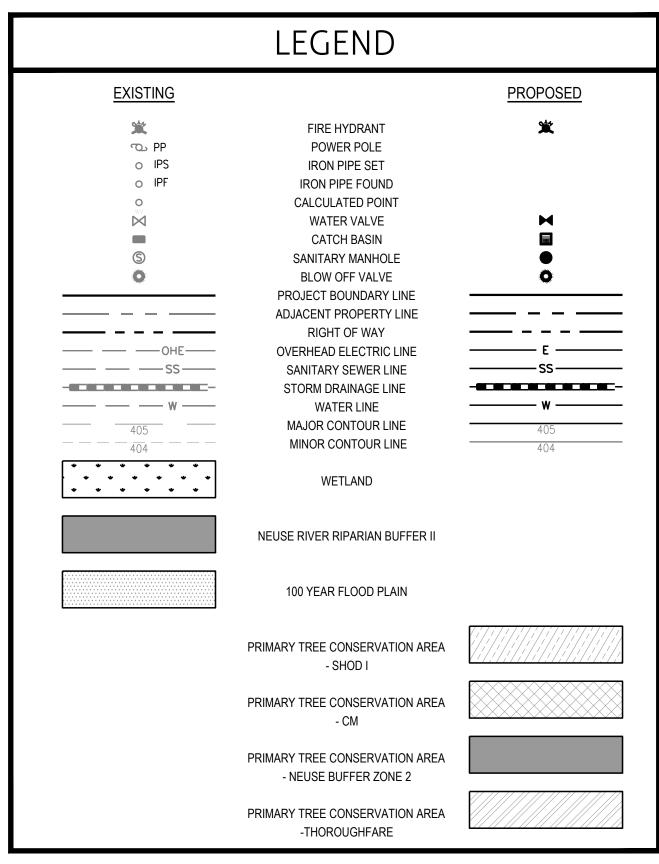
## PREPARED BY



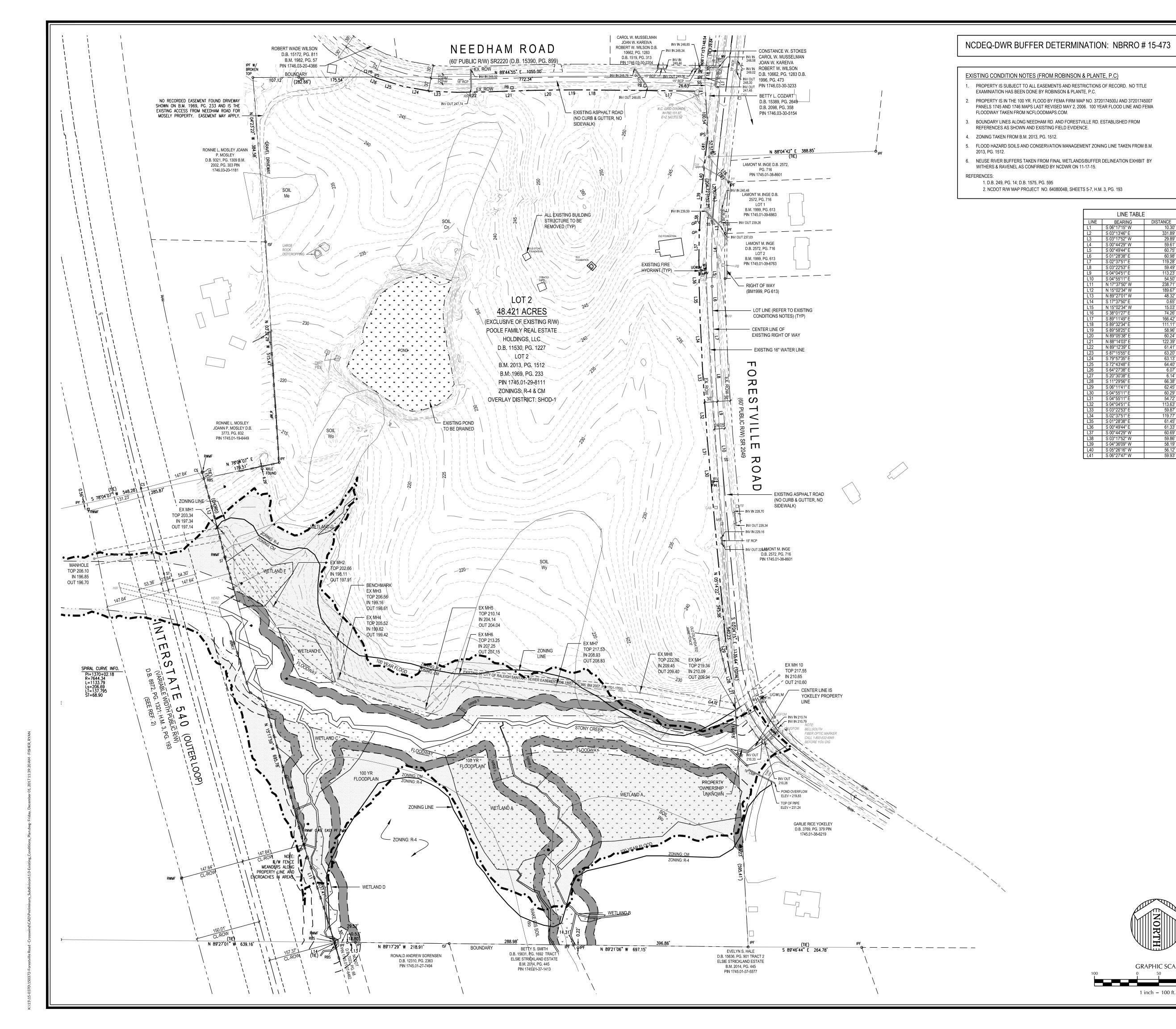
137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601 | t: 919.469.3340 | license #: C-0832 www.withersravenel.com

LANDSCAPE ARCHITECT: DAVID BROWN, PLA DBROWN@WITHERSRAVENEL.COM

CIVIL ENGINEER: RYAN FISHER, PE RFISHER@WITHERSRAVENEL.COM



**PRELIMINARY** NOT APPROVED FOR CONSTRUCTION



**EXISTING SITE DATA:** 

DEED BOOK:

SITE ADDRESS: 5320 FORESTVILLE RD, RALEIGH, NORTH CAROLINA 27604

PIN NUMBER: DB 011530 PG 01227

R-4 & CM

ZONING(S): OVERLAY DISTRICT: SHOD-1 SPECIAL HIGHWAY OVERLAY DISTRICT 1 GROSS ACREAGE: 48.42 AC EXISTING USE: VACANT

EXISTING IMPERVIOUS AREA: ZERO (0) AC

FLOOD HAZARD AREA: MAP # 3720174500J & 37201745007; PANEL 1745 & 1746; FEMA MAP:

EFFECTIVE DATE 05/02/2006 ALLUVIAL SOILS: Wy, Wo, Me, AND Cn

#### **EXISTING CONDITIONS AND DEMOLITION NOTES**

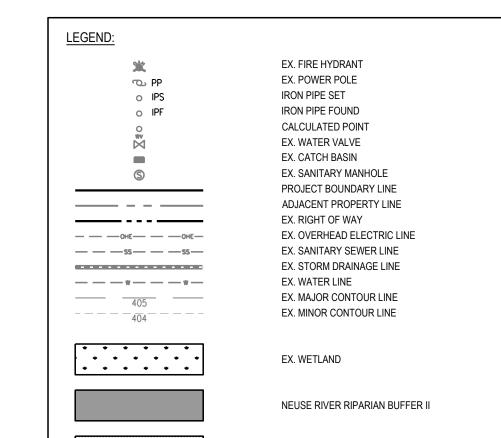
- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER PRIOR TO COMMENCING WORK.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.

NO DEMOLITION DEBRIS IS TO BE STORED ON SITE. ALL DEMOLITION MATERIAL TO BE PROMPTLY REMOVED FROM THE SITE OR PLACED IN APPROPRIATE CONTAINERS.

- TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- SAWCUT EXISTING ASPHALT AT LOCATION SHOWN ON PLANS.
- SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- . IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM
- AMOUNT OF INCONVENIENCE TO TRAFFIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTEDC A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN

RIGHTOFWAYSERVICES@RALEIGHNC.GOV.

- CONTRACTOR IS EXPLICITLY ADVISED TO FILED LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
- CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- 8. ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY ROBINSON & PLANTE, PC IN CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN JANUARY, 2016, (TITLED "BOUNDARY AND PARTIAL TOPOGRAPHICAL SURVEY, 5320 FORESTVILLE ROAD"; SEALED ON JANUARY 18, 2016) AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN DECEMBER 2015.





100 YEAR FLOOD PLAIN

KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND

SPECIFICATIONS AND NCDOT, IF APPLICABLE

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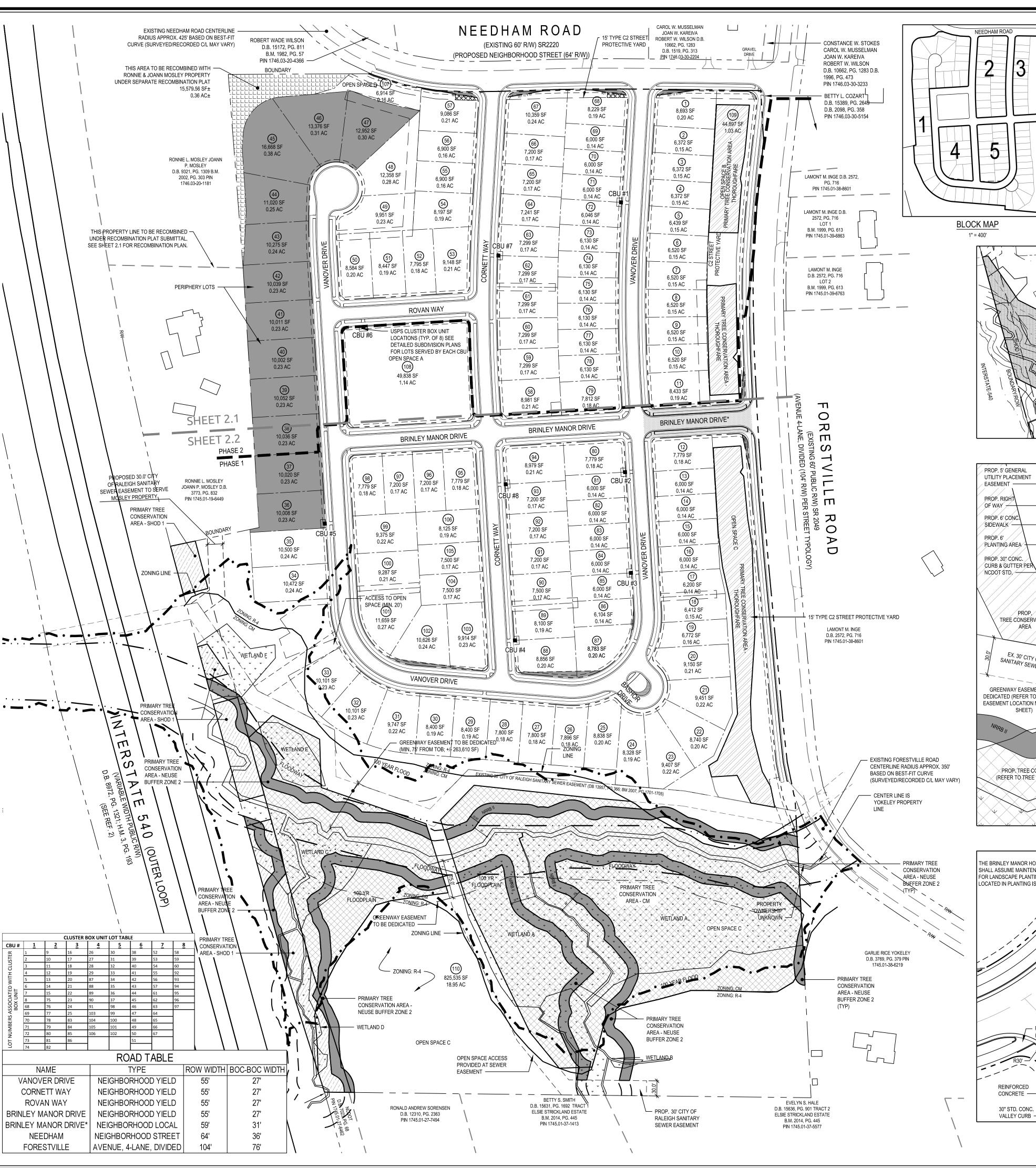
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01/13/2016

PRELIMINARY

City of Raleigh Comments 06/03/1 City of Raleigh Comments 07/01/1 Final Preliminary Plan Set 08/05/1 Preliminary Subdivision 10/18/1

City of Raleigh Comments 12/5/17



### WHEEL CHAIR RAMP NOTES:

- ALL WHEEL CHAIR RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
- POWER POLES WHICH MAY CONFLICT WITH FIELD LOCATED WHEEL CHAIR RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.
- WHEEL CHAIR ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH PUBLIC WORKS TRANSPORTATION STANDARD T-20.01.1, T-20.01.02, T-20.01.03, & T-20.01.06.

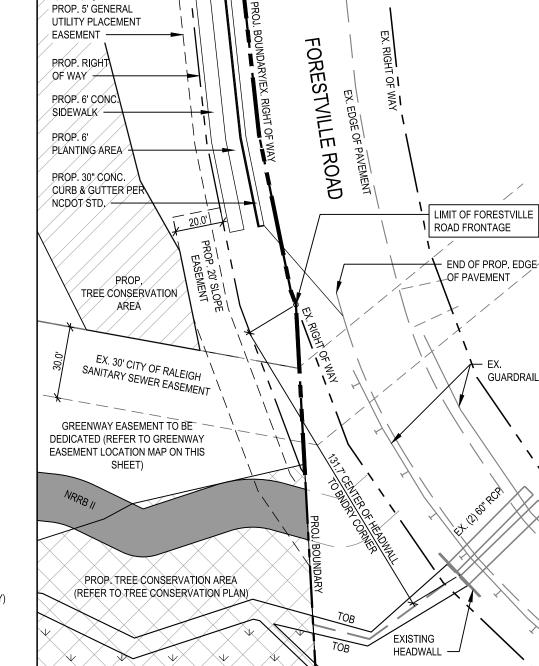
REFER TO SHEET 2.1 AND 2.2 FOR DETAILED PLANS.

REFER TO SHEET 9.0 & 9.1 FOR SITE DETAILS. REFER TO SHEETS 2.1 & 2.2 FOR ROADWAY CENTER-LINE, LINE AND CURVE TABLE.

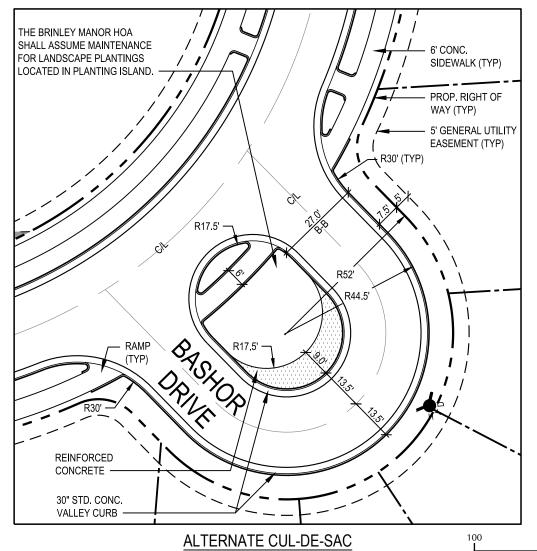
## VANOVER DRIVE GREENWAY EASEMENT AREA TO BE DEDICATED (HATCHED AREA: MIN. 75' WIDTH FROM TOP OF BANK (+/- 263 610 SF)

#### PROPOSED GREENWAY EASEMENT LOCATION MAP

1" = 200'



## SOUTHEAST CORNER AT FORESTVILLE



THE BRINLEY MANOR HOA SHALL ASSUME MAINTENANCE FOR LANDSCAPE PLANTINGS LOCATED IN PLANTING ISLAND.	/ — 6' CONC. SIDEWALK (TYP)
	— PROP. RIGHT OF WAY (TYP)
R30' (T)	— 5' GENERAL UTILITY EASEMENT (TYP)  (P)
R17.5'	
R52'	\\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\
R17.5'	
RAMP (TYP) R17.5' R30' R30'	
R30'	
REINFORCED CONCRETE	
30" STD. CONC.	

BLOCK 5 - 7,179 SF AVERAGE LOT SIZE

1 inch = 100 ft.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

4,500 FT

**GENERAL NOTES:** 

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY ROBINSON & PLANTE, PC IN CARY, NORTH CAROLINA IN DIGITAL FORMAT IN DECEMBER, 2015, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS
- ALL CURB AND GUTTER SHOWN ON SITE IS EITHER 30" VALLEY CUTTER OR 30" STANDARD
- CURB AND GUTTER. ALL DIMENSIONS SHOWN ARE TO BACK TO CURB, UNLESS OTHERWISE STATED ON PLANS. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART.

OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN,

- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE
- TURNING RADIUS OF 28' MINIMUM. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL
- AND/OR COLOR OF THE PRINCIPAL BUILDING. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO
- CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY
- CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO
- PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS. . PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND LITH ITY DEVICES (TO INCLUDE BLIT NOT LIMITED TO TELEPHONE AND
- CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND

- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A
- PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- AMOUNT OF INCONVENIENCE TO TRAFFIC. 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE
- TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION). ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTEDC A MINIMUM OF 2 WEEKS PRIOR TO
- THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 26. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN

23. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM

	SIT BRINLEY MANOR SUBDIVI	E DATA SION (V			Nur	nber: 150372	)		
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TE [	DATA								
	NG(S)	R-4 & C	M W	ITH SHO	DD-1				
	LAY DISTRICT	SHOD-1							
	GROSS ACREAGE	48.42 A							
	OSED R/W DEDICATION	7.22 A							
	OSED LAND RECOMBINATION	0.36 A	AC AC					-	
TE N	NET ACREAGE	40.84 AC							
(IST	ING USE	VACANT							
ROP	OSED USE	SINGLE	FAMI	LY HOI	ИES				
ROP	OSED TOTAL LOTS	110 L	.OTS						
SIN	GLE FAMILY (DETACHED HOUSE) LOTS	106 L	OTS						
OP	EN SPACE LOT(S)	4 L	OTS						
ROP	OSED DENSITY	2.19	DU D						
		MIN. F	REQUI	RED O	R MA	XX. ALLOWED		PROVID	DED
	UDO Sec. 2.4 Conservation Development Option (R-4)								
	UDO Sec. 2.4.1 General Requirements (R-4)								
	SITE								
1	DENSITY (MAX)					6 DU/AC			2.19 DU/AC
2	GROSS SITE AREA (MIN)					12 AC			48.42 AC
	OPEN SPACE								
L	OPEN SPACE REQUIRED (MIN 40% OF NET SITE AREA)	40.84	х	40%	=	16.34 AC			21.3 AC
							21.28 /	40.84 =	52.11 %
2	% OF LOTS ABUTTING OPEN SPACES (MIN 40%)	106	х	40%	=	42.4 LOTS			48 LOTS
							48 /	106 =	45.28 %
3	CONTIGUOUS AREA (MIN 60%)	16.34	х	60%	=	9.80 AC		•	18.95 AC
1	WIDTH OF OPEN SPACE (MIN)					50 FT			50 FT
	TRANSITIONAL PROTECTIVE YARD								
L	SITE BOUNDARY (MIN) (LOT 36 TO 46)	Meet d	im. S	tandar	ds of	Article 2.2 Co	nvention	al Develo	pment Option
1	AREA (MIN)				:	10,000 SF			10,002 SF
2	WIDTH - INTERIOR LOT (MIN)					65 FT			75 FT
2	WIDTH - CORNER LOT (MIN)					80 FT			80 FT
3	DEPTH (MIN)					100 FT			117 FT
	RESIDENTIAL UNIT TYPES (MAX)								
	DETACHED HOUSE					100 %			100 %
	UDO Sec. 2.4.2 Detached House (R-4)								
	LOT DIMENTIONS								
1	AREA (MIN)					6,000 SF			6,000 SF
2	WIDTH - INTERIOR LOT (MIN)					50 FT			50 FT
2	WIDTH - CORNER LOT (MIN)					65 FT			65 FT
3	DEPTH (MIN)					80 FT			80 FT
	UDO Sec. 8.3.2 Blocks - Refer to Block Map on This Shee	et							
	BLOCK PERIMETER (MAX) R-4								
	BLOCK 1 - 9,024 SF AVERAGE LOT SIZE					4,500 FT			6,117 FT
	BLOCK 2 - 7,015 SF AVERAGE LOT SIZE					4,500 FT			1,742 FT
	BLOCK 3 - 6,843 SF AVERAGE LOT SIZE					4,500 FT			1,613 FT
	BLOCK 4 - 8,661 SF AVERAGE LOT SIZE					4,500 FT			1,301 FT



1,333 FT 251 FT

KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.

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City of Raleigh Comments 06/03/1

City of Raleigh Comments 07/01/1

Final Preliminary Plan Set 08/05/1

Preliminary Subdivision 10/18/1

City of Raleigh Comments 12/5/17



55,63' S5°26'16"W

57.63' S4°36'09"W

3034.50'

362.19'

581.80'

S0°02'16"W

62,62' \$11°29'56"E

62.19' S20°30'37"E

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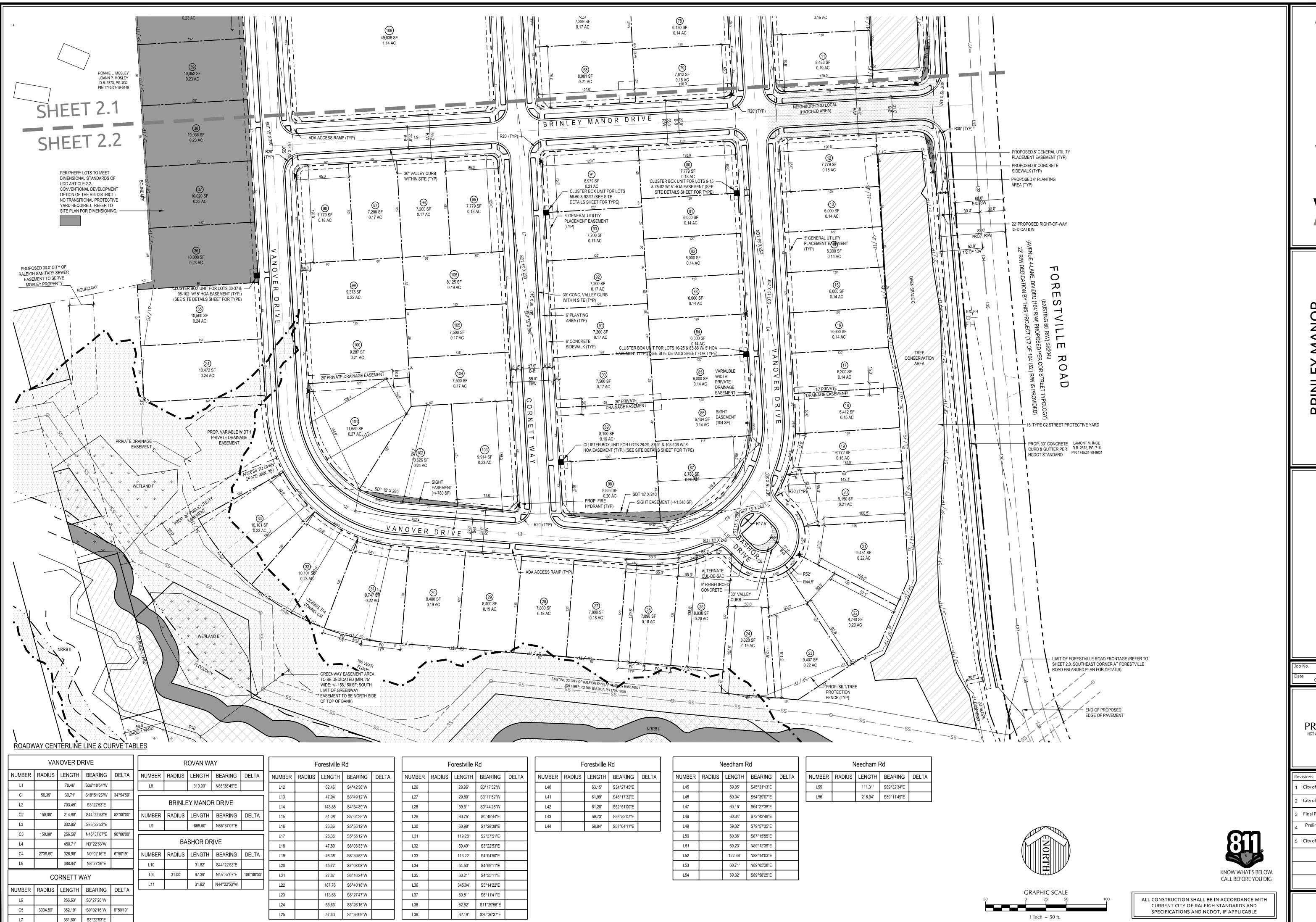
visions					
City of Raleigh Comments	06/03/16				
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City of Raleigh Comments 12/5/17

CURRENT CITY OF RALEIGH STANDARDS AND

SPECIFICATIONS AND NCDOT, IF APPLICABLE

1 inch = 50 ft.



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Engineers

BRINLEY MANOR
IMINARY SUBDIVIS
PLAN

JBDIVISION PLAN -SOUTH

0. 02150372 Drawn By WI 01/13/2016 Designer WI

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PRELIMINARY
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Revisions					
1	City of Raleigh Comments	06/03/16			
2	City of Raleigh Comments	07/01/16			
3	Final Preliminary Plan Set	08/05/16			
4	Preliminary Subdivision Revision	10/18/17			
5	City of Raleigh Comments	12/5/17			

5 City of Raleigh Comments 12/5/1

Sheet No.

REFER TO SHEET 7.1 AND 7.2 FOR DETAILED PLANS.

REFER TO SHEET 9.3 & 9.4 FOR DETAILS.

#### UTILITY NOTES:

- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED
- 2. CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH UTILITY INSPECTORS 72-HOURS BEFORE
- CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:

  8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP FOR SEWER MAINS
  8" PVC SDR26 PER ASTM D 3034 FOR PIPES MORE THAN 12' DEEP FOR SEWER MAINS
- 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP FOR SEWER MAINS 6" PVC SCHEDULE 40 FOR SEWER SERVICES ONLY DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151 FOR MAINS, LAYING CONDITION TYPE 2
- 4. WATER LINES SHALL BE AS FOLLOWS:

4" AND LARGER - DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151 SMALLER THAN 4" - COPPER TUBE

- MINIMUM TRENCH WIDTH AT THE TOP OF PIPE SHALL BE AT LEAST 18 INCHES GREATER THAN THE OUTSIDE DIAMETER OF THE PIPE.
- 6. PVC SANITARY SEWER SERVICES WHICH ARE 3' TO 14' DEEP SHALL REQUIRE BEDDING IN ACCORDANCE WITH DETAIL 7000.10 AND 7000.13 FOR PVC PIPE. PVC SERVICES WHICH ARE GREATER THAN 14' AND LESS THAN 20' SHALL REQUIRE CLASS A BEDDING IN ACCORDANCE WITH DETAIL 7000.13. ANY SERVICES OVER 20' AND LESS THAN 3' DEEP REQUIRE DIP.
- 7. ALL WATER DISTRIBUTION MAINS IN THE CITY OF RALEIGH WATER SYSTEM SHALL BE RESTRAINED IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS.
- ALL UTILITIES SHOULD BE KEPT 10' APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- O. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'-0" COVER ON ALL WATERLINES.
- 10. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10' ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50). THE MINIMUM VERTICAL SEPARATION DISTANCE BETWEEN STORM SEWERS AND SANITARY SEWERS SHALL BE A MINIMUM OF 24".
- . LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- 12. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH
- 13. THE CITY OF RALEIGH HAS THE RIGHT TO INSPECT ALL PRIVATE WATER SYSTEMS.
- THE CITY OF RALEIGH HAS THE RIGHT TO INSPECT ALL PRIVATE WATER SYSTEMS.
- 14. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- 15. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- 16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY OF RALEIGH UTILITY DEPARTMENT WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- 8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTED OR UNCHARTED WHICH MIGHT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.

19. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY

- 20. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- A MINIMUM HORIZONTAL SEPARATION OF 10' AND A MINIMUM VERTICAL SEPARATION OF 2'
  BETWEEN STORM DRAINAGE AND SEWER AND 1' BETWEEN STORM DRAINAGE AND WATER
  UTILITIES MUST BE PROVIDED.
- 22. NO STRUCTURAL COMPONENT OF ANY RETAINING WALL CAN BE LOCATED WITHIN A RIGHT-OF-WAY OR EASEMENT.
- 23. ALL FDC'S SHALL HAVE SIGNAGE AROUND THE NECK TO INDICATE WHICH BUILDING IT SERVES.
- 24. FIRE LANES SHALL BE MARKED THROUGHOUT THE SITE INCLUDING THE FRONT AND REAR OF BUILDINGS AND IN FRONT OF FIRE HYDRANTS AND FDC'S.

25. ALL BUILDINGS SHALL HAVE BUILDING ADDRESSES POSTED ON THE BUILDING, IN A CLEARLY

- VISIBLE LOCATION.

  26. ALL GAS METERS AND ELECTRICAL EQUIPMENT SUBJECT TO VEHICLE IMPACT WILL BE
- ALL GAS METERS AND ELECTRICAL EQUIPMENT SUBJECT TO VEHICLE IMPACT WILL I PROTECTED BY BOLLARDS.
- 27. NO PLANTS OR TREES WITHIN 3 FEET OF ALL FIRE DEPARTMENT EQUIPMENT.
- 28. SEWER LINE EASEMENTS SHALL BE GRADED SMOOTH, FREE FROM ROCKS, BOULDERS, ROOTS, STUMPS, AND OTHER DEBRIS, AND SEEDED AND MULCHED UPON THE COMPLETION OF CONSTRUCTION.
- 29. EASEMENTS ACROSS SLOPED AREAS SHALL BE GRADED UNIFORMLY ACROSS THE SLOPE TO NO STEEPER THAN A 5 TO 1 RATIO.
- 30. ALL VALVES SHALL BE RESTRAINED IN BOTH DIRECTIONS IN A MANNER CONSISTENT WITH OPERATION AS A DEAD END USING STAINLESS STEEL RODDING AND BLOCKING ACCORDING TO STANDARD SPECIFICATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- 1. CONTRACTOR SHALL APPLY FOR RECLAIMED WATER AND WATER SERVICE TAP FROM THE TOWN'S INSPECTION AND PERMIT DEPARTMENT AND TO INDICATE THAT CITY OF RALEIGH PUBLIC WORKS CREW WILL INSTALL THE TAPS TO THE RIGHT-OF-WAY.
- 2. THIS DESIGN MEETS ALL CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND DETAILS EXCEPT WHERE SPECIFICALLY NOTED BELOW:
- 33. IF GREASE INTERCEPTOR IS TO BE INSTALLED DURING THE SITE DEVELOPMENT PHASE OF CONSTRUCTION, A PLUMBING PERMIT WILL BE REQUIRED FOR GREASE INTERCEPTOR AND ANY ASSOCIATED PLUMBING
- 34. CONTRACTOR SHALL COORDINATE WITH MASTER DEVELOPER, ANY OUTAGE A MINIMUM OF ONE WEEK PRIOR TO THE NEED FOR THE OUTAGE.



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2 City of Raleigh Comments 07/01/16
3 Final Preliminary Plan Set 08/05/16
4 Preliminary Subdivision Revision 10/18/17

City of Raleigh Comments 12/5/17

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GRAPHIC SCALE

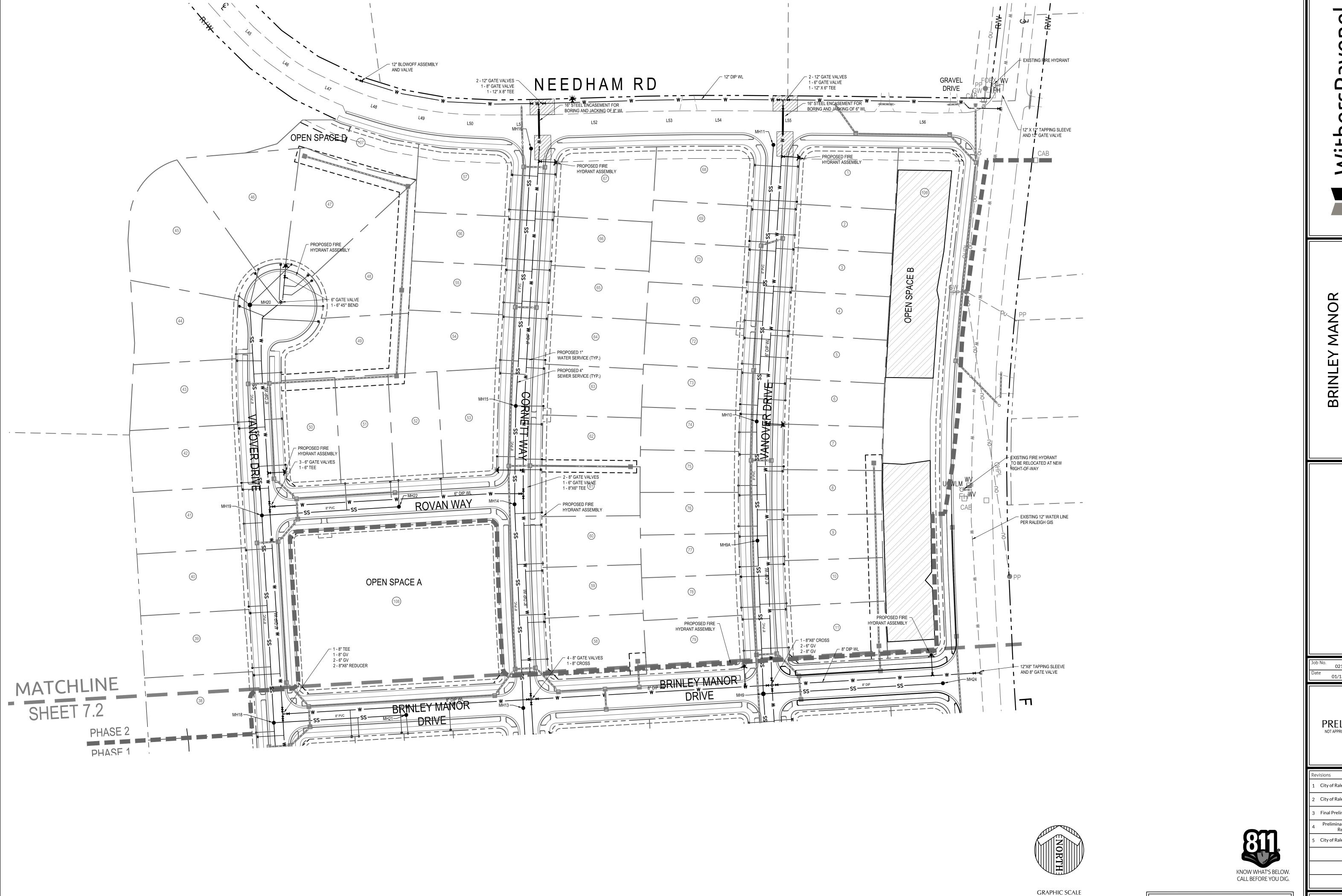
0 50 100 200

CURRENT

SPECIFICA

1 inch = 100 ft.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH
CURRENT CITY OF RALEIGH STANDARDS AND
SPECIFICATIONS AND NCDOT, IF APPLICABLE



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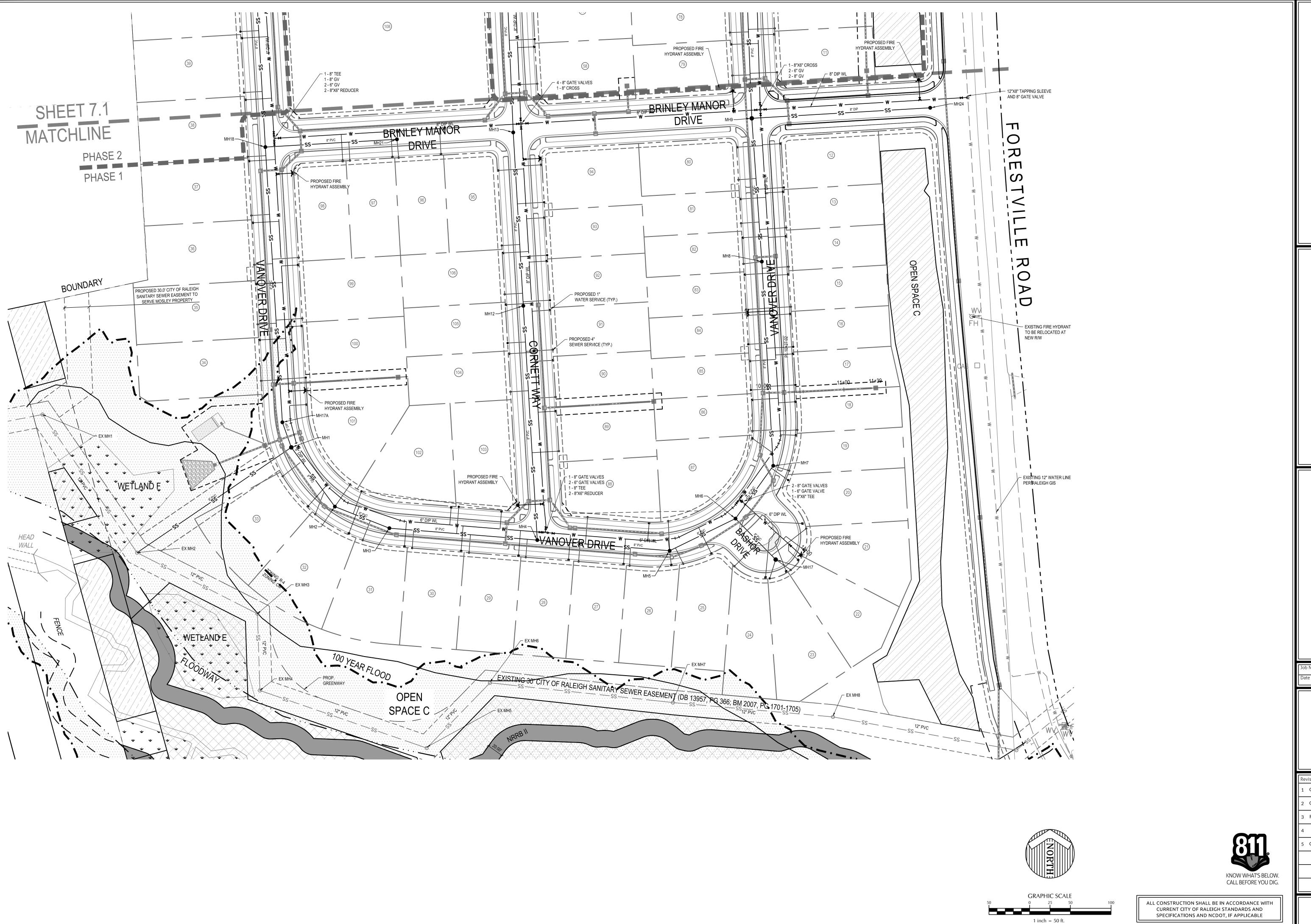
City of Raleigh Comments 12/5/17

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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND

SPECIFICATIONS AND NCDOT, IF APPLICABLE

1 inch = 50 ft.



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Engineers | P

BRINLEY MANOR
PRELIMINARY SUBDIVISIC

JTILITY PLAN - SOUTH

o. 02150372 Drawn By WF 01/13/2016 Designer WF

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Revisions

1 City of Raleigh Comments 06/03/16

2 City of Raleigh Comments 07/01/16

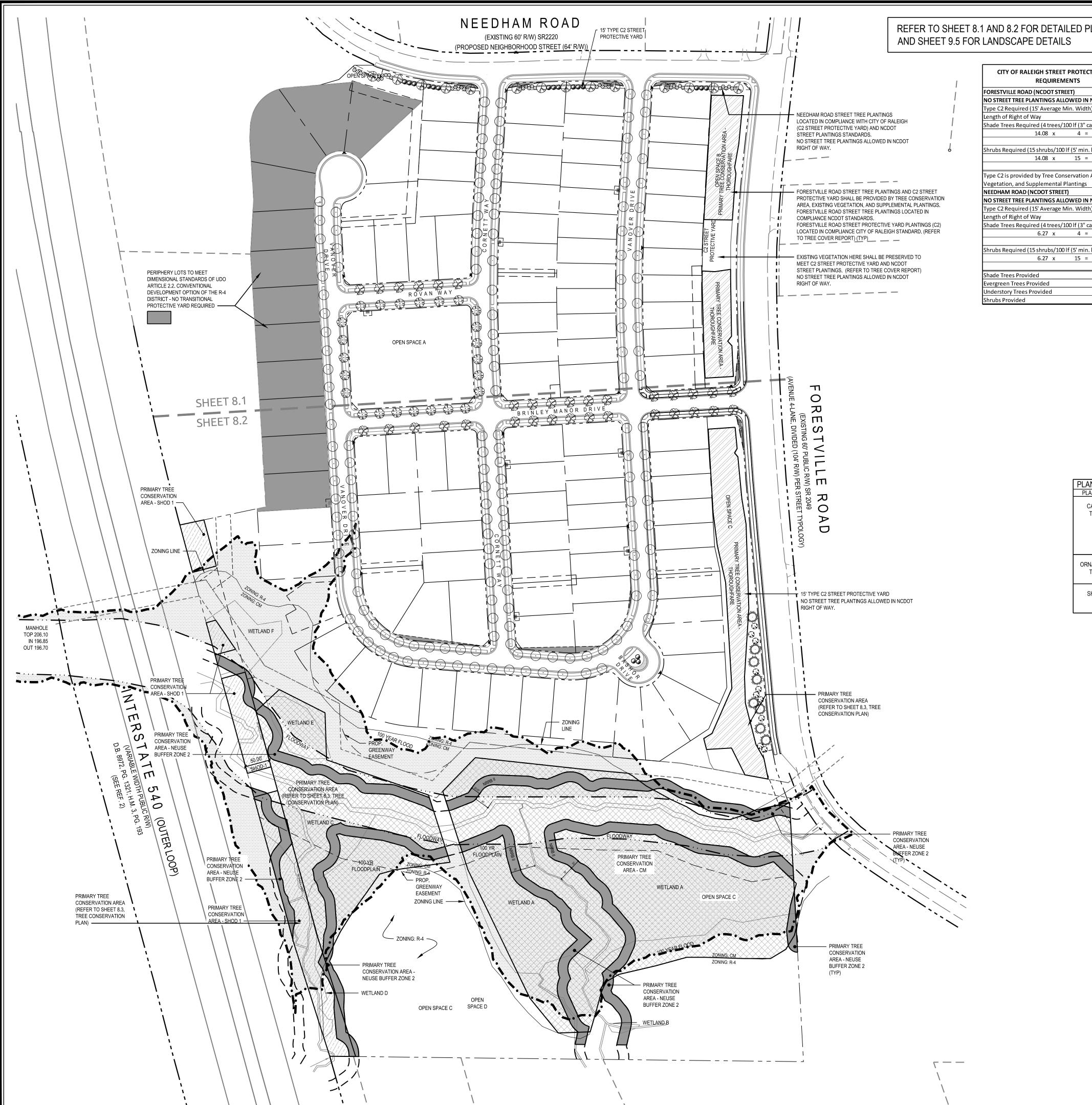
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5 City of Raleigh Comments 12/5/17

5 City of Kaleign Comments 12/5/1/

Sheet No.



### REFER TO SHEET 8.1 AND 8.2 FOR DETAILED PLANS AND SHEET 9.5 FOR LANDSCAPE DETAILS

### CITY OF RALEIGH STREET PROTECTIVE YARD REQUIREMENTS ORESTVILLE ROAD (NCDOT STREET) NO STREET TREE PLANTINGS ALLOWED IN NCDOT ROW

## CITY OF RALEIGH STREET TREE REQUIREMENTS

FORESTVILLE ROAD (NCDOT STREET) Length of Right of Way Shade Trees Required (3" cal. 10' ht. min. @ 40' O.C.) 1,408 / 40 = 35.2 EA

NEEDHAM ROAD (NCDOT STREET) Street Sype Length of Right of Way

Shade Trees Required (4 trees/100 lf (3" cal. 10' ht. min.) \_\_14.08 x \_\_\_ 4 = 56.32 EA 57.0 EA Shrubs Required (15 shrubs/100 lf (5' min. ht)) 14.08 x 15 = 211.20 EA VANOVER DRIVE 212.0 EA Length of Right of Way Shade Trees Required (3" cal. 10' ht. min. @ 40' O.C.)

Shade Trees Required (4 trees/100 lf (3" cal. 10' ht. min. Shrubs Required (15 shrubs/100 lf (5' min. ht))

Shade Trees Provided Evergreen Trees Provided

Shade Trees Provided by Tree Conservation Areas

627 / 40 = Jnderstory Trees Provided

4,765 / 40 = 119.1 EA Shade Trees Provided CORNETT WAY Street Sype

Length of Right of Way Shade Trees Required (3" cal. 10' ht. min. @ 40' O.C.) 6.27 x 4 = 25.08 EA2,108 / 40 = 52.7 EA 26.0 EA ROVAN WAY 6.27 x 15 = 94.05 EA treet Sype 95.0 EA

Shade Trees Required (3" cal. 10' ht. min. @ 40' O.C.) 34 EA 310 / 40 = 7.8 EA 15 EA Shade Trees Provided 134 EA BRINLEY MANOR DRIVE Street Sype Neighborhood Yield & Neighborhood Loc

EQUALLY DISTRIBUTED.

Neighborhood Yiel

Neighborhood Yiel

Shade Trees Required (3" cal. 10' ht. min. @ 40' O.C.) 15 EA Evergreen Small Trees Provided 33 EA

Type C2 is provided by Tree Conservation Area, Existing Vegetation, and Supplemental Plantings NEEDHAM ROAD (NCDOT STREET) NO STREET TREE PLANTINGS ALLOWED IN NCDOT ROW

Length of Right of Way

Jnderstory Trees Provided

1,408 LF

Type C2 Required (15' Average Min. Width)

Length of Right of Way

1,330 / 40 = 33.3 EA Shade Trees Provided \* NET STREET TREE COUNT IS PROVIDED, BUT NOT

Length of Right of Way

Shade Trees Required (3" cal. 10' ht. min. @ 40' O.C.)

### SITE DATA:

SITE ADDRESS: 5320 FORESTVILLE, RALEIGH, NORTH CAROLINA 27604 PIN NUMBER:

DEED BOOK: R-4 & CM W/ SHOD-1 SPECIAL HIGHWAY OVERLAY DISTRICT 1 ZONING(S): GROSS ACREAGE: 48.42 AC RIGHT OF WAY DEDICATION: 7.22 AC

NET ACREAGE: 41.20 AC EXISTING USE: VACANT PROPOSED USE: DETACHED SINGLE FAMILIES

#### **GENERAL LANDSCAPE NOTES:**

#### THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING GRADING, WALL, ETC., REFER TO THE SITE AND GRADING PLANS.

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE.
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLOR), LIGHTING, OR UTILITIES
- WILL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED
- TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR
- ALL PLANTS AND PLANTING PROCEDURES SHALL MEET OR EXCEED A.N.L.A. STANDARDS AS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", 2004 OR LATER EDITION.
- ALL TREES AND SHRUB SHALL BE FULL. WELL-BRANCHED PLANTS WHICH ARE CHARACTERISTIC TO THE SPECIES.
- ALL PLANT BEDS TO BE MULCHED WITH A MINIMUM OF 3". DOUBLE SHREDDED HARDWOOD MULCH: DYED BROWN; 2" MAXIMUM PARTICLE SIZE. NO PINE STRAW PERMITTED. ALL PLANT GROUPING SHALL BE MULCHED AS ONE BED.
- APPLY PER-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S
- RECOMMENDATIONS PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. . TOPSOIL SHALL BE SPREAD OVER THE ENTIRE LANDSCAPE AREA TO A DEPTH OF AT LEAST 4
- INCHES IN LAWN AREAS AND 6 INCHES IN SHRUB AND GROUNDCOVER BEDS. . FINAL LOCATION OF ALL TURF AREAS SHALL BE APPROVED OWNER OR/AND LANDSCAPE
- ARCHITECT. 2. LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO
- INSTALLATION. 3. VERIFICATION OF PLAN QUANTITIES SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF
- THE CONTRACTOR.
- 4. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONFLICTS OCCUR, PLANT LOCATIONS SHOULD BE ADJUSTED AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT BEFORE ANY HOLE IS DUG.
- . WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.

PLANT SCHE	DULE								
PLANT TYPE	QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER	HEIGHT	NOTES	
CANOPY	24	GBA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	B&B	3" MIN.	12'-14'	MATCHED	
TREES	33	NYS	Nyssa sylvatica 'Wildefire'	Wildfire Black Gum	B&B	3" MIN.	12'-14'	MATCHED	
	8	PIT	Pinus taeda	Loblolly Pine	B&B	3" MIN.	12'-14'	MATCHED	
	14	QPH	Quercus phellos	Willow Oak	B&B	3" MIN.	12'-14'	MATCHED	
	55	QUR	Quercus rubra	Red Oak	B&B	3" MIN.	12'-14'	MATCHED	
	111	UPU	Ulmus parvifolia 'UPMTF'	Bosque Lacebark Elm	B&B	3" MIN.	12'-14'	MATCHED	
ORNAMENTAL	18	LIT	Lagerstromia indica 'Tuskegee'	Tuskegee Crape Myrtle	B&B	1 1/2" MIN.	8'-10'	MATCHED; 10' O.C	
TREES	10	CRT	Cercis reniformis 'Texas White'	Texas White Redbud	B&B	1 1/2" MIN.	8'-10'	MATCHED	
SHRUBS	34	INS	llex x 'Nellie R. Stevens'	Nellie Stevens Holly	B&B	2"	8'-10'	MATCHED; 7' O.C.	
SHRUDS	134	ICN	llex cornuta 'Needlepoint'	Needlepoint Chinese Holly	CONT.	3 Gal.	18"-24"	MATCHED; 3' O.C.	
									1



1 inch = 100 ft.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

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01/13/2016

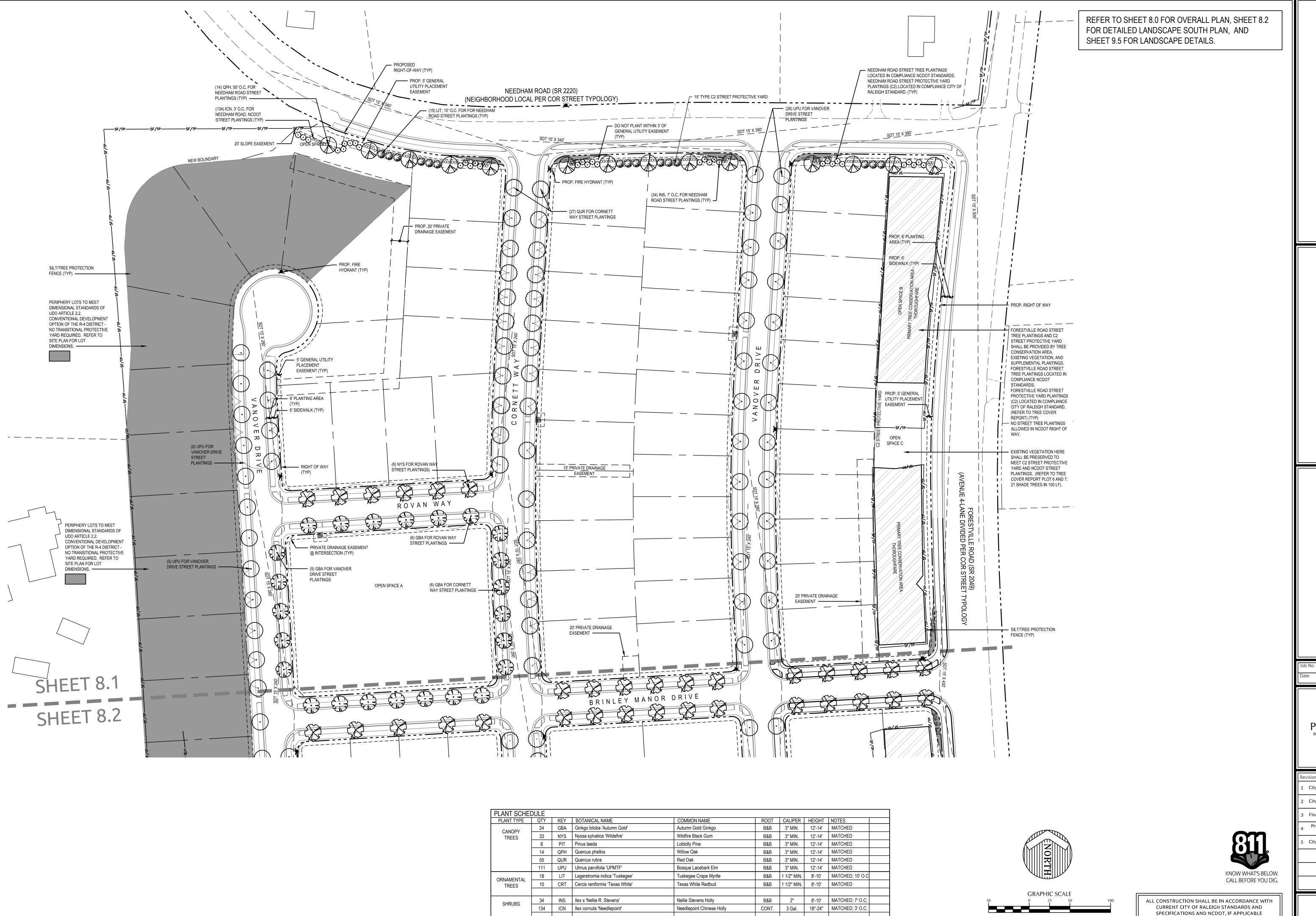
PRELIMINARY

NOT APPROVED FOR CONSTRUCTION

City of Raleigh Comments 06/03/16

City of Raleigh Comments 07/01/16 Final Preliminary Plan Set 08/05/1 Preliminary Subdivision 10/18/1

City of Raleigh Comments 12/5/17



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ELIMINARY SUBDIVISION PLAN

ANDSCAPE PLAN -

02150372 Drawn By WR
01/13/2016 Designer WR

PRELIMINARY
NOT APPROVED FOR CONSTRUCTION

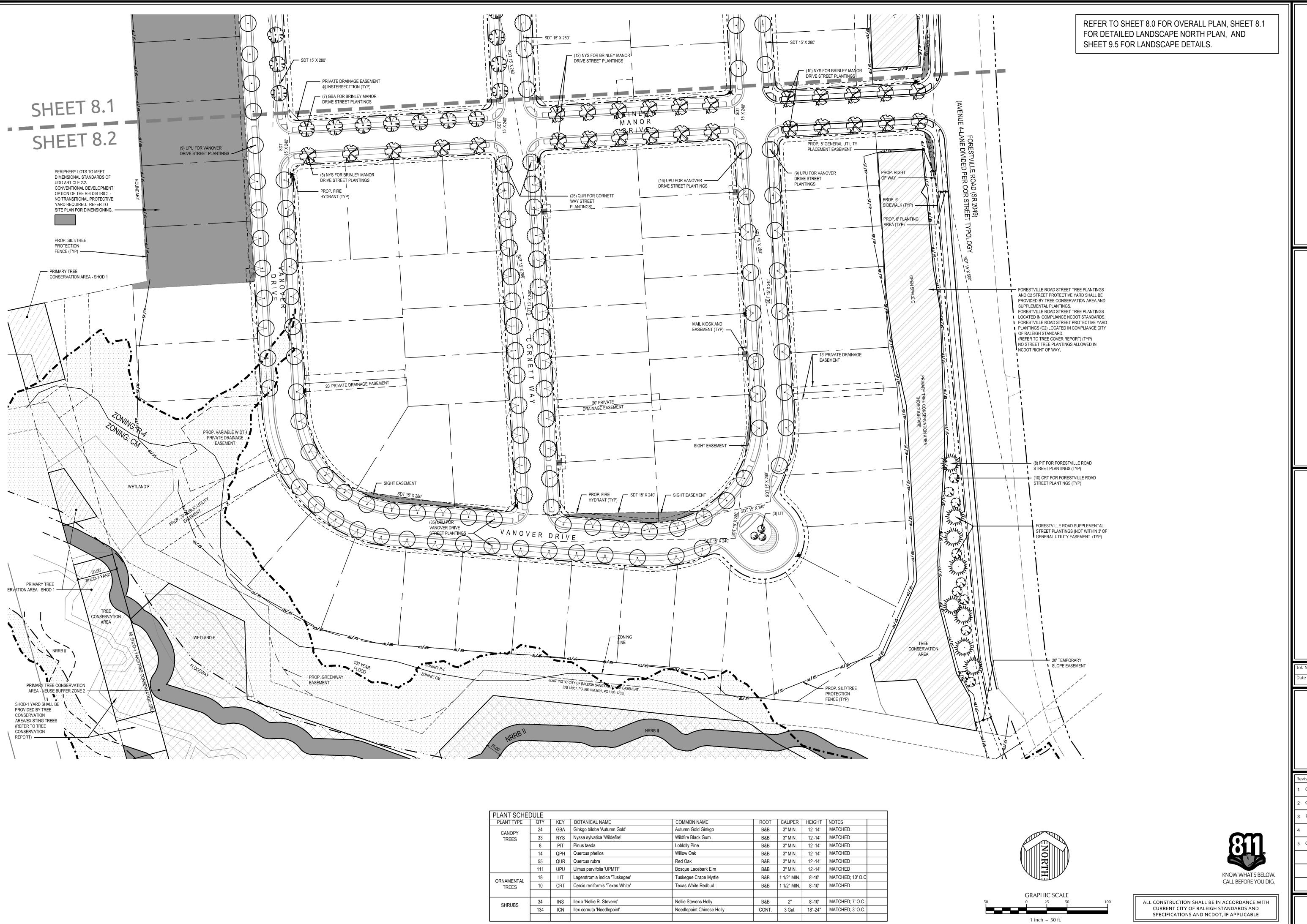
Rev	visions	
1	City of Raleigh Comments	06/03
2	City of Raleigh Comments	07/01
3	Final Preliminary Plan Set	08/05
4	Preliminary Subdivision Revision	10/18

Preliminary Subdivision
Revision 10/18/17

City of Raleigh Comments 12/5/17

Sheet No.

1 inch = 50 ft.



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LIMINARY SUBDIVISIC PLAN

ANDSCAPE PLAN SOUTH

02150372 Drawn By WI
01/13/2016 Designer WI

PRELIMINARY NOT APPROVED FOR CONSTRUCTION

Revisions						
1	City of Raleigh Comments	06/03				
2	City of Raleigh Comments	07/01				
3	Final Preliminary Plan Set	08/05				
4	Preliminary Subdivision Revision	10/18				

Preliminary Subdivision
Revision 10/18/17

City of Raleigh Comments 12/5/17

Sheet No. **8.2**