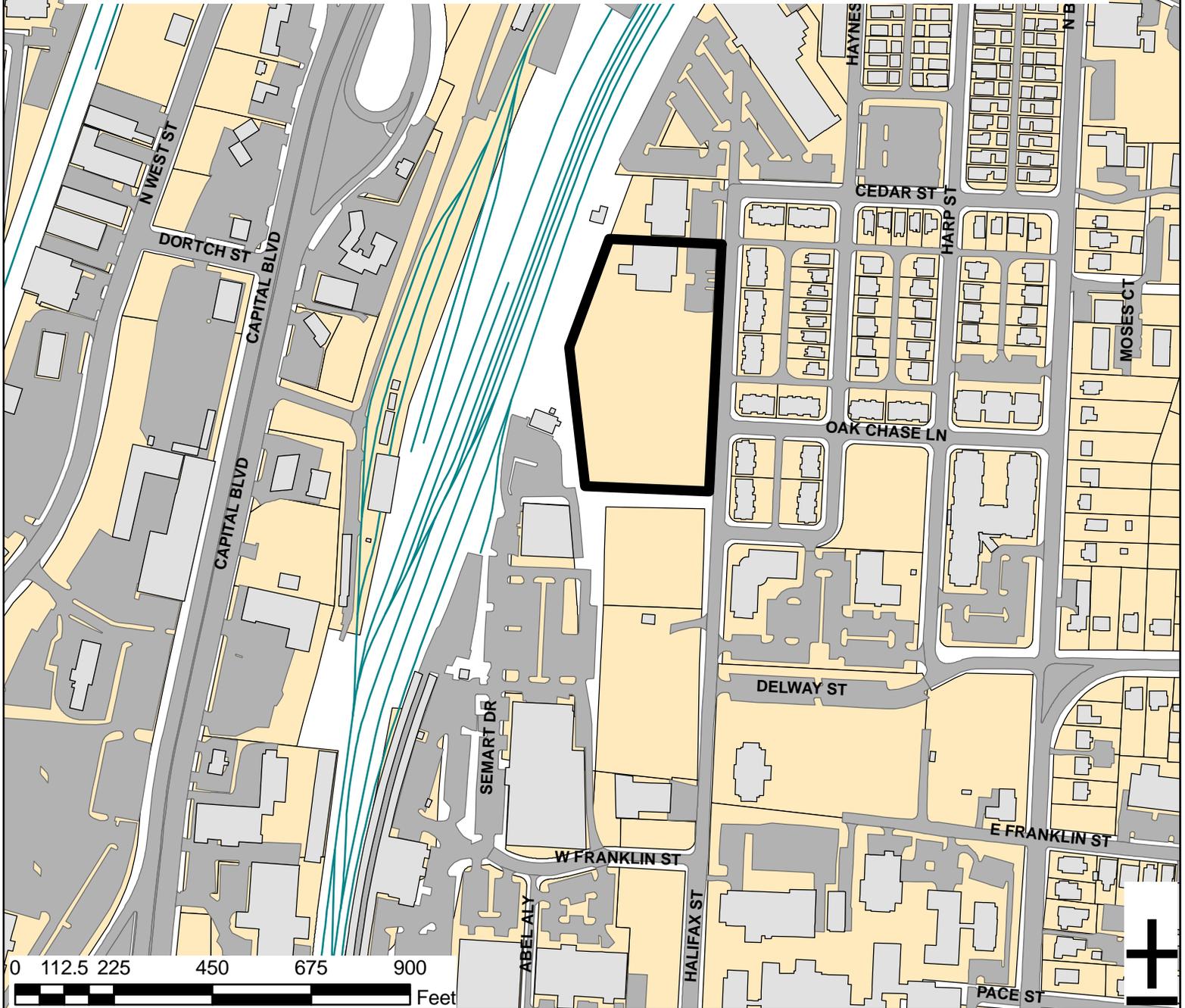


HALIFAX PARK AND COMMUNITY CENTER SP-44-2011



Zoning: **R-10, IND-2, DOD**
CAC: **MORDECAI**
Drainage **PIGEON HOUSE**
Basin:
Acreage: **1.52**

Number of Lots:
Planner:
Phone:
Applicant Contact:
Phone:

0
JAMES MARAPOTI
(919) 516-2642
**CLARK NEXSEN ARCH &
ENGINEERING**
(919) 828-1876



Development SERVICES

FIRE • INSPECTIONS • PLANNING
PUBLIC UTILITIES • PUBLIC WORKS

SP-44-11

Customer Service Center
One Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-516-2495
Fax 919-516-2685

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Site Plans for Planning Commission or City Council <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing * <input type="checkbox"/> Multifamily (Infill)*	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Infill Subdivision* <input type="checkbox"/> Infill Recombination* <input type="checkbox"/> Cluster Subdivision <input type="checkbox"/> Expedited Subdivision Review	Transaction Number <div style="font-size: 2em; color: blue;">313063</div>
* May require Planning Commission or City Council Approval		

Section A

GENERAL INFORMATION

Development Name Halifax Park and Community Center

Proposed Use Community Center

Property Address(es) 1015 Halifax Street

1023

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1704760797

3

P.I.N.

P.I.N.

P.I.N.

What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe: Community Center

PRELIMINARY ADMINISTRATIVE REVIEW
Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively not requiring Planning Commission or City Council approval.

PLANNING COMMISSION OR CITY COUNCIL REVIEW
Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval. Per Section 10-2132.2 (b) (9), this plan requires Planning Commission or City Council Preliminary Approval since it is a new structure within the Downtown Overlay District greater than 10,000 sq ft.

CLIENT (Owner or Developer)

Company City of Raleigh Parks and Recreation Department

Name (s) Shawsheen Baker

Address Design Development, 222 West Hargett Street, Room 601, Raleigh, NC 27601

Phone 919/996-4782 Email shawsheen.baker@raleighnc.gov Fax 919/996-7486

CONSULTANT (Contact Person for Plans)

Company Clark Nexsen Architecture & Engineering

Name (s) Josh Hurst, PE, or Jamie McKay, AIA

Address 4000 Westchase Boulevard, Suite 280, Raleigh, North Carolina 27607

Phone 919/828-1876 Email jhurst@clarknexsen.com or jmckay@ Fax 919/828-1877

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Has your project previously been through the pre-submittal process? If yes, provide the transaction #

Zoning Information	Building Information
Zoning District(s) IND-2 and R-10	Proposed building use(s) Community Center
If more than one district, provide the acreage of each 1.036 and 0.488, respectively	Existing Building(s) sq. ft. gross
Overlay District Downtown Overlay	Proposed Building(s) sq. ft. gross 17,257
Total Site Acres 1.524 Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 17,257
Off street parking Required 24 Provided 24	Proposed height of building(s) 39'-8"
COA (Certificate of Appropriateness) case #	FAR (floor area ratio percentage)
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage 26.0 (site plans only)
CUD (Conditional Use District) case # Z-	

Stormwater Information

Existing Impervious Surface 0.64 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 1.02 acres/square feet	If Yes, please provide
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030 The Halifax Park and Community Center provides improved facilities for citizens' physical health and well-being, through the inclusion of a playground, basketball court, gymnasium, weight room. In addition, meeting/classroom spaces are provided for community meetings, social activities, and/or special uses (reference F.4 of the 2030 Plan). The project also seeks to provide quality sustainable architecture with the goal of obtaining a LEED Silver certification.

FOR SUBDIVISIONS, MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY

1. Total # Of Townhouse Lots Detached Attached	11. Total number of Open Space (only) lots
2. Total # Of Single Family Lots	12. Total number of all lots
3. Total # Of Apartment Or Condominium Units	13. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
4. Total # Of Congregate Care Or Life Care Dwelling Units	If Yes, please answer the questions below: a) Total number of Townhouse Lots b) Total number of Single Family Lots c) Total number of Group Housing Units d) Total number of Open Space Lots e) Minimum Lot Size f) Total Number of Phases g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No h) Must provide open space quotient per City Code 10-3071 (5)
5. Total # Of Mobile Home Lots	
6. Total Number of Hotel Units	
7. Overall Total # Of Dwelling Units (1-6 Above)	
8. Bedroom Units 1br 2br 3br 4br or more	
9. Overall Unit(s)/Acre Densities Per Zoning District(s)	
10. If your project is an infill subdivision, provide the infill calculations per City Code 10-3032 on the front cover of your drawing sets	

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate CLARK NEXSEN to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed [Signature] Date 9/21, 2011

Section B					
	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
2. Preliminary Development Plan Application completed and signed by the property owner	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Client must complete and print page 1 and 2 of the Preliminary Development Plan Application to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
4. I have referenced the Preliminary Development Plan Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>				
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
c) Proposed Site, Subdivision Plan, or Recombination Plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
f) Proposed Tree Conservation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
7. Plan size 18"x24" or 24"x36" <i>30" x 42"</i>	<input type="checkbox"/>		<input checked="" type="checkbox"/>		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
10. Digital copy of only the plan and elevations, if applicable. The purpose of this image is to illustrate the basic character of the preliminary plan. It should contain only such basic information as: building outline, landscaping, parking and drives, stormwater facilities, and lot boundary. The digital image should be provided in the form of .pdf on a CD. If the plan was not digitally created, provide an 8 1/2" x 11" reduction of the plan. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>

our Project



Development SERVICES

FIRE • INSPECTIONS • PLANNING
PUBLIC UTILITIES • PUBLIC WORKS

Customer Service Center
One Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-516-2495
FAX 919-516-2685

Preliminary Development Plan Checklist

TO BE COMPLETED BY APPLICANT	YES	N/A
EXISTING CONDITIONS PLAN REQUIREMENTS		
1. Existing uses and structures	✓	
2. Topographic features	✓	
3. Driveway, sidewalks, curb and gutter, street cross section with right-of-way	✓	
4. Fire hydrants and other site utilities	✓	
5. Tree cover	✓	
FIRE REQUIREMENTS		
1. Site plan detailing apparatus access to proposed buildings	✓	
2. Site plan detailing apparatus access to within 150' of all portions of ground floor of proposed buildings	✓	
3. Apparatus access roads (dead end) greater than 150' require approved area to turn apparatus around (Hammer head, Wye, or 96' diameter cul-de-sac)		✓
4. FDC within 150' hose lay of fire hydrant and within 40' of apparatus access	✓	
5. Minimum apparatus access width 20', inside turn radius 28'	✓	
PUBLIC UTILITIES REQUIREMENTS		
1. Show existing/proposed water mains with sizes along entire frontage of development	✓	
2. Show existing/proposed sewer mains with sizes along frontages and/or easements	✓	
3. Show reference for all existing sanitary sewer easements and possibly water easements		✓
4. Show fire hydrants	✓	
5. If a private distribution system is proposed, the master backflow device must be shown		✓
6. Show water/sewer services with sizes	✓	
7. Show size and location of meters	✓	
8. No structures/landscaping on City of Raleigh Sanitary Sewer Easements	✓	
9. Show location and make and model number of backflow preventers for buildings	✓	
10. Show location of grease traps		✓
11. If a pool is proposed, show connection or make a note of connection to storm		✓
12. All building parts must be within 300' of a hydrant	✓	
PLANNING AND ZONING REQUIREMENTS		
1. Landscape plan needs to show all vegetation to meet street protective yards, transitional protective yards, and vehicular surface area (VSA) planting requirements	✓	
2. Description of vegetation to be retained and removed in areas of both voluntary and mandatory preservation	✓	
3. Show vegetation and planting calculations for Resource Management buffers		✓
4. Identify all protected areas, including but not limited to Conservation Management Districts, natural resource buffer yards, Resource Management Districts and street buffer yards located along Type B Residential Thoroughfares designated in the Comprehensive Plan		✓
5. Calculations for open space requirements shown in tabular form, and open space shown in plan view	✓	
6. Calculations for street protective yards, transitional protective yards, and VSA must be shown and completed separately for each one	✓	
7. Open Space requirements are to be based on City Code Section 10-2103(d)		✓

TO BE COMPLETED BY APPLICANT	YES	N/A
8. For subdivision or cluster development, provide the quotient calculations per City Code 10-3071 (5)		✓
9. Setbacks, height, parking, buffers in Metro Parking Overlay District		✓
10. Property lines, building footprint and location from property line (proposed and existing), parking areas, new and existing driveways, opposing driveways, right-of-way and street pavement width, curb, gutter and sidewalk, greenway, utility and drainage easements	✓	
11. Survey of existing conditions with building uses and square footage	✓	
12. Parking layout and calculations, location of any off-site parking	✓	
13. Cumulative expansion calculations of building square footage & vehicular surface area since 1/1/87		✓
14. If applicable, plat map with all subdivision/recombination, easements and dedications		✓
15. Open Space Type - Indication of whether open space is to be calculated based on tree preservation or new tree plantings in accordance with City Code Section 10-2103(d). An existing tree survey is required, if the open space acreage is based on tree preservation		✓
16. Landscape plans showing requirements of City Code Chapter 10, Section 10-2082 and 10-2103(d)	✓	
17. For subdivision or cluster development, provide the quotient calculations per City Code 10-3071 (5)		✓
18. Identify all protected areas, including but not limited to Conservation Management Districts, natural resource buffer yards, Resource Management Districts and street buffer yards located along Type B Residential Thoroughfares designated in the Comprehensive Plan		✓
19. Natural resource buffer yards and impervious surface coverage in Reservoir Watershed Protection and Metro-Park Overlay Districts. Identify all drainage structures or velocity control devices in all protected and buffer areas		✓
20. Adjacent property zoning and specific land uses	✓	
21. DOD and PBOD open space requirements are met	✓	
GRADING AND STORMWATER REQUIREMENTS		
1. Existing conditions shown on plans should include existing contours of intervals of two (2) feet or less, referred to NAVD 88 datum; watershed, alluvial soils, FEMA flood hazard areas, Neuse River Buffers, wetlands, existing storm drainage system, hydrologic features, private drainage easements	✓	
2. Hydrologic features include ditches, drainage swales, channels, and watercourses and plans should include flow direction arrows	✓	
3. Grading and drainage features should include proposed contours of intervals of two (2) feet or less referred to NAVD 88 datum and spot elevations	✓	
4. Stormwater networks must be shown identifying inlets, culverts, swales, ditches, and channels	✓	
5. Preliminary two and ten year stormwater runoff quantities entering and leaving the site at each discharge point for pre- and post- development conditions	✓	
6. 100-year floodplain and floodway boundaries, flood hazard soil boundaries, flood storage area easements, and regulatory flood protection elevations should be shown on plans. Indicate FEMA map/and/or flood study numbers. If filling in floodplain, identify limits of filled area	✓	
7. Provide drainage divide maps (pre- and post- development) identifying discharge points, drainage areas, and BMP treatment areas	✓	
8. Right of Way or Roadway improvements must be shown on the plans	✓	
9. Identify private drainage easements		✓
10. If the property is in a watershed protection overlay area, provide detailed impervious surface area calculations and establish how you meet the watershed requirements		✓
11. If the property is in a Metro Park Protection Overlay District, include watercourse buffer areas, impervious surface calculations, park buffer yards and tree inventory, if impervious surface area exceeds 30%		✓
12. Provide preliminary nitrogen loading & reduction calculations & computation of any offset fees (buydown) to be paid	✓	
13. Permanently Preserved Undisturbed Open Space when included in nitrogen calculations is considered to be a BMP and must be identified on all plans		✓
14. Identify permits that will be required from appropriate agencies for any impacts to buffers and wetlands		✓
TREE CONSERVATION REQUIREMENTS		
1. Tree conservation plan sheet showing the proposed tree conservation areas (TCAs) that are labeled according to the "Standardized Names..." (Appendix 3 of the User's manual for TC-7-04) Show the size of each area		✓
2. Tree Conservation Areas need to be shown on the grading plan with the tree protection fence location		✓

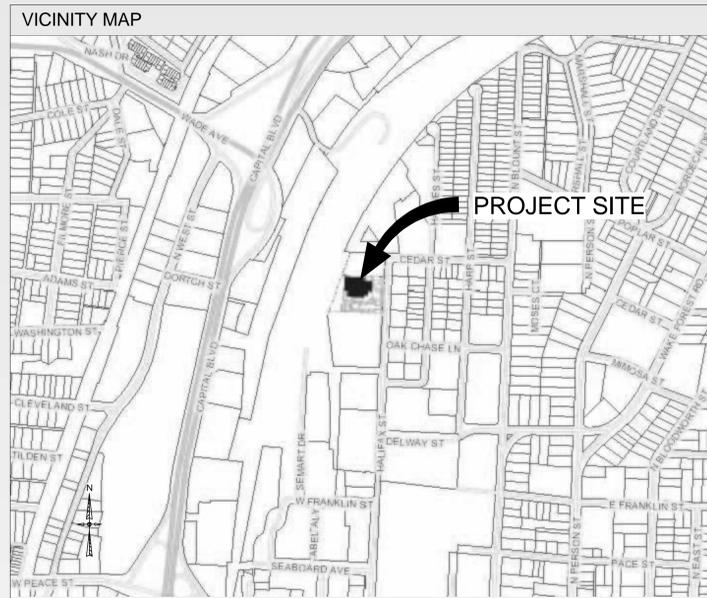
TO BE COMPLETED BY APPLICANT	YES	N/A
3. A completed Tree Conservation Data Sheet (Appendix 4 of the User's manual for TC-7-04) will need to be provided with the plan (two copies) or the information needs to be on the tree conservation plan sheet		✓
For Secondary Tree Conservation Areas include the following		
1. A tree cover report with description of each 50' of TCA completed and certified by a certified arborist, North Carolina licensed architect, or North Carolina registered forester (two copies)		✓
2. Photo panoramic panels of proposed secondary TCAs. Each photo to represent 50 linear feet of tree conservation area and must match the sections shown on the plan (two copies)		✓
3. Most recent aerial photo (two copies)		✓
TRANSPORTATION SERVICES REQUIREMENTS		
1. Show the ROW and pavement widths, street widths, sidewalk, curb and gutter, medians, median openings, curb radii		✓
2. Show the location of all opposing driveways surrounding the site	✓	
3. Label street type or ramp type entrances	✓	
4. Show driveways and vehicular surface area on plan	✓	
5. Show the actual street names, if known. Show state road number, if applicable and type of road (collector, thoroughfare, etc.)	✓	
6. Indicate on the plan whether the existing streets are asphalt, concrete, gravel or dirt	✓	
7. All handicap ramps must be shown and labeled and must meet the placement requirements of Engineering Standard 20.11.	✓	
8. Vertical alignment of streets only when deemed necessary by the Transportation Director to properly determine the safety of proposed streets or driveways		✓
9. Show typical street sections for all public and private streets included with this plan. Use Engineering Standard 20.31 and 20.32 for pavement designs for all proposed street type entrances, residential, collector, and commercial streets		✓
10. Show existing and proposed curb and gutter, storm sewers, drainage structures, driveway pipes, water mains, sanitary sewer mains, etc. on the site plan	✓	
11. Proposed private streets, dimensions and curb treatments		✓
12. Slope easements must be shown, labeled and dimensioned		✓
13. Existing and proposed ROW must be dimensioned and labeled	✓	
14. Sight triangles must be shown and labeled including any structures within them	✓	
15. Add note from the Infrastructure Construction Plan checklist about the sight distance triangles. If you do not have this document, you can add the statement per City Code Section 10-2086 (a) regarding the sight triangles	✓	
16. Show existing and proposed parking areas, bay dimensions and aisle dimensions	✓	
17. Provide vehicular stacking areas, length of queue, storage space required per stacked vehicle including aisle width, stall depth, and stall width	✓	
18. Provide internal traffic circulation details	-	✓
19. The corner clearance must be shown and verified and a note placed on plans stating: "Minimum corner clearance from curb line of intersection streets shall be at least twenty (20) feet from the point of tangency."	✓	
20. Label the existing property lines "E.I.P."	✓	
21. Show the proper location of sidewalk (BOC to ROW < 12.5 feet), sidewalk located 1.0 foot inside	✓	
22. ROW, BOC to ROW > 12.5 feet, sidewalk located 4.0 feet inside ROW		✓
23. Cul-de-sacs must be dimensioned (Back of Curb with ROW radius)		✓
24. Copies of previous Board of Adjustment Action, Special Use Permit or Certificate of Appropriateness, if applicable		✓
25. Proposed square feet/acres and number of feet of Right-of-Way dedicated		✓
GREENWAY REQUIREMENTS		
1. When greenway is required to be reserved or dedicated, it is measured in accordance with City Code 10-3022		✓
2. Greenway is required to be reserved or dedicated in accordance with the City Master Greenway Plan as contained in the Raleigh Comprehensive Plan		✓

TO BE COMPLETED BY APPLICANT	YES	N/A
SOLID WASTE SERVICES REQUIREMENTS		
1. In a solid waste inspections statement on the front cover of the plans, developers must acknowledge that they have reviewed and are in compliance with the requirements set forth in the Solid Waste Design Manual	✓	
2. In the solid waste inspections statement it must be indicated whether they plan to use a private hauler or the City of Raleigh Solid Waste Services (SWS) to handle trash needs. Also, indicate the page where necessary SWS requirements are shown in the plans. They are typically shown on the landscape page or its own SWS page	✓	
3. A copy of the Solid Waste Design Manual may be obtained from the City of Raleigh website		✓
4. Site plans for all single-family townhome developments must show or indicate in the Solid Waste Inspections statement how standard 96-gallon residential individual roll-out refuse containers will be stored and made available by residents at the curb		✓
5. If refuse containers are going to be stored in garages, this must be indicated or stated in the SWS Inspections statement on the front cover of the plans as well as in the plans		✓
6. Occupant must be able to roll carts to street with no obstructions or topographic features that would hamper the resident from rolling the cart to the curb – at least 3' horizontal clearance		✓
7. In the case of attached dwellings, designs that allow carts to be brought to the nearest curb are shown in Section A-8 (page 6) of the Solid Waste Design Manual		✓
8. All carts serving individual units are to be brought to the curb of the nearest public right-of-way or alley, or to the curb of an accessible private drive that meets circulation standards otherwise noted in the Solid Waste Design Manual		✓
9. Alleys used for solid waste collection vehicles that serve individual residential units must be a minimum 16' in width. Inside curb radii must be a minimum 30'		✓
10. All alleys to be traversed by solid waste collection vehicles must meet the residential street standard of 6" sub-base and 2.5" asphalt surface course		✓
11. Alleys should extend through a block between public streets, and avoid 90-degree or acute angled turns		✓
12. Where a rear alley is not provided for solid waste vehicles, direct vehicular access to all small-lot or attached single-family homes (cluster home or townhome developments) for the purpose of collection must be provided		✓
13. Direct vehicular access to all small-lot or attached single-family homes can be provided either by a design that allows each unit occupant to roll the carts to the public or private street		✓
14. Direct vehicular access to all small-lot or attached single-family homes can be provided by Multiple 96-gallon standard City residential solid waste carts and may be stored in a common area which is accessible directly to the public or private street		✓
15. Direct vehicular access to all small-lot or attached single-family homes can be provided either by the development or may provide for a common collection facility (dumpster) in accordance with Section C. of the Solid Waste Design Manual		✓
16. Any design other than those mentioned in the Solid Waste Design Manual must be approved by the Solid Waste Services Director		✓
17. Site plans for all single-family townhome developments must show designated pad for dumpster or compactor or a specific alternate plan must be reviewed and approved in writing by the Solid Waste Services Director		✓
18. Non-attached single family homes can provide a 6 X 6 pad on the side of the house (at least 5 ft from the front of the house for storage of the refuse and recycling containers. If the home has a driveway, this can be done by extending the driveway		✓
19. If the pad for storage of the 96 gallon City of Raleigh cart and recycling bin is not provided for non-attached single family homes, developers must make sure the topography on the side of the house such that the 96 gallon container can be rolled to the side or rear of the house		✓
20. Site plans for all multi-family or group housing developments that require a dumpster or compactor shall also show a designated pad for residential recycling facilities, which must be a minimum 8' deep x 12' wide and allow enough room for (6) 35-gallon containers. These areas must be screened and located in accordance with C-4, C-7 and C-8		✓
21. Collection devices must not be located in any street yard, transitional protective yard or tree protection area required by City Code Section 10-2082.5, 10-2082.9 or 10- 2082.12, or in any open space area required by Section 10- 2103(d) in group housing developments, or in any regulated floodway	✓	

HALIFAX PARK AND COMMUNITY CENTER

CITY OF RALEIGH PARKS AND RECREATION DEPARTMENT

RALEIGH, NORTH CAROLINA



City of Raleigh Parks and Recreation Department has reviewed and is in compliance with the requirements set forth in the Solid Waste Design Manual. A private hauler will be used to handle trash needs at this facility. Solid Waste Services requirements are shown on sheet LA100.

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SB301	FOUNDATION SECTIONS
SB501	TYPICAL FOUNDATION/SLAB DETAILS
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SF102	ENTRY FRAMING AND SECTIONS
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AE103	ROOF PLAN
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AE302	BUILDING SECTIONS
AE303	WALL SECTIONS
AE304	WALL SECTIONS
AE401	ENLARGED PLANS
AE402	INTERIOR ELEVATIONS
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AE601	SCHEDULES
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FX102	FIRST FLOOR FIRE SUPPRESSION CEILING PLAN
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MH102	ROOF PLAN
MP101	FIRST FLOOR PIPING PLAN
M-501	DETAILS
M-601	SCHEDULES
M801	CONTROLS
ELECTRICAL	
E-001	ELECTRICAL LEGEND AND POWER RISER DIAGRAM
ED101	ELECTRICAL SITE DEMOLITION
ES101	ELECTRICAL SITE PLAN
EL101	FIRST FLOOR PLAN - LIGHTING
EP101	FIRST FLOOR PLAN - POWER
EP102	ROOF PLAN - POWER
ET101	FIRST FLOOR PLAN - TELECOM

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23 SEPTEMBER 2011

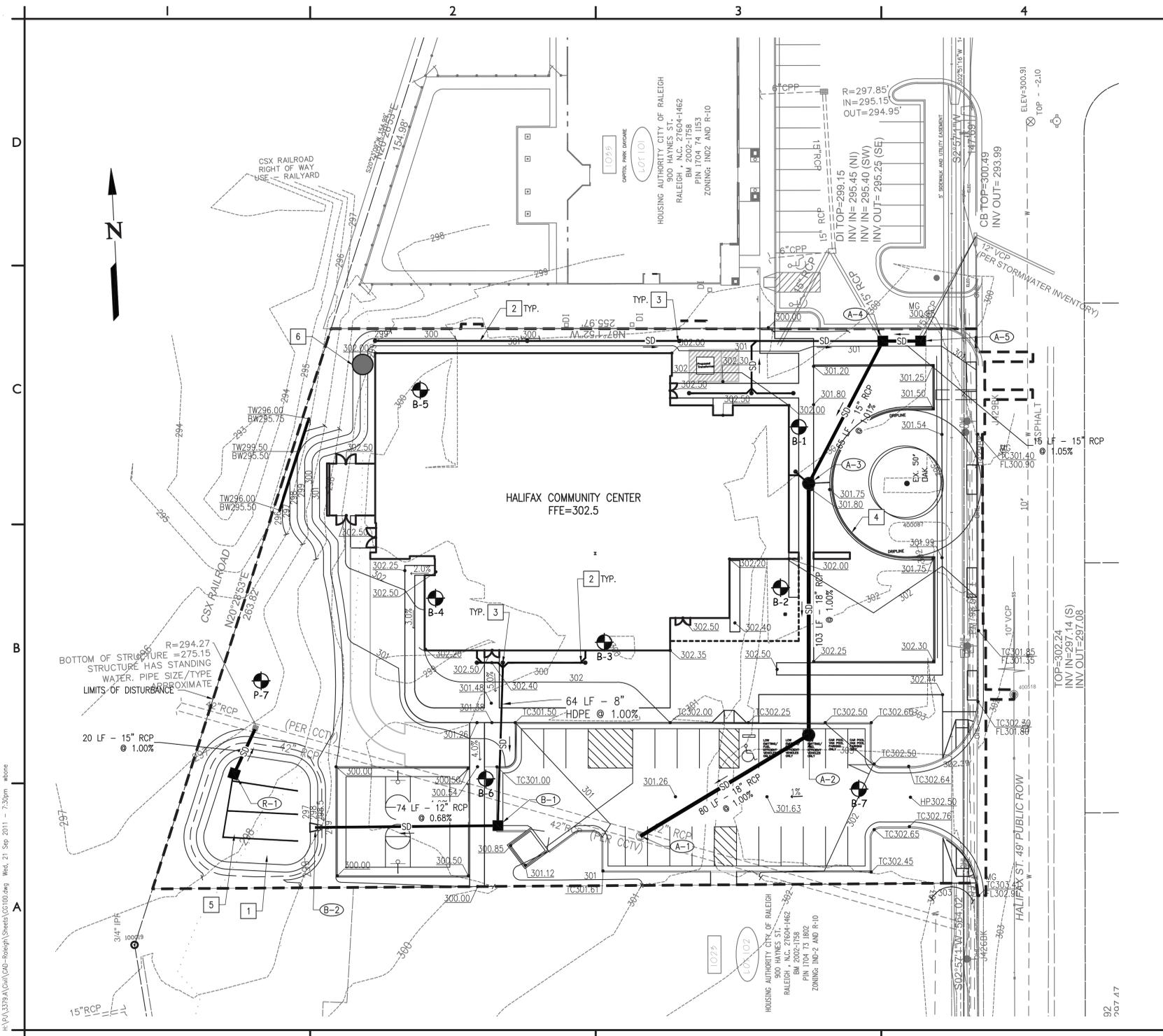
HALIFAX PARK AND COMMUNITY CENTER
CITY OF RALEIGH PARKS AND RECREATION DEPARTMENT
1015 HALIFAX STREET
RALEIGH, NORTH CAROLINA 27604

CN NO: 3379.A
DATE: 23 SEPTEMBER 2011
DESIGN: JWM
DRAWN: MCK
REVIEW: JMB
REVISIONS
No. Date Description

TITLE SHEET AND DRAWING INDEX

GI001
SHEET OF

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CONSTRUCTION NOTES

1. BIORETENTION AREA
2. ROOF LEADER
3. CLEANOUT
4. PERIMETER DRAIN SEE LA-400
5. BIORETENTION UNDERDRAIN
6. ABOVE GROUND CISTERN (ADD ALTERNATE)

STORM SCHEDULE

- (A-1) CONVERT BLIND JB TO MANHOLE
RIM=301.16
INV. IN=290.34(NE)
INV. IN (SE)= 280.00 (MATCH EXISTING)
INV. OUT(NW)= 280.00 (MATCH EXISTING)
- (A-2) MANHOLE
N 743893.65
E 2107195.16
RIM=301.90
INV. IN=291.34(N)
INV. OUT=291.14(SW)
- (A-3) MANHOLE
N 743996.14
E 2107200.45
RIM=301.80
INV. IN=292.57(NE)
INV. OUT=292.37(S)
- (A-4) DROP INLET
N 744052.65
E 2107233.39
RIM=300.90
INV. IN (NW)= 294.26 (MATCH EXISTING)
INV. IN=293.43(E)
INV. OUT=293.23(SW)
- (A-5) DROP INLET
N 744051.86
E 2107245.62
RIM=300.90
INV. IN (NE)= 293.79 (MATCH EXISTING)
INV. OUT=293.59(W)
- (B-1) CATCH BASIN
N 743863.15
E 2107067.73
RIM=300.33
INV. OUT=297.50(W)
- (B-2) FLARED END SECTION
N 743866.20
E 2106993.84
INV. IN=297.00(E)
- (R-1) 3'X3' POND RISER
N 743889.76
E 2106962.26
RIM=298.00
INV. OUT=293.00(NE)

GRAPHIC SCALE



CLARK NEXSEN
Architecture & Engineering

4000 WESTCHASE BOULEVARD
RALEIGH, NORTH CAROLINA 27607
919-828-1876 FAX 919-828-1877
WWW.CLARKNEXSEN.COM
CLARK NEXSEN LICENSE #C-1028

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REVIEW: KJH
REVISIONS
No. Date Description By

GRADING AND
DRAINAGE PLAN

CG100
SHEET # OF XX

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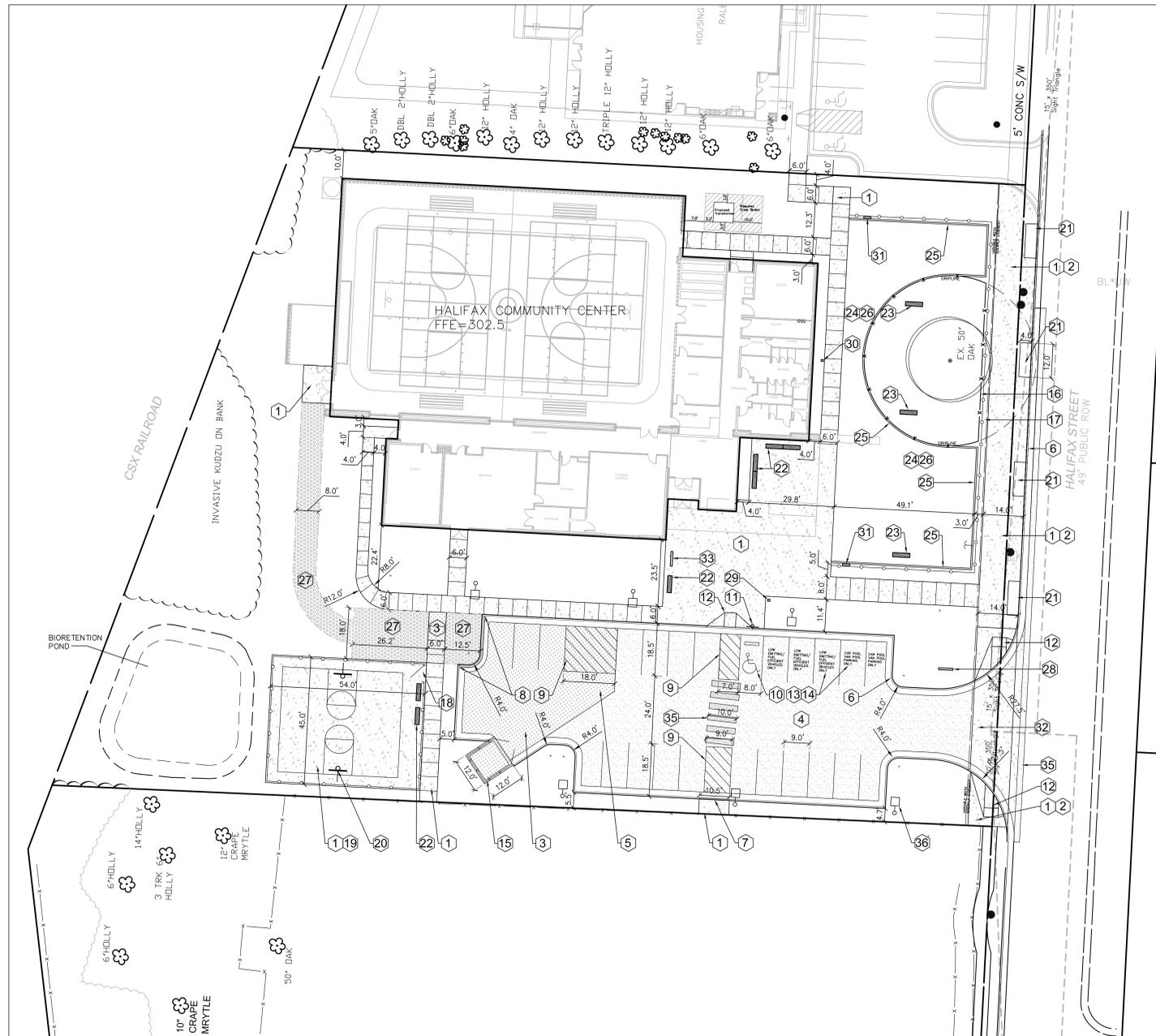


GENERAL NOTES:

1. Drawings based on survey prepared by the City of Raleigh dated January 21, 2010. Landscape Architect assumes no responsibility for the accuracy of the survey.
2. Property line is the limit for construction activities unless designated otherwise.
3. Contractor shall inspect site prior to start of work; verify existing conditions match plans and accept site, or report any discrepancies immediately to the landscape architect.
4. Contractor is responsible for scheduling all pre-construction meetings with all applicable governing jurisdictions. Contractor is responsible for obtaining and paying for all permits, inspections, and certifications that may be required.
5. All work shall be in accordance with City of Raleigh standard specifications and details.
6. Contractor shall keep job site free of trash and garbage, and shall immediately collect any construction-related debris or trash that is on right of way or adjoining properties.
7. Tree protection fences & erosion control measures to be maintained throughout construction.
8. Contractor shall restore any facilities damaged during construction.
9. Any discrepancies in plans, or departure from plans shall be reported to the landscape architect immediately, and no work shall continue on affected issue until directed by landscape architect.
10. Prepare and maintain on job site 'as-built' plans of all underground piping and utilities. Provide owner with plans at time of substantial completion.
11. Dimensions to back of curb, unless stated otherwise.

SITE IMPROVEMENT NOTES:

1. CONCRETE PAVING - REFER TO DETAIL B1/C505.
2. PICTURE FRAMING - REFER TO DETAIL XXX.
3. HEAVY DUTY CONCRETE - REFER TO DETAIL C1/C505.
4. ASPHALT PAVING - REFER TO DETAIL D1/C505.
5. ASPHALT / CONCRETE CONNECTION - REFER TO DETAIL D2/C504.
6. CURB & GUTTER - REFER TO DETAIL A1/C503.
7. WIPE DOWN CURB - REFER TO DETAIL XXX.
8. MOUNTABLE CURB - REFER TO DETAIL A4/C503.
9. STRIPING - REFER TO DETAIL C1/C504.
10. ACCESSIBLE PARKING - REFER TO DETAIL C1/C504.
11. HANDICAP SIGN (TOTAL QTY: 2) - REFER TO DETAIL A3/C504.
12. HANDICAP RAMP - REFER TO DETAIL B4/C503.
13. CAR POOL / VAN POOL MARKINGS - REFER TO DETAIL XXX.
14. LOW EMITTING / FUEL EFFICIENT VEHICLE MARKINGS - REFER TO DETAIL XXX.
15. DUMPSTER ENCLOSURE - REFER TO DETAIL XXX.
16. TREE PROTECTION FENCE - REFER TO DETAIL C1/C501.
17. PLAYGROUND PERIMETER FENCE - REFER TO DETAIL 6/LA400.
18. BASKETBALL FENCE / GATE - REFER TO DETAILS 1-2/LA400.
19. BASKETBALL COURT SURFACE MARKINGS - REFER TO DETAIL 5/LA400.
20. BASKETBALL SYSTEM (TOTAL QTY: 2) AS MANUFACTURED BY TOPHOOPS, MODEL: LEGEND DYNASTY, 6' SQ. POST, EXTENSION ARM, 42"X72" FIBERGLASS BACKBOARD, UNBREAKABLE FIXED GOAL (OR APPROVED EQUAL).
21. TREE PLANTING IN SIDEWALK - REFER TO DETAIL 9/LA400.
22. BENCH (TOTAL QTY: 5) AS MANUFACTURED BY PILOT ROCK, CHANNEL PARK BENCH MODEL: PCXB3/G-6C24, 6' LONG, RECYCLED PLASTIC TIMBERS, COLOR: CEDAR, SURFACE MOUNT, HOT DIPPED GALVANIZED FRAMES (OR APPROVED EQUAL). INSTALL PER MANUFACTURER'S SPECIFICATIONS. LANDSCAPE ARCHITECT TO FIELD LOCATE.
23. PLAYGROUND BENCH (TOTAL QTY: 3) AS MANUFACTURED BY PILOT ROCK, CONTOUR BENCH MODEL: SWRB3/G-6PC34, 6' LONG, RECYCLED PLASTIC TIMBERS, COLOR: CEDAR, EMBEDDED FRAME POST MOUNT, HOT DIPPED GALVANIZED FRAMES (OR APPROVED EQUAL). PROVIDE (1 SET) OF 12" EXTENSIONS FOR BENCHES EMBEDDED IN PLAY SURFACING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. LANDSCAPE ARCHITECT TO FIELD LOCATE.
24. PLAYGROUND SURFACING - GTIMPAX Poured RUBBER SURFACING AS MANUFACTURED BY GAMETIME. COLOR: XXX. INSTALL PER MANUFACTURER'S SPECIFICATIONS. INSTALLATION SHALL BE PERFORMED BY A TECHNICALLY TRAINED GAMETIME APPROVED SPECIALIST.
25. PLAYGROUND EDGE - REFER TO DETAIL 7/LA400.
26. SEE SHEET LA101 FOR PLAY AREA ENLARGEMENT PLAN.
27. GRASSPAVE2 (OR APPROVED EQUAL) - REFER TO DETAIL A2/C505.
28. ENTRANCE SIGN - PROVIDED AND INSTALLED BY OWNER.
29. REGULATORY PARK RULES SIGN - PROVIDED AND INSTALLED BY OWNER.
30. EMERGENCY TELEPHONE - CONTRACTOR TO RELOCATE EXISTING.
31. AGE APPROPRIATE SIGNAGE - AS MANUFACTURED BY PLAYGROUND EQUIPMENT MANUFACTURER... INSTALL PER MANUFACTURER'S SPECIFICATIONS.
32. DRIVEWAY ACCESS & SIDEWALK - REFER TO DETAIL A2/C503.
33. BIKE RACK (TOTAL QTY: 1) - AS MANUFACTURED BY PILOT ROCK, SADDLEBACK MODEL SRP/G-7, 7-BIKE CAPACITY, 62" LONG (NOM.), SURFACE MOUNT WITH BASE PLATE & COVER CAPS, HOT DIPPED GALVANIZED STEEL (OR APPROVED EQUAL). INSTALL PER MANUFACTURER'S SPECIFICATIONS.
34. CROSSWALK - REFER TO DETAIL A3/C505.
35. ASPHALT PAVEMENT PATCH - REFER TO DETAIL A1/C504.
36. LIGHT FIXTURE - REFER TO LIGHTING PLAN.



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REVIEW: BHS

REVISIONS	No.	Date	Description

**SITE LAYOUT
PLAN**

LA100

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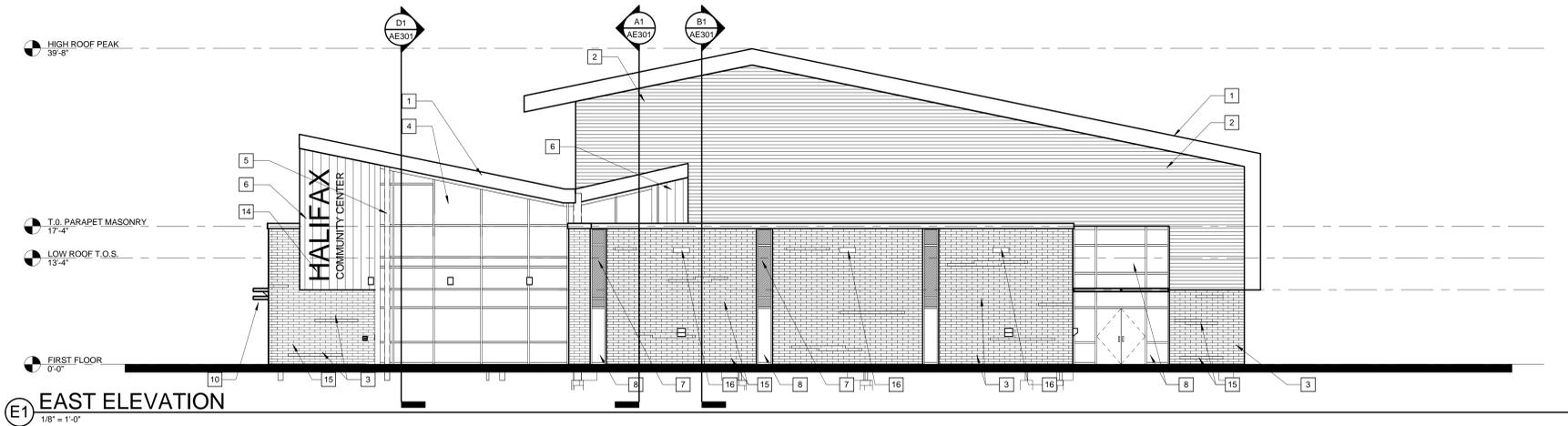
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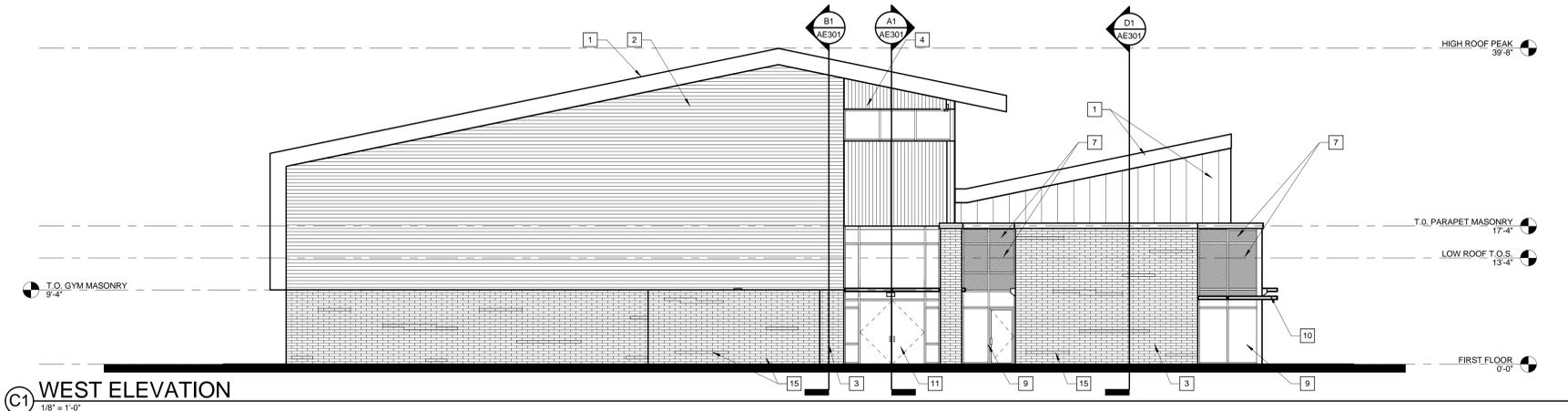
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BUILDING
ELEVATIONS

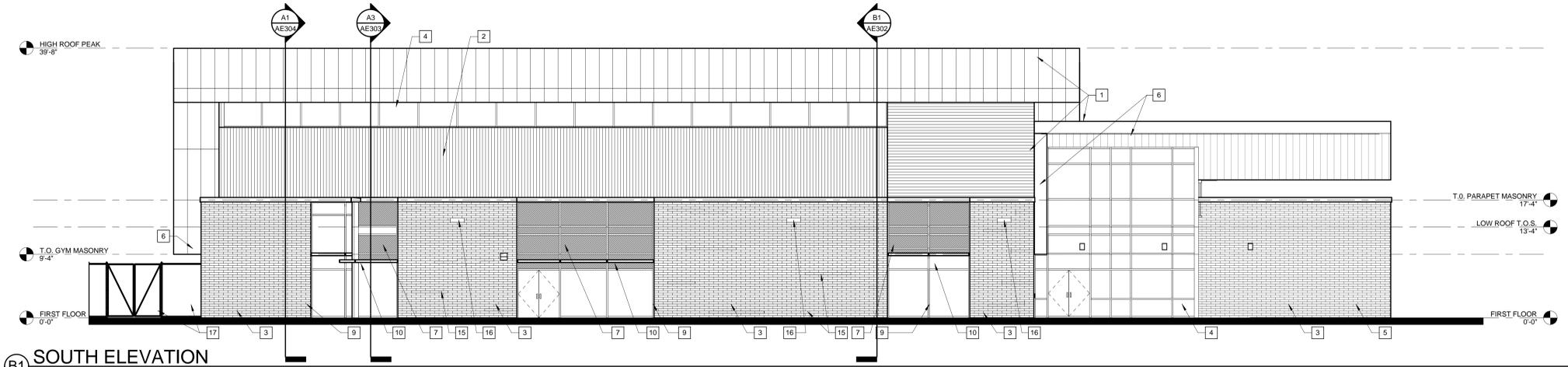
AE201
SHEET OF



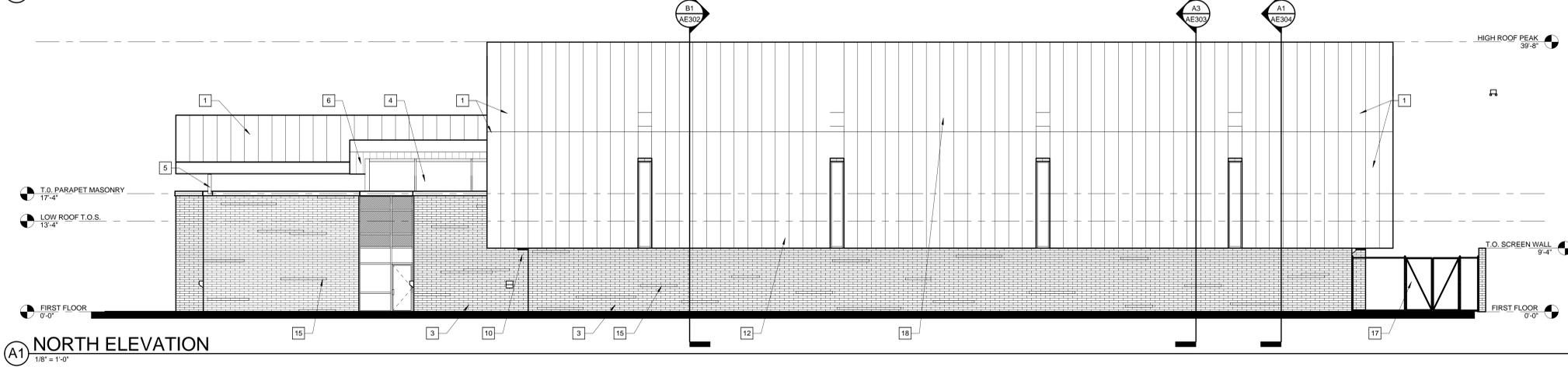
E1 EAST ELEVATION
1/8" = 1'-0"



C1 WEST ELEVATION
1/8" = 1'-0"

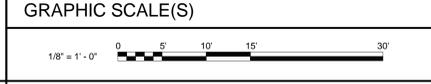


B1 SOUTH ELEVATION
1/8" = 1'-0"



A1 NORTH ELEVATION
1/8" = 1'-0"

#	KEYNOTES
1	STANDING SEAM METAL ROOF
2	PREFINISHED CORRUGATED METAL PANEL WALL, (3) COLORS
3	ARCHITECTURAL CMU VENEER
4	INSULATED, FOUR SIDED SSG ALUMINUM CURTAINWALL
5	PAINTED STEEL COLUMN
6	PREFINISHED METAL PANEL WALL AND SOFFIT
7	INSULATED SPANDREL IN ALUMINUM STOREFRONT
8	INSULATED PRIVACY GLAZING IN ALUMINUM STOREFRONT
9	INSULATED GLAZING IN ALUMINUM STOREFRONT
10	PREFINISHED ALUMINUM CANOPY
11	PAINTED STEEL DOORS
12	INSULATED GLAZING IN ALUMINUM FIXED WINDOW
14	WATERJET CUT ALUMINUM SIGNAGE
15	ARCHITECTURAL CMU VENEER, ACCENT
16	OVERFLOW SCUPPER
17	CHAIN LINK FENCE
18	TRANSPARENT INSULATED PANEL, PER METAL BUILDING MANUFACTURER



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