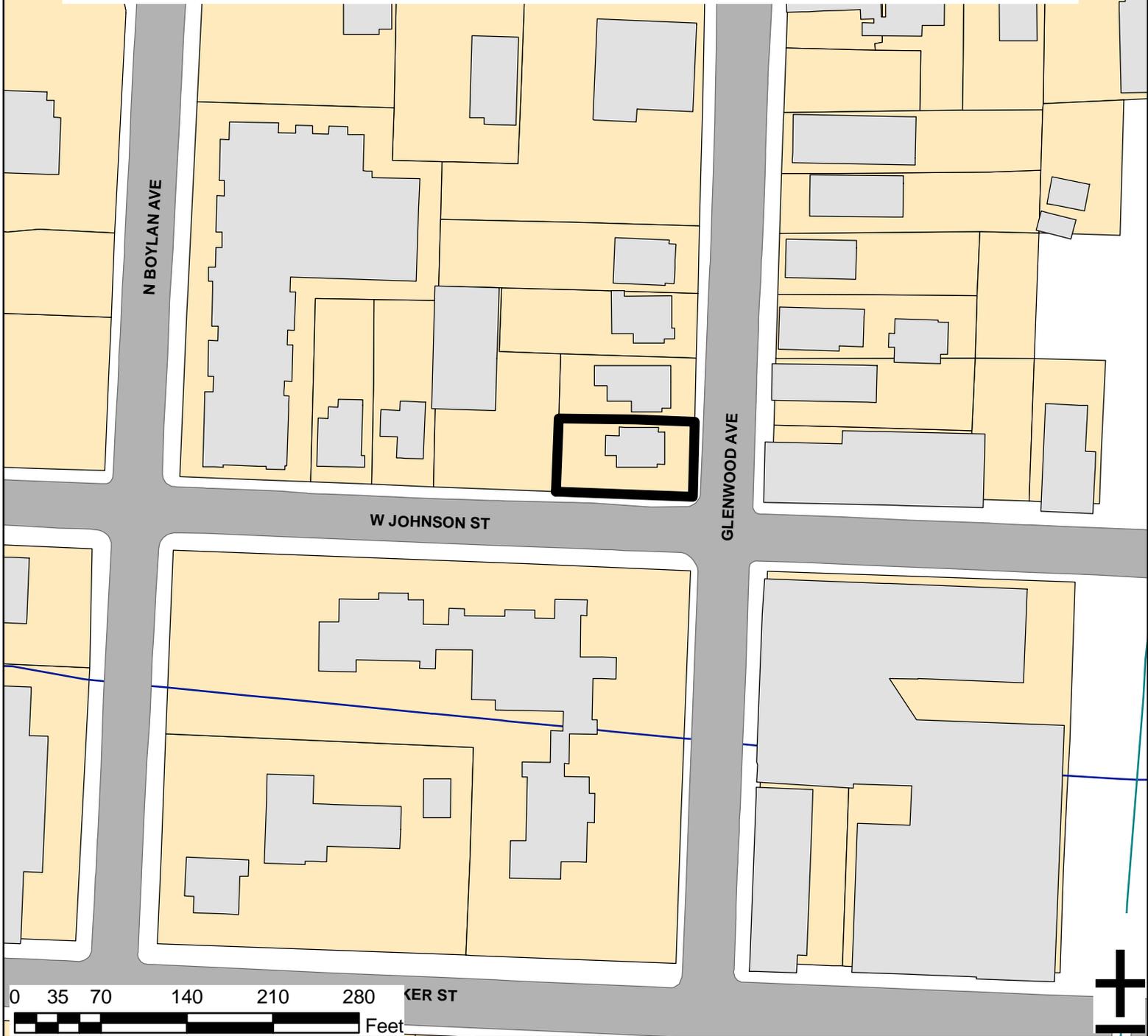


603 GLENWOOD AVENUE SP-52-2011



Zoning: **NB**
CAC: **HILLSBOROUGH**
Drainage Basin: **PIGEON HOUSE**
Acreage: **0.16**

Number of Lots: **0**
Planner:
Phone:
Applicant Contact:
Phone:

ERIC HODGE
(919) 516-2639
RED LINE ENGINEERING
(919) 779-6851

.160 ac, inside, no Dev plan, Hillsborough CAC, NB Pigeon House



Development SERVICES

FIRE • INSPECTIONS • PLANNING
PUBLIC UTILITIES • PUBLIC WORKS

Customer Service Center
One Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-516-2495
Fax 919-516-2685

SP-52-11

Preliminary Development Plan Application
When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Site Plans for Planning Commission or City Council <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing * <input type="checkbox"/> Multifamily (Infill)*	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Infill Subdivision* <input type="checkbox"/> Infill Recombination* <input type="checkbox"/> Cluster Subdivision <input type="checkbox"/> Expedited Subdivision Review	Transaction Number 314 710
* May require Planning Commission or City Council Approval		

Section A

GENERAL INFORMATION

Development Name 603 Glenwood

Proposed Use Bar/Nightclub

Property Address(es) 603 Glenwood Avenue Raleigh, NC 27608

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1704-41-5742

P.I.N.

P.I.N.

P.I.N.

What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe: Bar/Nightclub

PRELIMINARY ADMINISTRATIVE REVIEW

Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively not requiring Planning Commission or City Council approval. N/A

PLANNING COMMISSION OR CITY COUNCIL REVIEW

Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval. In accordance with Code Section 10-2132.2.b.2.b, because this project involves a bar/nightclub, tavern, lounge within 400 of a residential district, this plan must be approved by Planning Commission

CLIENT (Owner or Developer)

Company N/A

Name (s) Beverly Luter

Address 1705 Hunting Ridge Road, Raleigh, NC 27615

Phone 919-846-7024

Email

Fax

CONSULTANT (Contact Person for Plans)

Company Red Line Engineering, P.C.

Name (s) Gary J. McCabe, P.E.

call for cc # 6006-4560

Address 3305-109 Durham Drive, Raleigh, NC 27603

Phone 919-779-6851

Email gary.mccabe@rle-pc.com

Fax 919-779-0826

Section B					
	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. <u>Preliminary Development Plan Application</u> completed and signed by the property owner	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Client must complete and print page 1 and 2 of the <u>Preliminary Development Plan Application</u> to the plan cover sheet (not applicable for infill recombination)	<input type="checkbox"/>	<input type="checkbox"/>			
4. I have referenced the <u>Preliminary Development Plan Checklist</u> and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
c) Proposed Site, Subdivision Plan, or Recombination Plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
d) Proposed Grading and Stormwater Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
e) Proposed Utility Plan, including Fire	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
f) Proposed Tree Conservation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
10. Digital copy of only the plan and elevations, if applicable. The purpose of this image is to illustrate the basic character of the preliminary plan. It should contain only such basic information as: building outline, landscaping, parking and drives, stormwater facilities, and lot boundary. The digital image should be provided in the form of .pdf on a CD. If the plan was not digitally created, provide an 8 1/2" x 11" reduction of the plan. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
12. Preliminary stormwater quantity and quality summary and calculations package	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Has your project previously been through the pre-submittal process? If yes, provide the transaction #

Zoning Information	Building Information
Zoning District(s) NB	Proposed building use(s) Bar/Nightclub
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross 1,030 sf
Overlay District Glenwood South Pedestrian Business Overlay District	Proposed Building(s) sq. ft. gross N/A
Total Site Acres 0.15 Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 1,030 sf
Off street parking Required 0 Provided 0	Proposed height of building(s) Approx. 24 ft. (Existing)
COA (Certificate of Appropriateness) case # N/A	FAR (floor area ratio percentage) 19%
BOA (Board of Adjustment) case # A-N/A	Building Lot Coverage percentage 19% (site plans only)
CUD (Conditional Use District) case # Z-N/A	
Stormwater Information	
Existing Impervious Surface .09/4,103acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 0.12/5,082 acres/square feet	If Yes, please provide
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030. The proposed improvements to 603 Glenwood Ave. adhere to and meet the requirements set forth in the Glenwood South PBOD Area Plan and the Glenwood South Streetscape and Parking Plan. Therefore, by conforming with the requirements of the Glenwood South Area Plan and PBOD, the proposed plan conforms with the Comprehensive Plan 2030.

FOR SUBDIVISIONS, MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY

1. Total # Of Townhouse Lots N/A Detached N/A Attached N/A	11. Total number of Open Space (only) lots N/A
2. Total # Of Single Family Lots N/A	12. Total number of all lots 1
3. Total # Of Apartment Or Condominium Units N/A	13. Is your project a cluster unit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
4. Total # Of Congregate Care Or Life Care Dwelling Units N/A	If Yes, please answer the questions below: a) Total number of Townhouse Lots N/A b) Total number of Single Family Lots N/A c) Total number of Group Housing Units N/A d) Total number of Open Space Lots N/A e) Minimum Lot Size N/A f) Total Number of Phases N/A g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No h) Must provide open space quotient per City Code 10-3071 (5)
5. Total # Of Mobile Home Lots N/A	
6. Total Number of Hotel Units N/A	
7. Overall Total # Of Dwelling Units (1-6 Above) N/A	
8. Bedroom Units 1br N/A 2br N/A 3br N/A 4br or more N/A	
9. Overall Unit(s)/Acre Densities Per Zoning District(s) N/A	
10. If your project is an infill subdivision, provide the infill calculations per City Code 10-3032 on the front cover of your drawing sets	

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate Gary J. McCabe, P.E. Beverly D. Luter to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed Beverly D. Luter 10/10/11 Date

603 GLENWOOD AVENUE CONSTRUCTION DOCUMENTS

603 GLENWOOD AVE. (P.I.N. 1704415742)
RALEIGH, NORTH CAROLINA 27608

OWNER

BEVERLY LUTER
1705 HUNTING RIDGE ROAD
RALEIGH, NORTH CAROLINA 27615

DEVELOPER

603 GLENWOOD, INC.
DAN LOVENHEIM
122 S. SALISBURY ST.
RALEIGH, NORTH CAROLINA 27601

ENGINEER

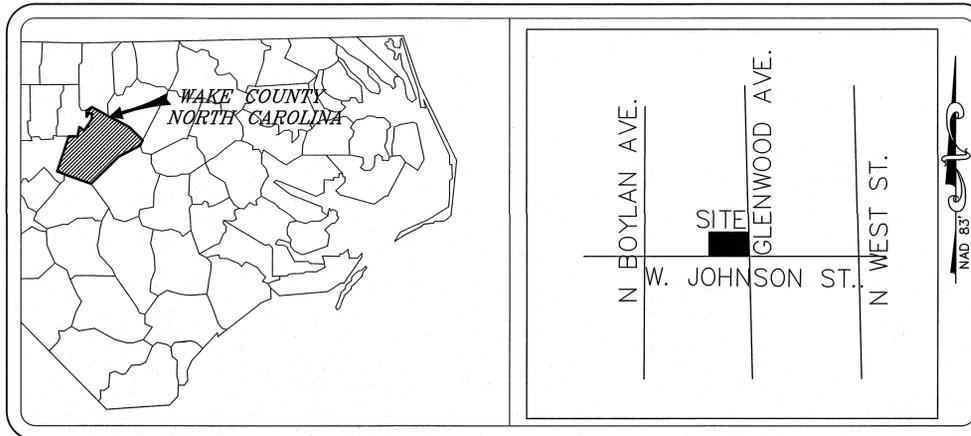
Red Line
Engineering, P.C.
3305-109 Durham Drive
Raleigh, North Carolina 27603
Phone - (919) 779-6851
Fax - (919) 779-0826
Email - gary.mccabe@rle-pc.com

SURVEYOR

NEWCOMB LAND SURVEYORS
246 WEST MILLBROOK ROAD
RALEIGH, NORTH CAROLINA 27609
PHONE: (919) 847-1800

SHEET INDEX

C1 COVER SHEET
C2 EXISTING CONDITIONS AND DEMOLITION PLAN
C3 PROPOSED SITE PLAN
C4 SITE DETAILS



VICINITY MAP
NOT TO SCALE

EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE/EASEMENT	
--- ess ---	SANITARY SEWER	
⊙	SANITARY SEWER MANHOLE	
⊕	CLEAN OUT	
⊖	POWER POLES	
○	WATER METER	
○ EIP	PROPERTY CORNER	
---	RIGHT OF WAY	
--- OE ---	OVERHEAD ELECTRIC	
□	DROP INLET	
T	TELEPHONE BOX	
E	ELECTRIC BOX	
	DEMOLITION AREA	
	CONCRETE	
	BRICK	

NOTE: ALL WORK MUST COMPLY WITH APPLICABLE NORTH CAROLINA BUILDING CODES, HANDICAPPED ACCESSIBILITY CODE VOL. 1C, AND WITH THE CITY OF RALEIGH AND NCDOT STANDARDS, DETAILS AND SPECIFICATIONS.



Development SERVICES

FIRE • INSPECTIONS • PLANNING
PUBLIC UTILITIES • PUBLIC WORKS

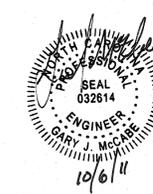
Customer Service Center
One Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-516-2495
Fax 919-516-2885

Site and Commercial Building Data Sheet

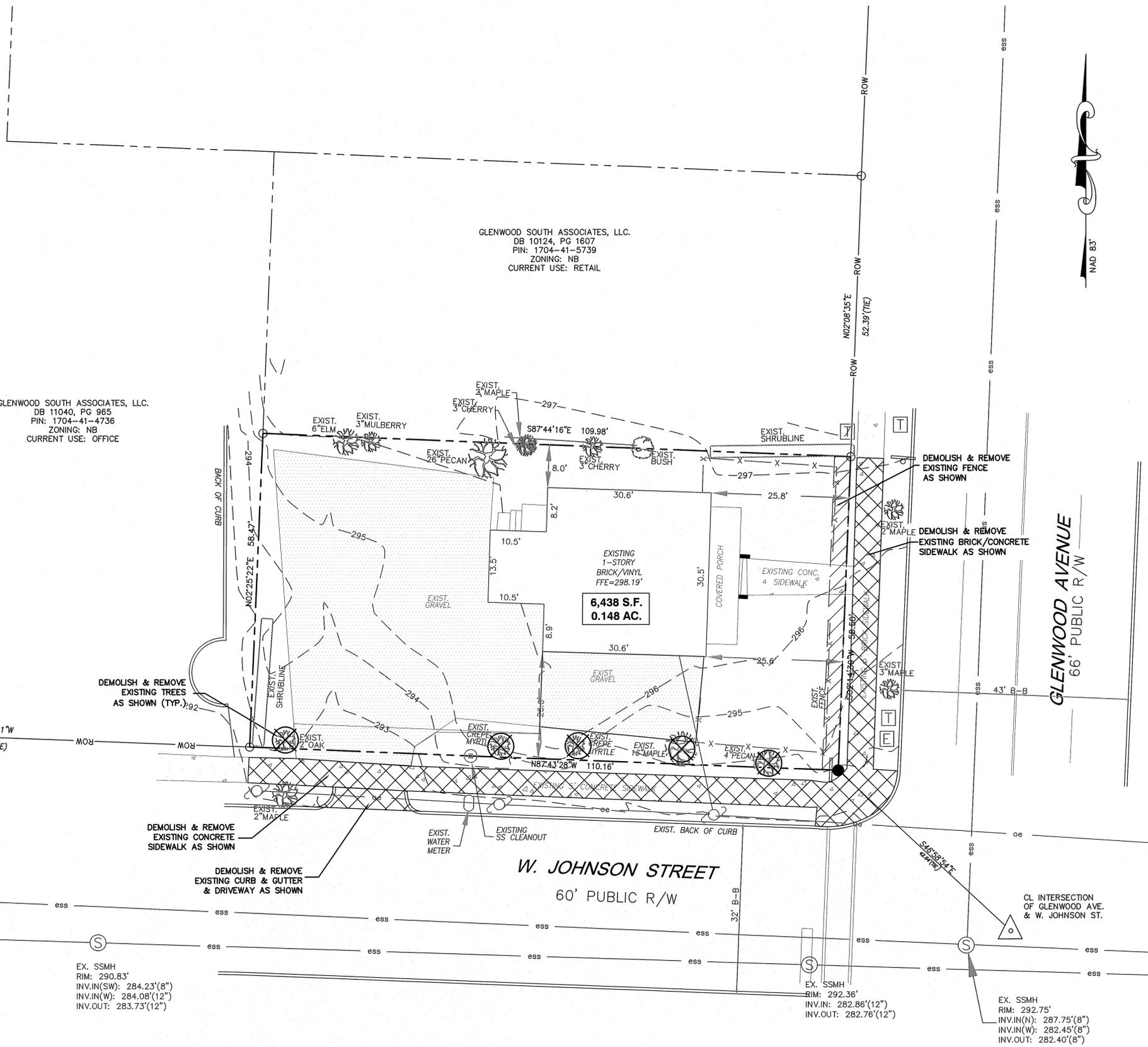
GENERAL INFORMATION					
Development Name 603 Glenwood Avenue			Proposed Use Bar/Nightclub		
Property Address(es) 603 Glenwood Avenue					
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply					
P.I.N. 1704415742	P.I.N.	P.I.N.	P.I.N.	P.I.N.	P.I.N.
What is your project type?					
Apartment	Bank	Elderly Facility	Hospital	Hotel/Motel	Industrial Building
Mixed Residential	Non-residential Condo	Office	Religious Institution	Residential Condo	Retail
School	Shopping Center	Single Family	Telecommunication Tower	Townhouse	Other
				X	
Scope of Work Change of use, new exterior patio and required streetscape improvements.					

FOR MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY	
1. Total # Of Townhouse Lots <i>N/A</i> Detached <input type="radio"/> Attached <input type="radio"/>	4. Overall Total # Of Dwelling Units (1-3 Above) <i>N/A</i>
2. Total # Of Apartment Or Condominium Units <i>N/A</i>	5. Bedroom Units 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more <i>N/A</i>
3. Total # Of Congregate Care Or Life Care Dwelling Units <i>N/A</i>	6. Overall Unit(s)/Acre Densities Per Zoning District(s) <i>N/A</i>
DEVELOPMENT TYPE AND SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) NB (Neighborhood Business)	Proposed building use(s) Bar/Nightclub
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross 1,030 SF
Overlay District(s) Glenwood South PBOD	Proposed Building(s) sq. ft. gross <i>N/A</i>
Total Site Acres 0.15 Inside City Limits <input checked="" type="radio"/> Yes <input type="radio"/> No	Total sq. ft. gross (existing & proposed) 1,030
Off street parking Required <i>N/A</i> Provided <i>N/A</i>	Proposed height of building(s) Existing (Approx. 24 ft.)
COA (Certificate of Appropriateness) case # <i>N/A</i>	FAR (floor area ratio percentage) 19%
BOA (Board of Adjustment) case # <i>A-N/A</i>	Building Lot Coverage percentage 19%
CUD (Conditional Use District) case # <i>Z-N/A</i>	
Stormwater Information	
Existing Impervious Surface 0.09 ac / 4,103 sf acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 0.12 ac / 5,082 sf acres/square feet	If Yes, Alluvial Soils _____ Flood Study _____ FEMA Map Panel # _____
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Total Disturbed Area 0.15 ac / 6,433 sf acres/square feet

SITE AND COMMERCIAL BUILDING DATA SHEET | 01.04.11 | 1

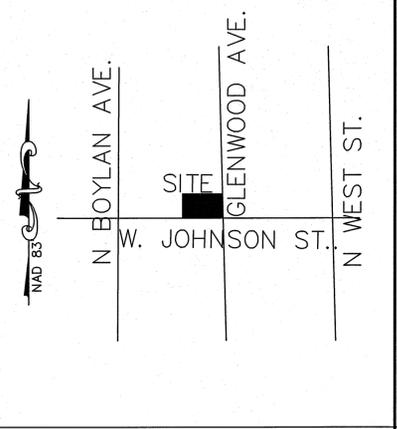


Know what's below.
Call before you dig.



GLENWOOD SOUTH ASSOCIATES, LLC.
DB 11040, PG 965
PIN: 1704-41-4736
ZONING: NB
CURRENT USE: OFFICE

GLENWOOD SOUTH ASSOCIATES, LLC.
DB 10124, PG 1607
PIN: 1704-41-5739
ZONING: NB
CURRENT USE: RETAIL



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

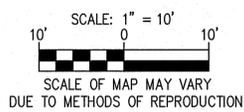
- (1) TOPOGRAPHICAL AND BOUNDARY SURVEY INFORMATION PROVIDED BY NEWCOMB LAND SURVEYORS, ROBERT T. NEWCOMB III, P.L.S. # L-2444. INFORMATION PROVIDED FOR ENGINEERING DESIGN PURPOSES ONLY. NOT FOR SALE OR RECORDATION.
- (2) CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, MATERIAL AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. ELEVATIONS INDICATED ON PLANS SHOWN AS APPROXIMATE, CONTRACTOR SHALL FIELD VERIFY FINISH FLOOR ELEVATIONS OF BUILDING PRIOR TO COMMENCING CONSTRUCTION.
- (3) CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH ALL CONSTRUCTION RELATED ACTIVITIES.
- (4) ALL DISTURBED AREAS TO BE SEEDED, FERTILIZED, AND MULCHED WITHIN 14 CALENDAR DAYS OF GRADING ACTIVITIES.
- (5) ACCORDING TO THE SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NORTH CAROLINA GENERAL STATUTE 113A 51-66) THIS PROJECT IS NOT SUBJECT TO AN APPROVED SEDIMENTATION AND EROSION CONTROL PLAN. HOWEVER, THE CONTRACTOR SHALL ADHERE TO GOOD CONSTRUCTION PRACTICES AND MAKE EVERY EFFORT TO PREVENT EROSION AND SEDIMENT FROM LEAVING THE SITE.
- (6) ALL WORK MUST COMPLY WITH APPLICABLE NORTH CAROLINA BUILDING CODES, CITY OF RALEIGH STANDARDS, DETAILS AND SPECIFICATIONS AND WITH HANDICAPPED ACCESSIBILITY CODE VOL. 1C.
- (7) ANY CONFLICT(S) BETWEEN ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND CIVIL SHEETS SHALL BE SUBMITTED BY CONTRACTOR, IN WRITING, TO BOTH ARCHITECT AND ENGINEER. WRITTEN CLARIFICATION/RESOLUTION MUST BE RECEIVED BY CONTRACTOR FROM ARCHITECT AND ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- (8) DISTURBED AREA FOR SITE IS LESS THAN 12,000 SF AND SITE IS LESS THAN 0.50 AC. THEREFORE, NO GRADING PERMIT IS REQUIRED AND STORMWATER IS EXEPT.

Red Line Engineering, P.C.
SEAL
C-3075
RALEIGH, NORTH CAROLINA 27603
PHONE - (919) 779-6851
FAX - (919) 779-0826

Red Line Engineering, P.C.
SEAL
C-3075
RALEIGH, NORTH CAROLINA 27603
PHONE - (919) 779-6851
FAX - (919) 779-0826

603 GLENWOOD
RALEIGH, NORTH CAROLINA
EXISTING CONDITIONS AND
DEMOLITION

REVISIONS:	DATE:
ISSUED FOR:	DATE:
PROJECT NO.:	11-015
DRAWN BY:	JAT
REVIEWED BY:	GJM
SHEET NUMBER:	C2
	OF 4 SHEETS

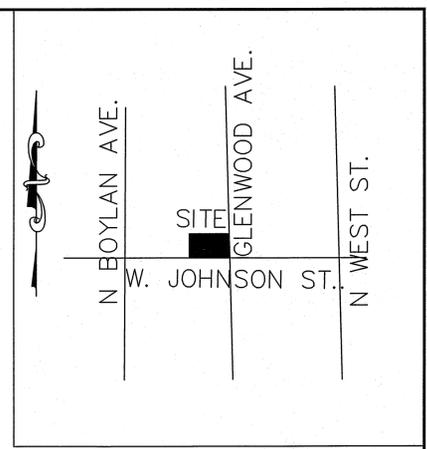




PLANT LIST					
KEY	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	NOTES
TREES					
AR	ACER CAMPESTRE 'EVELYN'	HEDGE MAPLE	2	2.0" CAL./8' HT.	SINGLE STEM

GLENWOOD SOUTH ASSOCIATES, LLC.
 DB 10124, PG 1607
 PIN: 1704-41-5739
 ZONING: NB
 CURRENT USE: RETAIL

GLENWOOD SOUTH ASSOCIATES, LLC.
 DB 11040, PG 965
 PIN: 1704-41-4736
 ZONING: NB
 CURRENT USE: OFFICE



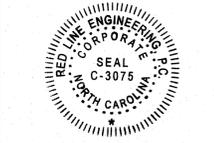
VICINITY MAP
 NOT TO SCALE



PRELIMINARY DRAWING
 NOT RELEASED FOR
 CONSTRUCTION

THIS ORIGINAL SHEET IS 24"X36". OTHER DIMENSIONS
 INDICATE IT HAS BEEN ALTERED.
 ALL INFORMATION REPRESENTED ON THIS SHEET IS
 THE PROPERTY OF RED LINE ENGINEERING, P.C. AND
 MAY NOT BE DUPLICATED IN PART OR IN WHOLE
 WITHOUT WRITTEN AUTHORIZATION FROM
 RED LINE ENGINEERING, P.C. 2011 ©

Red Line
 Engineering, P.C.
 (C-3075)
 3305-109 DURHAM DRIVE
 RALEIGH, NORTH CAROLINA 27603
 PHONE - (919) 779-6851
 FAX - (919) 779-0826



CITY OF RALEIGH SITE PLAN INFORMATION:

THIS PLAN REQUIRES APPROVAL BY PLANNING COMMISSION OR CITY COUNCIL:	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
1. DEVELOPMENT NAME:	603 GLENWOOD
2. STREET ADDRESS:	603 GLENWOOD AVE. RALEIGH, NORTH CAROLINA 27608
3. WAKE COUNTY P.I.N.:	1704-41-5742
4. TOTAL NUMBER OF LOTS:	1
5. TOTAL AREA:	6,438 SF/0.15 ACRES
6. DISTURBED AREA:	6,433/0.15 ACRES
7. ZONING:	NB (NEIGHBORHOOD BUSINESS)
8. NUMBER OF STORIES:	1 STORY
9. VEHICULAR SURFACE AREA:	0 SF
10. OPEN SPACE REQUIRED: OPEN SPACE PROVIDED:	322 SF (5%) 1,307 SF (20%)
11. PARKING DATA:	0 SPACES
1,218 SF RETAIL SPACE 10-2081(c)(6)(b)(2) EXEMPTS THE FIRST 10,000 SF	
12. BUILDING SQUARE FOOTAGE & USE: EXISTING RETAIL AND OFFICE PROPOSED BAR/NIGHTCLUB	1,030 SF 1,030 SF
13. IMPERVIOUS SURFACE AREA EXISTING: PROPOSED: TOTAL:	4,103 SF / .09 ACRES (64%) +979 SF / .02 ACRES (15%) 5,082 SF / 0.11 ACRES (79%)
14. INSIDE CITY LIMITS:	YES
15. INSIDE FLOOD HAZARD BOUNDARY:	NO
16. BUILDING LOT COVERAGE:	19%
17. INSIDE FALLS LAKE OR SWIFT CREEK DRAINAGE AREA:	NO
18. DEDICATED STREET RIGHT OF WAY:	N/A
19. OWNER:	BEVERLY LUTER 1705 HUNTING RIDGE ROAD RALEIGH, NORTH CAROLINA 27615
20. DEVELOPER:	603 GLENWOOD, INC. DAN LOVENHEIM 606 GLENWOOD AVE. RALEIGH, NORTH CAROLINA 27603

NOTE: THIS PROJECT IS EXEMPT FROM THE NEUSE RIVER NUTRIENT MANAGEMENT STRATEGY IN ACCORDANCE WITH SECTION 1.2.6.2(SITE LESS THAN 0.5 ACRES) AND SECTION 1.2.6.5(POST RUNOFF HAS LESS THAN 10% INCREASE) OF THE COR STORMWATER DESIGN MANUAL

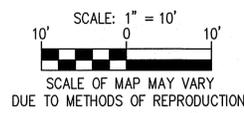
THIS PROJECT IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS 10-2082.14 (SITE IS LESS THAN 2 ACRES).

NOTE: A VARIANCE IS REQUESTED AS PART OF THIS SITE PLAN TO THE REQUIREMENTS FOR GLENWOOD AVENUE TO BE CONSTRUCTED TO A DIVIDED MULTI-LANE ROADWAY WITH A 90 FOOT RIGHT OF WAY AND FOR JOHNSON STREET TO BE CONSTRUCTED TO A 41 FT B-B SECTION WITHIN THE EXISTING RIGHT OF WAY.

NOTE: ALL EXISTING UTILITIES AND ELEVATIONS OF UTILITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE AND ELEVATION/DEPTH OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION OR DEMOLITION.

NOTE: ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH AND STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS

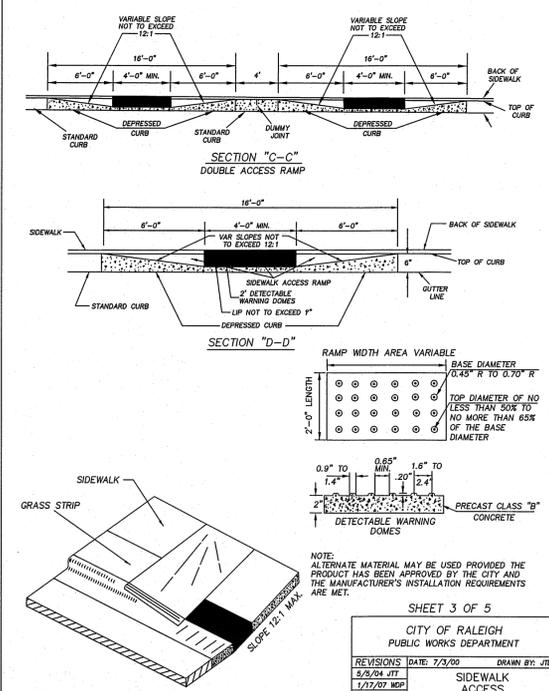
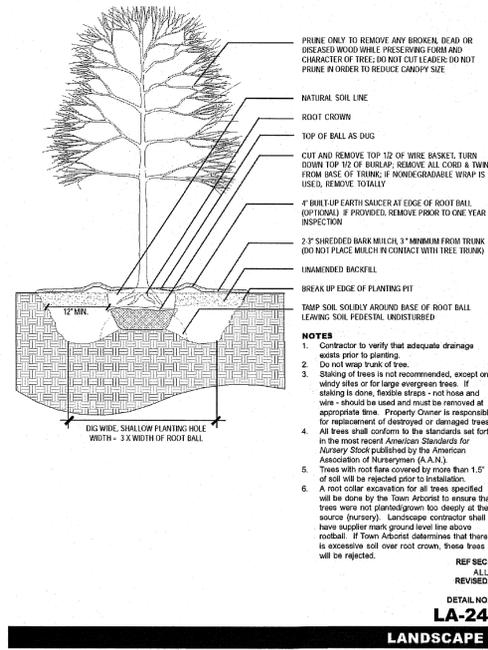
NOTE: CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY CONFLICTS, INCONSISTENCIES OR AMBIGUITIES EXIST BETWEEN ARCHITECTURAL, P.M.E., STRUCTURAL & CIVIL DRAWINGS & SPECIFICATIONS. IF HIDDEN SITE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION/DEMOLITION, CONTRACTOR SHALL OBTAIN WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT HIS/HER OWN RISK.



603 GLENWOOD
 RALEIGH, NORTH CAROLINA
 PROPOSED SITE PLAN

REVISIONS:	DATE:
ISSUED FOR:	DATE:
PROJECT NO.:	11-015
DRAWN BY:	JAT
REVIEWED BY:	GJM
SHEET NUMBER:	C3
	OF 4 SHEETS

PLANTING DETAILS
Tree Planting



**CITY OF RALEIGH
SIDWALK ACCESS RAMP
GENERAL NOTES**

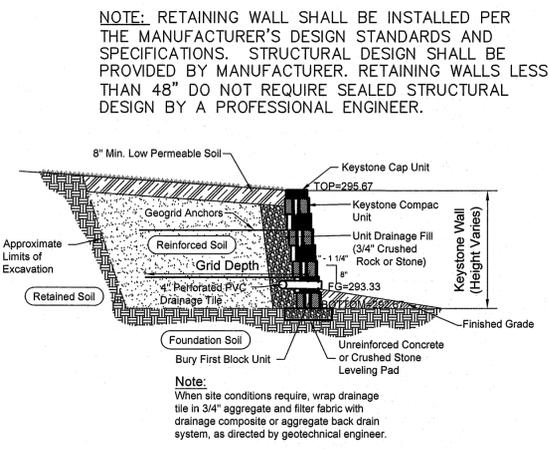
- NORTH CAROLINA GENERAL STATUTE 136-44.14 REQUIRES THAT ALL STREET CURBS BEING CONSTRUCTED OR RECONSTRUCTED FOR MAINTENANCE PROCEDURES, TRAFFIC OPERATIONS, REPAIRS, CORRECTIONS OF UTILITIES OR ALTERED FOR ANY REASON AFTER SEPTEMBER 1, 1973 SHALL PROVIDE SIDEWALK ACCESS RAMP FOR THE PHYSICALLY HANDICAPPED AT ALL INTERSECTIONS WHERE BOTH CURB AND GUTTER AND SIDEWALKS ARE PROVIDED AND AT OTHER POINTS OF PEDESTRIAN FLOW.
- IN ADDITION, SECTION 228 OF THE 1973 FEDERAL AID HIGHWAY SAFETY ACT REQUIRES PROVISIONS OF DEPRESSED CURBS ON ANY CURB CONSTRUCTED AFTER JULY 1, 1976 WHETHER A SIDEWALK IS PROPOSED INITIALLY OR IS PLANNED FOR A FUTURE DATE.
- THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990 EXTENDS TO INDIVIDUALS WITH DISABILITIES COMPREHENSIVE CIVIL RIGHTS PROTECTION SIMILAR TO THOSE PROVIDED TO PERSONS ON THE BASIS OF RACE, SEX, NATIONAL ORIGIN AND RELIGION UNDER THE CIVIL RIGHTS ACT OF 1964. THE ADAPTED SIDEWALK ACCESS RAMP HAS BEEN DESIGNED TO COMPLY WITH CURRENT ADA STANDARDS.
- SIDEWALK ACCESS RAMP SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMP SHALL BE LOCATED AS INDICATED IN THE DETAIL HOWEVER, THE LOCATION MAY BE ADJUSTED AS DIRECTED BY THE ENGINEER WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT. AT ALL LOCATIONS, NOT LESS THAN 2 FEET OF FULL CURB SHALL BE PLACED BETWEEN DOUBLE RAMP.
- DOUBLE WHEELCHAIR RAMP ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED. WHEN SIDEWALK IS NOT REQUIRED, CURB IS TO BE DEPRESSED AT ALL RAMP LOCATIONS AS SHOWN ON SHEET 1 OF 4.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. COLORS FOR THE DETECTABLE WARNING AREA SHALL BE DARK CHARCOAL GRAY FOR CONTRAST WITH LIGHT PATHWAY COLORS AND LIGHT CONCRETE GRAY FOR CONTRAST WITH DARK PATHWAY COLORS.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 0.08 (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" HOWEVER, RAMP MAY EXCEED 48".
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND AS SHOWN ON THE STANDARD DRAWING.
- SINGLE OR DIAGONAL RAMP ARE ONLY PERMISSIBLE FOR NEW CONSTRUCTION, AS SHOWN ON SHEET 5 OF 5.

SHEET 4 OF 5

CITY OF RALEIGH
PUBLIC WORKS DEPARTMENT

REVISIONS	DATE	7/3/00	DRAWN BY: JTB
5/3/04 JTT			
8/2/06 JTT			
1/17/07 WJP			
5/21/07 JTT			

SIDWALK ACCESS RAMP
STD. # 20.11



STREETSCAPE STANDARDS

Sidewalk Paving

East Side Within the twelve to fifteen foot right-of-way strip from the curb to building wall, a coordinated pattern of concrete paving with a scored grid and concrete unit pavers should be used. Several pavement patterns are recommended to allow design interest and flexibility. As a unifying element, a continuous five-foot wide concrete sidewalk should extend along the block face. The concrete sidewalk may be broken with unit pavers only at primary building entrances. A consistent pattern of concrete paving and unit pavers should be used along the entire length of a single block face. Below are several recommended pavement patterns and recommended unit pavers.

West Side The existing five foot sidewalk should be retained with repairs made where needed. In existing urban settings, such as between Lane and North Streets, or when new development is brought up to the sidewalk, the pavement design recommended for the east side of Glenwood should be used.

On both sides of the street where driveways cross the sidewalk, the concrete sidewalk pavement pattern should be continued across the drive. A ramp type driveway design should be used to prevent interruption of the sidewalk with handicap ramps down to the driveway.

Curbing

Granite curbs are present along the majority of the Glenwood streetscape and should be preserved as redevelopment occurs. Unused curb cuts and areas where the curb has been replaced with concrete should be restored to match existing granite curbs. Existing granite curbs should be excavated and reset when sidewalks are repaired to reestablish a six-inch street curb.

Glenwood South Streetscape and Parking Plan 5

Street Trees

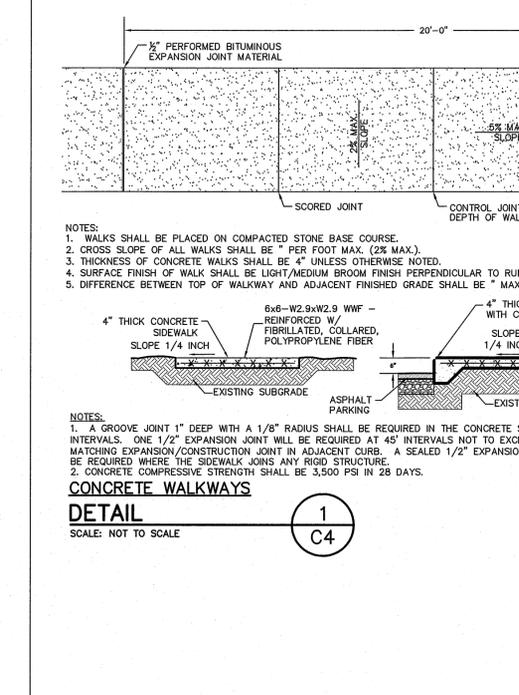
The recommended street tree for this section of Glenwood Avenue is the 'Evelyn' hedge maple (Acer campestre 'Evelyn'). This tree was selected for its ability to adapt to urban environmental conditions and its upright branching habit. The branches are slender and branch profusely to create a fine texture particularly during winter. The tree species reaches a mature height of 30 to 35 feet.

Tree planting size should be 2" to 2.5" caliper and be spaced 20' to 40' on center in 4' by 12' planters as shown below. Tree placement should relate to the architectural elements of the adjacent buildings and be coordinated with business uses so as not to interfere with loading and visibility needs. An open tree planter measuring 4 feet by 12 feet should be used for each tree. The existing soil should be removed from the planter to a depth of 3 feet and replaced with a clay loam soil mix to provide adequate root zone. Groundcovers are encouraged in the planters to soften the street edge and provide site interest. English ivy or liriope should be used as a base planting with seasonal annual plantings maintained by the property owner.

Street Tree Details

Glenwood South Streetscape and Parking Plan 6

CONCRETE WALKWAYS



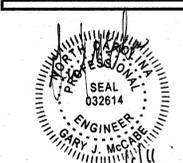
**603 GLENWOOD
SITE DETAILS**

REVISIONS: _____ **DATE:** _____

ISSUED FOR: _____ **DATE:** _____

PROJECT NO.: 11-015
DRAWN BY: JAT
REVIEWED BY: GJM

SHEET NUMBER:
C4
OF 4 SHEETS



PRELIMINARY DRAWING
NOT RELEASED FOR
CONSTRUCTION

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603 GLENWOOD
RALEIGH, NORTH CAROLINA
SITE DETAILS