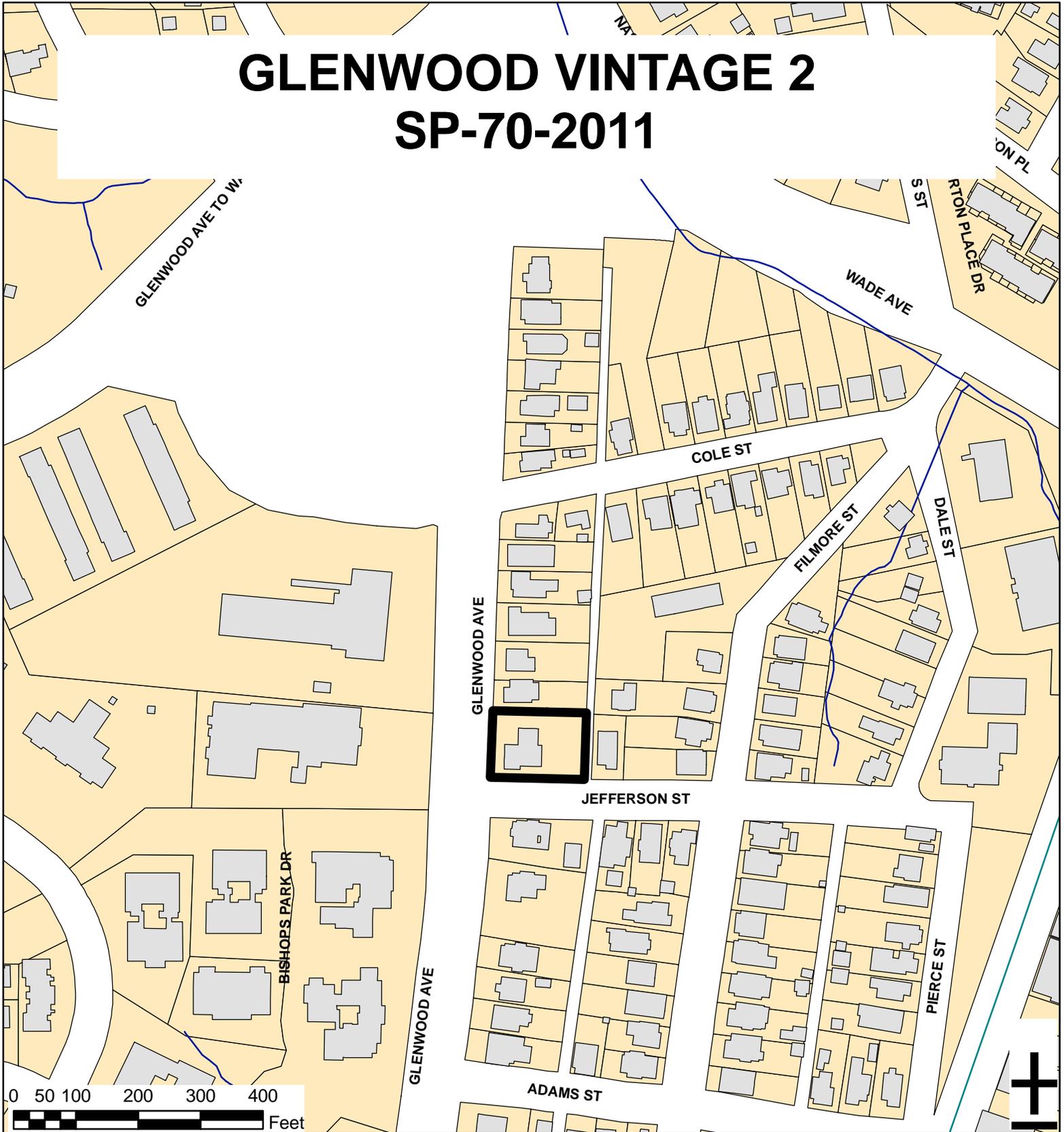


GLENWOOD VINTAGE 2

SP-70-2011



Zoning: **SP R-30**
CAC: **FIVE POINTS**
Drainage **PIGEON HOUSE**
Basin:
Acreage: **0.33**

Number of Units:
Planner:
Phone:
Applicant Contact:
Phone:

6
JAMES MARAPOTI
(919) 516-2642
CLEARSCAPES
(919) 821-2775



Development SERVICES

FIRE • INSPECTIONS • PLANNING
PUBLIC UTILITIES • PUBLIC WORKS

Customer Service Center
One Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-516-2495
Fax 919-516-2685

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Site Plans for Planning Commission or City Council <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing * <input checked="" type="checkbox"/> Multifamily (Infill)*	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Infill Subdivision* <input type="checkbox"/> Infill Recombination* <input type="checkbox"/> Cluster Subdivision <input type="checkbox"/> Expedited Subdivision Review	Transaction Number 319486 SP-10-2011
* May require Planning Commission or City Council Approval		

Section A

GENERAL INFORMATION

Development Name Glenwood Vintage 2

Proposed Use Multifamily Residential

Property Address(es) 1300 Glenwood Avenue

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1704449653

P.I.N.

P.I.N.

P.I.N.

What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe:

PRELIMINARY ADMINISTRATIVE REVIEW	Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively <u>not</u> requiring Planning Commission or City Council approval. N/A		
PLANNING COMMISSION OR CITY COUNCIL REVIEW	Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval. Per 10-2132.2, Multifamily dwelling developments...within a residential zoning district on any lot less than two (2) acres in area.		
CLIENT (Owner or Developer)	Company Glenwood Vintage LLC		
	Name (s) Jeff Marcus		
	Address 4441 Six Forks Road #106-140, Raleigh NC 27609		
	Phone 919.622.1923	Email jeff@buildwv.com	Fax
CONSULTANT (Contact Person for Plans)	Company Clearscapes, PA		
	Name (s) Fred Belledin, AIA		
	Address 311-200 West Martin Street		
	Phone 919.821.2775	Email fbelledin@clearscapes.com	Fax 919.821.0804

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Has your project previously been through the pre-submittal process? If yes, provide the transaction # 311133

Zoning Information	Building Information
Zoning District(s) SPR-30	Proposed building use(s) Multifamily Residential (Sixplex)
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross 2,000
Overlay District N/A	Proposed Building(s) sq. ft. gross 7,794
Total Site Acres 0.334 Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 9,794
Off street parking Required 11 Provided 11	Proposed height of building(s) 31-2
COA (Certificate of Appropriateness) case #	FAR (floor area ratio percentage) 0.68
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage 44% (site plans only)
CUD (Conditional Use District) case # Z-	

Stormwater Information

Existing Impervious Surface 4,536sf acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 9,880sf acres/square feet	If Yes, please provide
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030

Policy LU2.2 - The compact redevelopment pattern provides additional housing units in a contextually-appropriate manner in an existing neighborhood.

Policy LU5.1 - The design reinforces the existing scale, height, building spacing, setbacks, and building-to-street relationships in the neighborhood.

Policy LU8.3 - The design increases housing supply while preserving the existing neighborhood character.

Policy LU8.4 - The project preserves the existing 1915 house and removes a later addition to restore it to its original footprint.

Policy LU8.10 - The infill of an unusually large lot and an empty lot restores and reinforces the street pattern of the neighborhood.

Policy UD5.1 - The design reinforces the established character of the neighborhood.

Policy UD5.4 - The site layout and architectural design are derived directly from the existing neighborhood development patterns.

Policy HP2.4 - The project is a compatible and sensitive infill development that respects the existing neighborhood scale, spacing, and character.

Policy HP3.2 - The project maintains the existing 1915 house.

Policy HP3.4 - The existing neighborhood building scale, height, spacing, setbacks, and building-to-street relationships were mapped and used as the basis for the site layout and the architectural design.

PLEASE SEE THE ATTACHED CONTEXTUAL MAPPING OF THE EXISTING NEIGHBORHOOD.

FOR SUBDIVISIONS, MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY

1. Total # Of Townhouse Lots 0 Detached 0 Attached 0	11. Total number of Open Space (only) lots 0
2. Total # Of Single Family Lots 0	12. Total number of all lots 1
3. Total # Of Apartment Or Condominium Units 6	13. Is your project a cluster unit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
4. Total # Of Congregate Care Or Life Care Dwelling Units 0	If Yes, please answer the questions below:
5. Total # Of Mobile Home Lots 0	
6. Total Number of Hotel Units 0	
7. Overall Total # Of Dwelling Units (1-6 Above) 6	
8. Bedroom Units 1br 1 2br 5 3br 0 4br or more 0	
9. Overall Unit(s)/Acre Densities Per Zoning District(s) 18	

SIGNATURE BLOCK (Applicable to all developments)

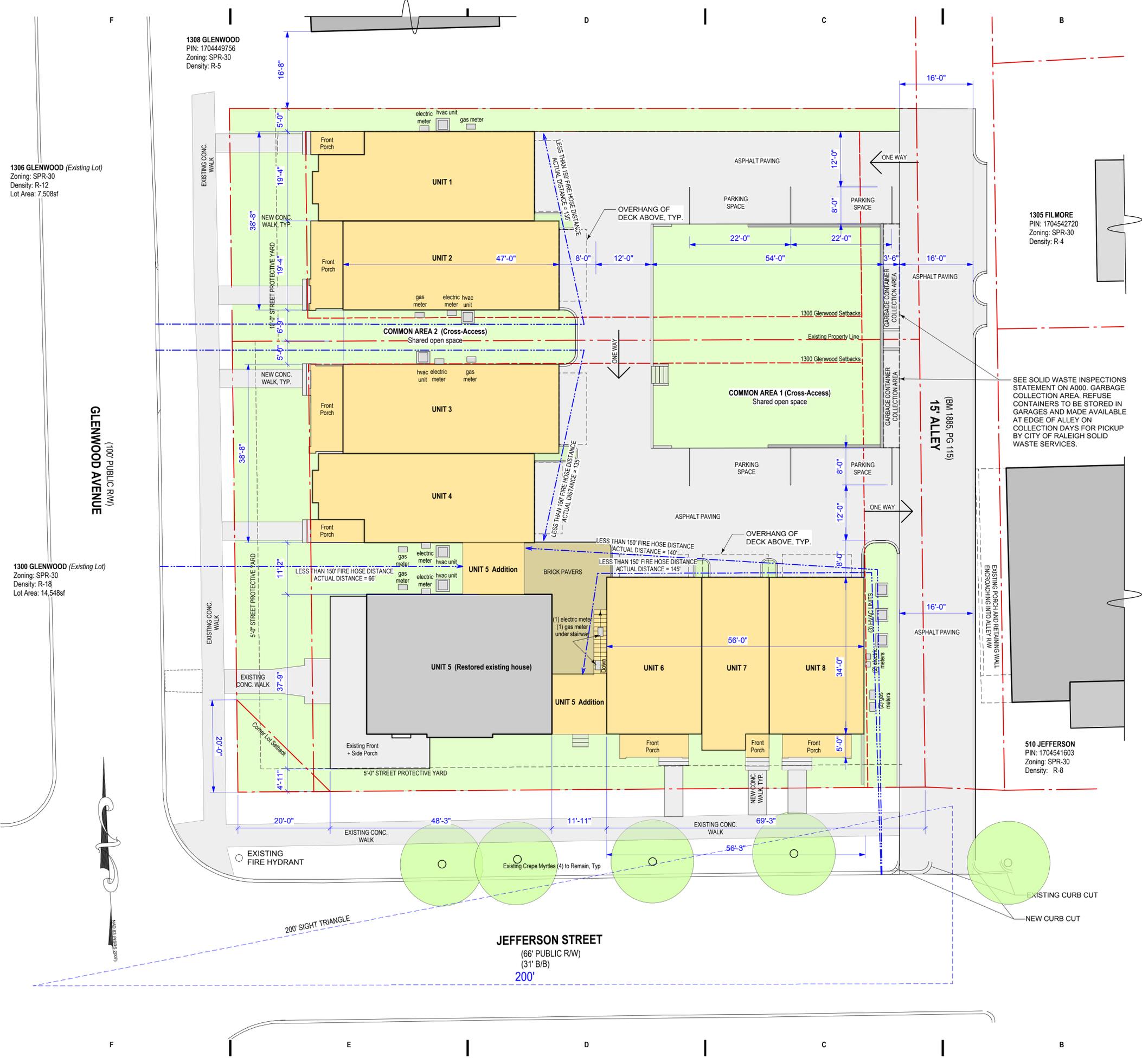
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate FRED BELLEDIN AIA, CLEARSCAPES to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed _____ Date 12/7/2011

Signed J.M. Mc _____ Date _____



1308 GLENWOOD
PIN: 1704449756
Zoning: SPR-30
Density: R-5

1306 GLENWOOD (Existing Lot)
Zoning: SPR-30
Density: R-12
Lot Area: 7,508sf

1300 GLENWOOD (Existing Lot)
Zoning: SPR-30
Density: R-18
Lot Area: 14,548sf

1305 FILMORE
PIN: 1704542720
Zoning: SPR-30
Density: R-4

SEE SOLID WASTE INSPECTIONS STATEMENT ON A000. GARBAGE COLLECTION AREA. REFUSE CONTAINERS TO BE STORED IN GARAGES AND MADE AVAILABLE AT EDGE OF ALLEY ON COLLECTION DAYS FOR PICKUP BY CITY OF RALEIGH SOLID WASTE SERVICES.

510 JEFFERSON
PIN: 1704541603
Zoning: SPR-30
Density: R-8

MASTER PLAN DEVELOPMENT

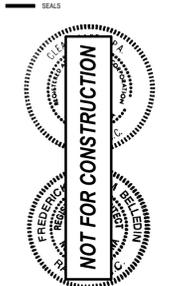
See A003 for Individual Lot Site Plan
See C001 for grading, drainage & utilities
See C003 for landscape

LEGEND

- Fire Hose Distance
- Property Line
- Building Setback
- Street Protective Yard Setback
- Existing Building
- Proposed New Building
- Proposed Landscape/Grass Area
- Proposed Hardscape Area
- Existing Tree to Remain

CLEARSCAPES
ARCHITECTURE PART
311-200 W. Martin Street
Raleigh, NC 27601
919.821.2775
919.821.0804 fax
artarc@clearscapes.com

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120 St. Mary's Street
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Fax 919.833.7636
Civil / Landscape Consultant
Blackburn Consulting Engineering
305 East Main Street
Clayton, NC 27520
Phone 919.553.2900
Fax 919.553.7298



Site Plan Submittal
2011/12/08

PROJECT
**GLENWOOD
BROOKLYN**

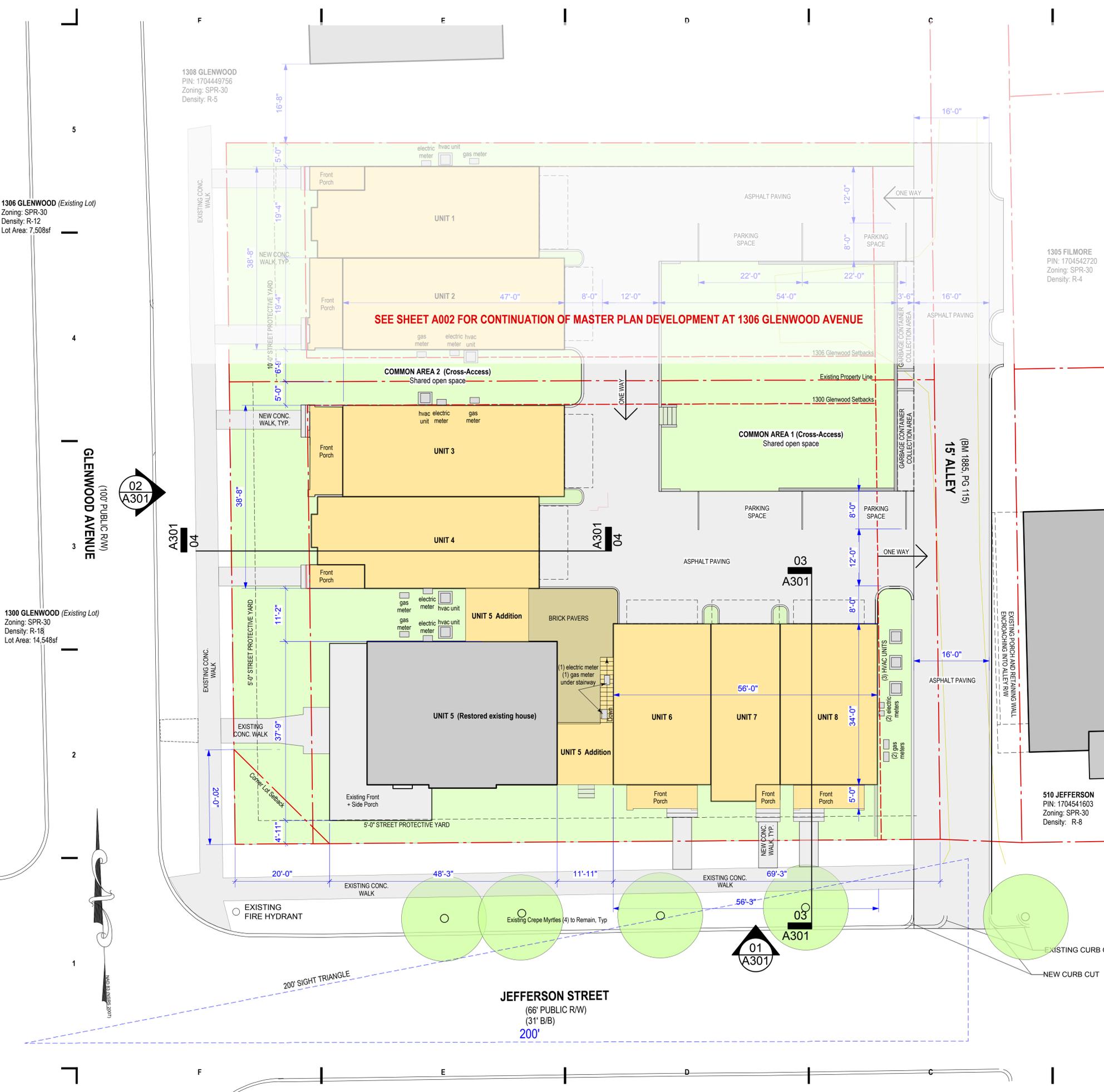
1300 GLENWOOD AVE.
Raleigh, NC

REVISIONS
NO. DATE OF REVISION

PROJECT DATA
DATE: 20111208
DRAWN: RW
CHECKED: FB
FILENAME: A000_CoverSheet
PROJECT NO: 2011-0140
PRINTING: CityofRaleighSitePlanSubmittal

SHEET DATA
**MASTER PLAN
DEVELOPMENT**

SHEET NO.
A002



City of Raleigh
 Site Plan Submittal Data
 Pre-Submittal Transaction #311133

Parcel Information
 1300 Glenwood (PIN 1704449653)

Minimum Lot Area Requirements 10-2073
 Required - 8,712sf (sixplex per 10-2073(b))
 Provided - 14,549sf

Setback Requirements 10-2075
 Required Front - 16-6 to 20-2 (>15-0 or within 10% median per calculations below)
 Provided Front - 16-6

Existing Building Setbacks for 1300 Block of Glenwood

- 20-1 - 1300 Glenwood
- 16-0 - 1308 Glenwood
- 17-8 - 1310 Glenwood
- 19-8 - 1312 Glenwood
- 12-8 - 1314 Glenwood
- 23-8 - 1316 Glenwood
- 18-4 - Average

Allowable range of +/- 10% = 16-6 to 20-2

Required Side - 5-0 (North side)
 Provided Side - 5-0 (North side)

Req Corner - Triangular area formed by line from points 20-0 from streets ROW lines
 Prov Corner - >Triangular area (See site plan)

Required Rear - 12-6 (20-0 less half of 15-0 alley ROW per 10-2075(d)(5))
 Provided Rear - >12-6

Height Requirements 10-2076

Max Allowed - 31-5 (12-0 more than existing structures within 30-0 per calculations below)
 Max Provided - 29-0 for Jefferson portion
 31-2 for Glenwood portion

Existing Building Heights within 30-0 of 1300 Glenwood

- 510 Jefferson @19-0 median grade to midpoint roof
- 1300 Glenwood @19-0 median grade to midpoint roof

Parking Requirements 10-2081

Required - 11 (Sixplex requires (2) per 2-bd unit)
 Provided - 11

A cross access agreement will be provided for the site. For both parcels combined, (13) spaces are required and (17) spaces are provided

Transitional Protective Yard Requirements 10-2082.9

Required - 10-0 (for med / low density - 5-0 w/ alt compliance similar to S-104-02)
 Adjoining lot line at 1308 Glenwood

Provided - 5-0 (with alternative means of compliance as described below)
 1300 Glenwood adjoins 1306 Glenwood to the north. 1306 Glenwood is currently a vacant lot. Per 10-2082.9(b)(3), 1300 and 1306 are both zoned SPR-30 and allow high-density residential use. 1300 and 1306 Glenwood are master-planned jointly as a small, contextual, multi-family infill community with shared outdoor open spaces and parking access. The area of the transition yard is fully occupied by these shared amenities.

Open Space Requirements 10-2107, 10-2103(d)

Required - 1,455sf (10% of 14,548sf n.i.c. dedicated ROW)
 Provided - 1,477sf (1,184sf in Common Area 1 + 293sf in Common Area 2)

Stormwater Control Requirements 10-9021

Required - None per 10-9021(2) (less than 0.50 acre pre-existing lot)
 Provided - Voluntary above-ground detention w/ release at pre-development discharge rates

SPR-30 Conditional Use Requirements 10-2072

- (1) Required - Exterior materials, direction, dimension, and application to match two or more existing buildings on block face or on 1/3 of the block faces in the district
- (1) Provided - Horizontal cement board lap siding w/ panel accents, painted masonry foundation walls, asphalt shingle roofs with standing seam accents - see elevations for additional information
- (2) Required - Main roof w/ min 4:12 rise/run / roof style to match any house on block face
- (2) Provided - The main roof for the Glenwood structures is a 5:12 gable w/ ridge parallel to the building face (like 1308 Glenwood) and 9:12 accent gabled dormers. The main roof for the Jefferson structure is a 5:12 hip (like 1300 Glenwood) with 9:12 accent gabled dormers.
- (3) Required - Any four-sided windows w/ min 1.5:1 height:width ratio in locations visible from adjacent right-of-ways (n.i.c. alleys) -or- other window shapes allowed if they are found on the block face
- (3) Provided - Window proportions exceed 1.5:1
- (4) Required - Main building entrance locations consistent with (3) or more buildings on the block face
- (4) Provided - All dwelling units and their main entrances directly face the street, consistent with all existing houses on the block face
- (5) Required - 62-10 (2:1 max width to height ratio per (3) existing buildings per calcs below)
- (5) Provided - 56-6 (maximum visible building length)

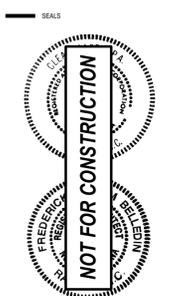
Selected Existing Building Width : Height Ratios for 1300 Block of Glenwood

- 1310 Glenwood 2.3:1 (35-0 Width : 15-0 Height)
- 1312 Glenwood 2.4:1 (36-0 Width : 15-0 Height)
- 1314 Glenwood 2:1 (30-0 Width : 15-0 Height)

- (6) Required - Building lot coverage <50% of net lot area
- (6) Provided - 44% (including all porches, balconies, and terraces)
- (7) Required - 20-0 transitional protective yard for vehicular surface areas with >4 spaces within 100-0 of a residential dwelling
- (7) Provided - N/A (Vehicular surface area does not have >4 spaces)

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Site Plan Submittal
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 GLENWOOD
 BROOKLYN

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PROPOSED SITE PLAN

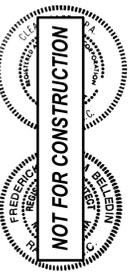
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SEALS



Site Plan Submittal
2011/12/08

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**GLENWOOD
BROOKLYN**

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SHEET DATA

**BUILDING ELEVATION
& SECTION**

SHEET NO.

A301

