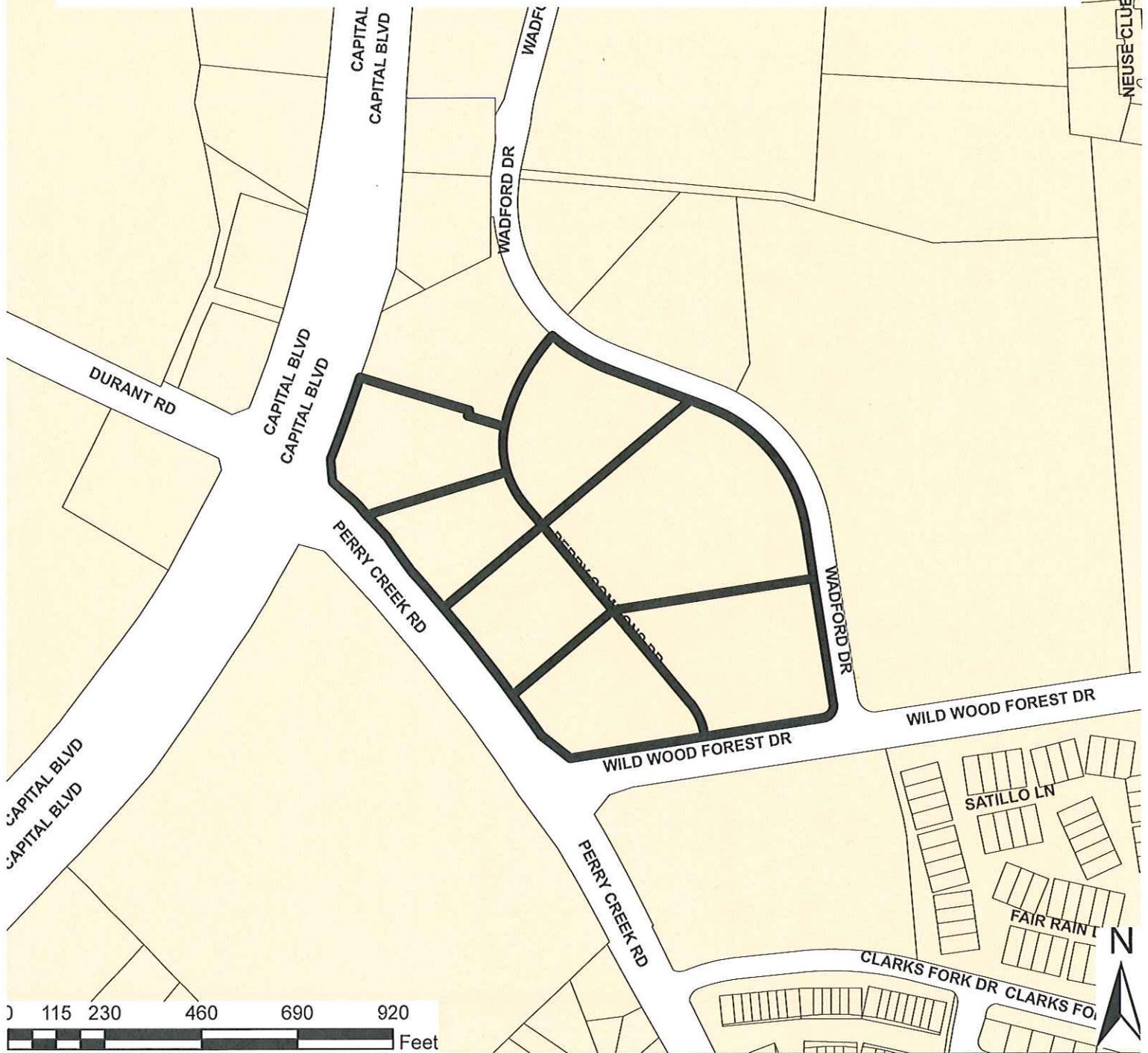


CARMAX - RALEIGH

SP-12-2012



Zoning: **TC-CUD**
CAC: **NORTHEAST**
Drainage **PERRY CREEK**
Basin:
Acreage: **17.61**

Number of Lots:
Planner:
Phone:
Applicant Contact:
Phone:

0
JAMES MARAPOTI
(919) 516-2642
SEPI ENGINEERING
(919) 789-9977



Development SERVICES

FIRE • INSPECTIONS • PLANNING
PUBLIC UTILITIES • PUBLIC WORKS

Sp. 12-2012

Customer Service Center
One Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-516-2495
Fax 919-516-2685

Grp# 272327

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Site Plans for Planning Commission or City Council <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing * <input type="checkbox"/> Multifamily (Infill)*	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Infill Subdivision* <input type="checkbox"/> Infill Recombination* <input type="checkbox"/> Cluster Subdivision <input type="checkbox"/> Expedited Subdivision Review	Transaction Number 528769
* May require Planning Commission or City Council Approval		

Section A

GENERAL INFORMATION

Development Name : Carmax - Raleigh

Proposed Use : Auto Dealership

Property Address(es) : 4100-4115 Perry Commons Drive

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1738008302, 1738009112 P.I.N. 1737190984, 1737192773 P.I.N. 1737195893, 1738104166 P.I.N. 1738101397

What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe: Vehicle Dealership

PRELIMINARY ADMINISTRATIVE REVIEW
Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively not requiring Planning Commission or City Council approval.

PLANNING COMMISSION OR CITY COUNCIL REVIEW
Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval. Vehicular surface areas and parking deck/garage that do not otherwise qualify as a plot plan under section 10-2132.1, that are located within four hundred (400) feet of a residential district, or a lot line of any lot containing any dwelling, congregate care or congregate living structure, or both.

CLIENT (Owner or Developer)

Company : Carmax Auto Superstores c/o Centerpoint Integrated Solutions

Name (s) : Amanda Steinle

Address : 1202 Bergen Parkway, Suite A250, Evergreen, CO 80439

Phone : (303) 679-6978 Email asteinle@centerpoint-is.com Fax : (303) 670-4172

CONSULTANT (Contact Person for Plans)

Company : SEPI Engineering and Construction, Inc.

Name (s) : Bill Piver, PE

Address : 1025 Wade Avenue Raleigh, NC 27605

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Has your project previously been through the pre-submittal process? If yes, provide the transaction # : 310488

Zoning Information	Building Information
Zoning District(s) TD-CUD	Proposed building use(s) Office, Sales, Car Wash
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross N/A
Overlay District N/A	Proposed Building(s) sq. ft. gross 52,162 sf
Total Site Acres 17.61 Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 52,162 sf
Off street parking Required 261 Provided 273	Proposed height of building(s) 39'
COA (Certificate of Appropriateness) case # N/A	FAR (floor area ratio percentage) 6.79%
BOA (Board of Adjustment) case # A-N/A	Building Lot Coverage percentage 6.79% (site plans only)
CUD (Conditional Use District) case # Z-62-95	

Stormwater Information

Existing Impervious Surface 0.17 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 10.90 acres/square feet	If Yes, please provide
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils N/A Flood Study N/A FEMA Map Panel # N/A

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030: The proposed project complies with Policy LU 7.4 of the Comprehensive Plan 2030 in that the development is of a similar scale to that of developments in the same district along Capital Boulevard.

FOR SUBDIVISIONS, MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY

1. Total # Of Townhouse Lots Detached Attached	11. Total number of Open Space (only) lots
2. Total # Of Single Family Lots	12. Total number of all lots
3. Total # Of Apartment Or Condominium Units	13. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
4. Total # Of Congregate Care Or Life Care Dwelling Units	If Yes, please answer the questions below:
5. Total # Of Mobile Home Lots	
6. Total Number of Hotel Units	
7. Overall Total # Of Dwelling Units (1-6 Above)	
8. Bedroom Units 1br 2br 3br 4br or more	
9. Overall Unit(s)/Acre Densities Per Zoning District(s)	
10. If your project is an infill subdivision, provide the infill calculations per City Code 10-3032 on the front cover of your drawing sets	
	a) Total number of Townhouse Lots
	b) Total number of Single Family Lots
	c) Total number of Group Housing Units
	d) Total number of Open Space Lots
	e) Minimum Lot Size
	f) Total Number of Phases
	g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No
	h) Must provide open space quotient per City Code 10-3071 (5)

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate Centerpoint Integrated Solutions _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed	<i>[Signature]</i> - CARIMAX	Date	4/5/2012
Signed		Date	

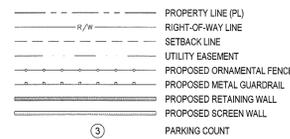
Section B					
TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>		✓		
2. <u>Preliminary Development Plan Application</u> completed and signed by the property owner	<input checked="" type="checkbox"/>		✓		
3. Client must complete and print page 1 and 2 of the <u>Preliminary Development Plan Application</u> to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
4. I have referenced the <u>Preliminary Development Plan Checklist</u> and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>				
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
c) Proposed Site, Subdivision Plan, or Recombination Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Tree Conservation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" =100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	<input checked="" type="checkbox"/>		✓		
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>				
10. Digital copy of only the plan and elevations, if applicable. The purpose of this image is to illustrate the basic character of the preliminary plan. It should contain only such basic information as: building outline, landscaping, parking and drives, stormwater facilities, and lot boundary. The digital image should be provided in the form of .pdf on a CD. If the plan was not digitally created, provide an 8 ½" x 11" reduction of the plan. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>				
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓	✓	
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓

20

GENERAL SITE NOTES

- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW.
- EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
- CONTRACTOR SHALL PUT INTO PLACE SUCH TEMPORARY EROSION CONTROL MEASURES AS INDICATED ON THE PLANS. THESE MEASURES SHALL BE INSPECTED AND EVALUATED DURING CONSTRUCTION OPERATION FOR THEIR EFFECTIVENESS IN PREVENTING EROSION MATERIAL AND SEDIMENT FROM DISCHARGING FROM THE WORK AREA. IF REQUIRED, AND AS DIRECTED BY THE CITY INSPECTOR, ADDITIONAL TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTITUTED AND INSTALLED.
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS MANUAL.
- PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT A COST TO THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
- ALL PARKING LOT STRIPING AND DIRECTIONAL ARROWS TO BE PAINTED REFLECTIVE WHITE, TWO COATS.
- ALL PAVING SHALL CONFORM WITH PAVING DETAIL ON DETAIL SHEET C-8.0.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE OWNER.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING AND PIPE INVERT ELEVATIONS PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT.
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- BUILDING DIMENSIONS SHOWN ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB ELEVATION OR NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- ALL RADI DIMENSIONS ARE TO BACK OF CURB AND HAVE A RADIUS OF 3' UNLESS OTHERWISE NOTED.

LEGEND



PIN: 1738008302

ZONED: THOROUGHFARE DISTRICT-CONDITIONAL USE (TD-CUD)

TOWNSHIP: NEUSE

EXISTING USE: VACANT

PROPOSED USE: CAR DEALERSHIP

SITE ACREAGE: 17.61± AC (PER DB 12700, PG. 1923)

SETBACK:
 REAR (EAST): 20'
 FRONT (WEST): 50'
 SIDE (NORTH & SOUTH): 0'

IMPERVIOUS SURFACE:
 FORMER LOT 5
 EXISTING: 0.15± AC
 PROPOSED: 1.27± AC
 TOTAL: 1.42± AC

FORMER LOT 6
 EXISTING: 0.00± AC
 PROPOSED: 1.08± AC
 TOTAL: 1.08± AC

SITE DATA

FORMER LOT	EXISTING	PROPOSED	TOTAL
FORMER LOT 7	0.00± AC	0.43± AC	0.43± AC
FORMER LOT 8	0.01± AC	0.72± AC	0.73± AC
FORMER LOT 9	0.00± AC	1.69± AC	1.69± AC
FORMER LOT 10	0.00± AC	3.67± AC	3.67± AC
FORMER LOT 11	0.01± AC	2.05± AC	2.07± AC
TOTAL	0.17± AC	10.92± AC	11.09± AC

VEHICULAR SURFACE AREA

EXISTING	PROPOSED	TOTAL
0.16± AC	9.29± AC	9.45± AC

PARKING

EXISTING	REQUIRED	PROPOSED	TOTAL
0 SPACES	1 SPACE/200 SF BUILDING GROSS	273 SPACES	273 SPACES

HANDICAPPED PARKING

REQUIRED	EXISTING	PROPOSED	TOTAL
2% OF TOTAL = 5.56 = 6 SPACES	0 SPACES	6 SPACES	6 SPACES



811
 3 WORKING DAYS BEFORE YOU DIG
 FOR THE LOCATION OF UNDERGROUND UTILITIES

Know what's below.
 Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

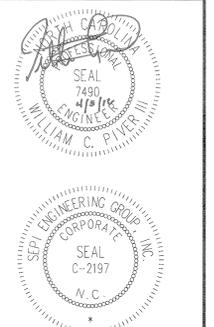
NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.

SEPI
 Engineering & Construction

1025 WADE AVENUE
 RALEIGH, NORTH CAROLINA 27607-7448
 919.789.9977

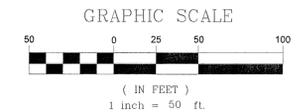
5960 FAIRVIEW RD., SUITE 102
 CHARLOTTE, NORTH CAROLINA 28217-4880
 704.714.6880

330 SHIPYARD BLVD., SUITE 203
 WILMINGTON, NORTH CAROLINA 28403-5215
 www.sepiengineering.com



SITE KEYNOTES

- A HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET C-8.0)
- B LIGHT DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET C-8.0)
- C 8" CONCRETE PAD (SEE DETAIL SHEET C-8.0)
- D HANDICAP PARKING (SEE DETAIL SHEET C-8.0)
- E HANDICAP SIGNAGE, SIGN TO BE "VAN ACCESSIBLE" (SEE DETAIL SHEET C-8.0)
- F 4" WIDE STRIPE, WHITE (TYP.)
- G 4" WIDE STRIPE, WHITE, 45° @ 2'-0" O.C.
- H DUMPSTER AND RECYCLING ENCLOSURE (SEE DETAIL SHEET C-9.0)
- I 18" CURB AND GUTTER (SEE DETAIL SHEET C-8.0)
- J RETAINING WALL (SEE ARCHITECTURAL / STRUCTURAL DRAWINGS)
- K BOLLARD (SEE DETAIL SHEET C-8.0)
- L 5" WIDE CONCRETE SIDEWALK
- M CONCRETE WHEEL STOP (SEE DETAIL SHEET C-8.0)
- N METAL GUARDRAIL (SEE DETAIL SHEET C-8.0)
- O ORNAMENTAL FENCE
- P STAMPED CONCRETE (SEE DETAIL SHEET C-8.0)
- Q SALES LOT SECURITY GATE (SEE SURFACE MOUNTED ROADWAY BARRIER (LH) DETAIL SHEET C-8.0)
- R STAGING AREA SECURITY GATE (SEE SURFACE MOUNTED ROADWAY BARRIER (LH) DETAIL SHEET C-8.0)
- S PRESENTATION LANE GATE (SEE SURFACE MOUNTED ROADWAY BARRIER (LH) DETAIL SHEET C-8.0)
- T 12" WIDE CITY OF RALEIGH PUBLIC DRAINAGE EASEMENT
- U UNDERGROUND FUEL STORAGE TANK
- V 10' x 70' SIGHT DISTANCE TRIANGLE (SEE NOTE 16 THIS SHEET)
- W DISPLAY DIRECTORY
- X DISPLAY KIOSK
- Y BICYCLE RACKS
- Z WASTE OIL / ANTIFREEZE
- AA 18" FLUSH CURB
- BB MAN GATE AT SITE WALL (SEE DETAIL SHEET C-9.0)
- CC ADA COMPLIANT ACCESSIBILITY RAMP (SEE DETAIL SHEET C-8.0)
- DD ABOVE GROUND FUEL PUMP
- EE 6" SCREEN WALL (SEE ARCHITECTURAL DRAWINGS)
- FF CONCRETE TRANSFORMER PAD (10' x 10')
- GG PROPOSED LIGHT LOCATION (SEE LIGHTING PLAN)



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION

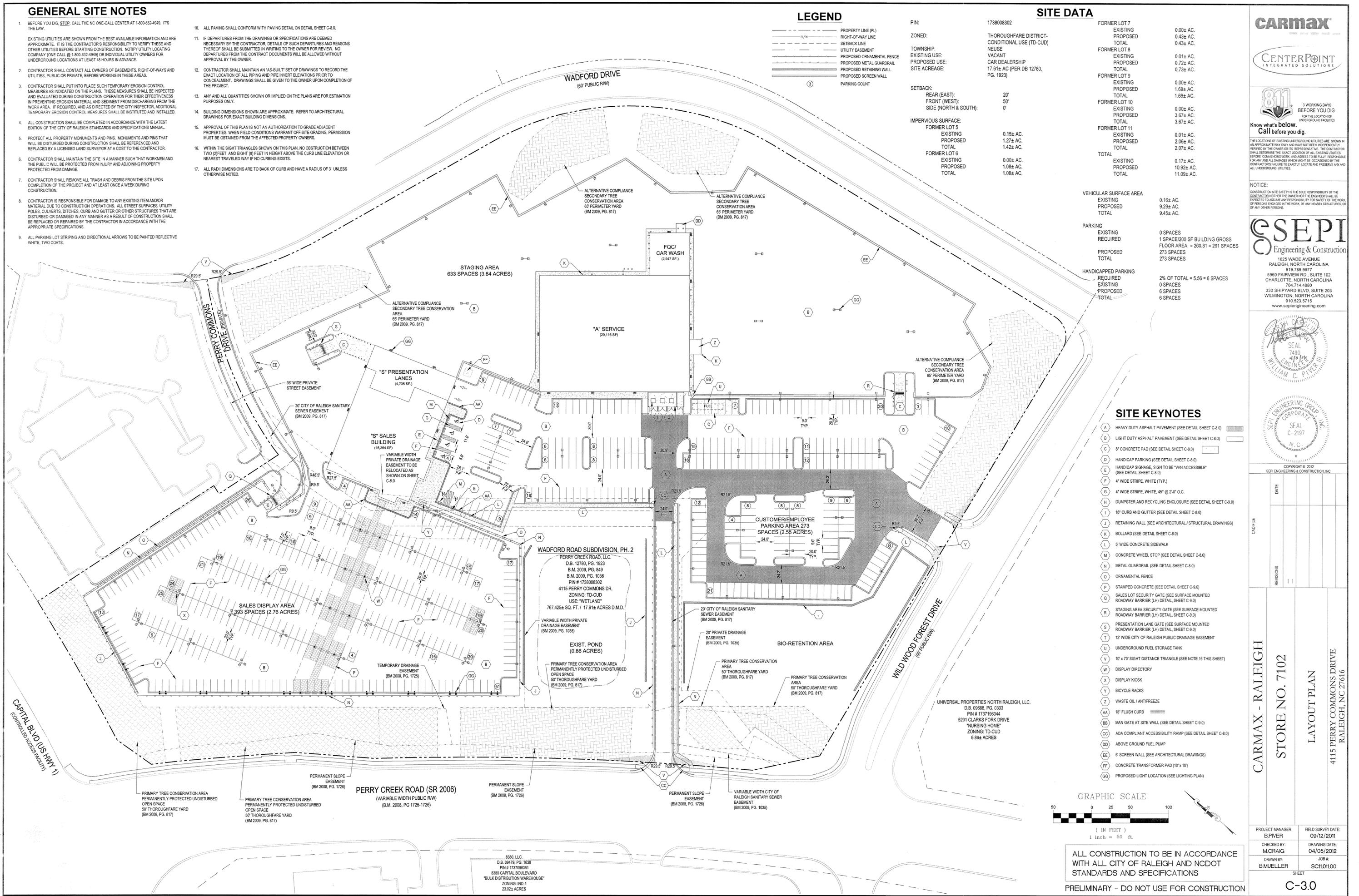
CARMAX - RALEIGH

STORE NO. 7102

LAYOUT PLAN

4115 PERRY COMMONS DRIVE
 RALEIGH, NC 27616

PROJECT MANAGER: B.PIVER	FIELD SURVEY DATE: 09/12/2011
CHECKED BY: M.CRAIG	DRAWING DATE: 04/05/2012
DRAWN BY: B.MUELLER	JOB #: SC1101100
SHEET C-3.0	



03/16/2012 11:31:11 AM - C:\Users\Bjorn\Documents\Projects\7102\7102-01\7102-01-01.dwg - C:\Users\Bjorn\Documents\Projects\7102\7102-01\7102-01-01.dwg