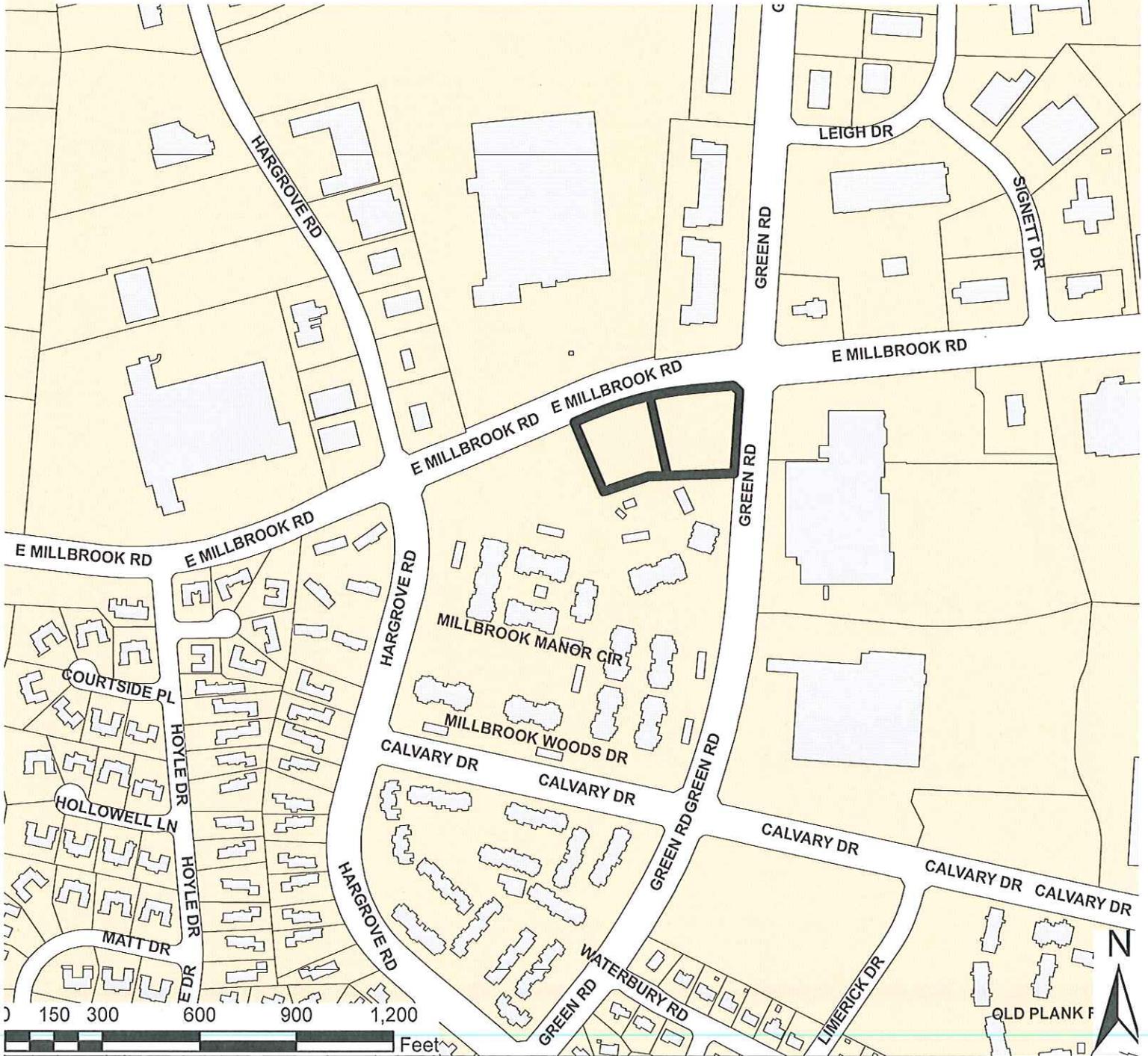


SHEETZ AT MILLBROOK ROAD

SP-18-2012



Zoning: **NB, CUD**
CAC: **ATLANTIC**
Drainage Basin: **MARSH CREEK**
Acreage: **2.65**

Number of Lots: **0**
Planner:
Phone:
Applicant Contact:
Phone:

MEADE BRADSHAW
(919) 516-2664
PABST & HILLBURN, PA
(919) 848-4399



Planning & Development

Customer Service Center
 One Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-516-2495
 Fax 919-516-2685

SP-18-2012

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Site Plans for Planning Commission or City Council <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing * <input type="checkbox"/> Multifamily (Infill)*	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Infill Subdivision* <input type="checkbox"/> Infill Recombination* <input type="checkbox"/> Cluster Subdivision <input type="checkbox"/> Expedited Subdivision Review	Transaction Number 332378 BOBANN
* May require Planning Commission or City Council Approval		

Section A

GENERAL INFORMATION

Development Name Sheetz at Millbrook Road

Proposed Use Retail / Eating Establishment w/Drive-Thru

Property Address(es) 2710 E. Millbrook Road and 2724 E. Millbrook Road

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1726-24-1121

P.I.N. 1726-24-3155

P.I.N.

P.I.N.

What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe:

PRELIMINARY ADMINISTRATIVE REVIEW

Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively not requiring Planning Commission or City Council approval. n/a

PLANNING COMMISSION OR CITY COUNCIL REVIEW

Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval. Retail use w/in 400' of a residential use

CLIENT (Owner or Developer)

Company Sheetz, Inc.

Name (s) Tom Anastasi

Address 5700 Sixth Avenue, Altoona, PA 16602

Phone 919.437.9859

Email tanastas@sheetz.com

Fax n/a

CONSULTANT (Contact Person for Plans)

Company Pabst & Hilburn, PA

Name (s) P. Dan Pabst, PE

Address 911 Paverstone Drive, Suite E, Raleigh, NC 27615

Phone 919.848.4399

Email pdpabst@pabsthilburn.com

Fax 919.848.4395

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Has your project previously been through the pre-submittal process? If yes, provide the transaction # 329145

Zoning Information	Building Information
Zoning District(s) CUD Neighborhood Business	Proposed building use(s) Retail/Eating Establishment w/ Drive-Thru
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross n/a
Overlay District n/a	Proposed Building(s) sq. ft. gross 6,489
Total Site Acres 2.646 Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 6,489
Off street parking Required 43 Provided 43	Proposed height of building(s) 24' 7"
COA (Certificate of Appropriateness) case # n/a	FAR (floor area ratio percentage) 5%
BOA (Board of Adjustment) case # A-n/a	Building Lot Coverage percentage 62% (site plans only)
CUD (Conditional Use District) case # Z-n/a	

Stormwater Information

Existing Impervious Surface 0.09 acres / 3,920 square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 1.447 acres / 71,763 square feet	If Yes, please provide Alluvial Soils Flood Study FEMA Map Panel #
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030 The preliminary site plan provides design elements which conform to the 2030 comprehensive plan.

FOR SUBDIVISIONS, MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY

1. Total # Of Townhouse Lots Detached Attached	11. Total number of Open Space (only) lots
2. Total # Of Single Family Lots	12. Total number of all lots
3. Total # Of Apartment Or Condominium Units	13. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
4. Total # Of Congregate Care Or Life Care Dwelling Units	If Yes, please answer the questions below: a) Total number of Townhouse Lots b) Total number of Single Family Lots c) Total number of Group Housing Units d) Total number of Open Space Lots e) Minimum Lot Size f) Total Number of Phases g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No h) Must provide open space quotient per City Code 10-3071 (5)
5. Total # Of Mobile Home Lots	
6. Total Number of Hotel Units	
7. Overall Total # Of Dwelling Units (1-6 Above)	
8. Bedroom Units 1br 2br 3br 4br or more	
9. Overall Unit(s)/Acre Densities Per Zoning District(s)	
10. If your project is an infill subdivision, provide the infill calculations per City Code 10-3032 on the front cover of your drawing sets	

SIGNATURE BLOCK (Applicable to all developments)

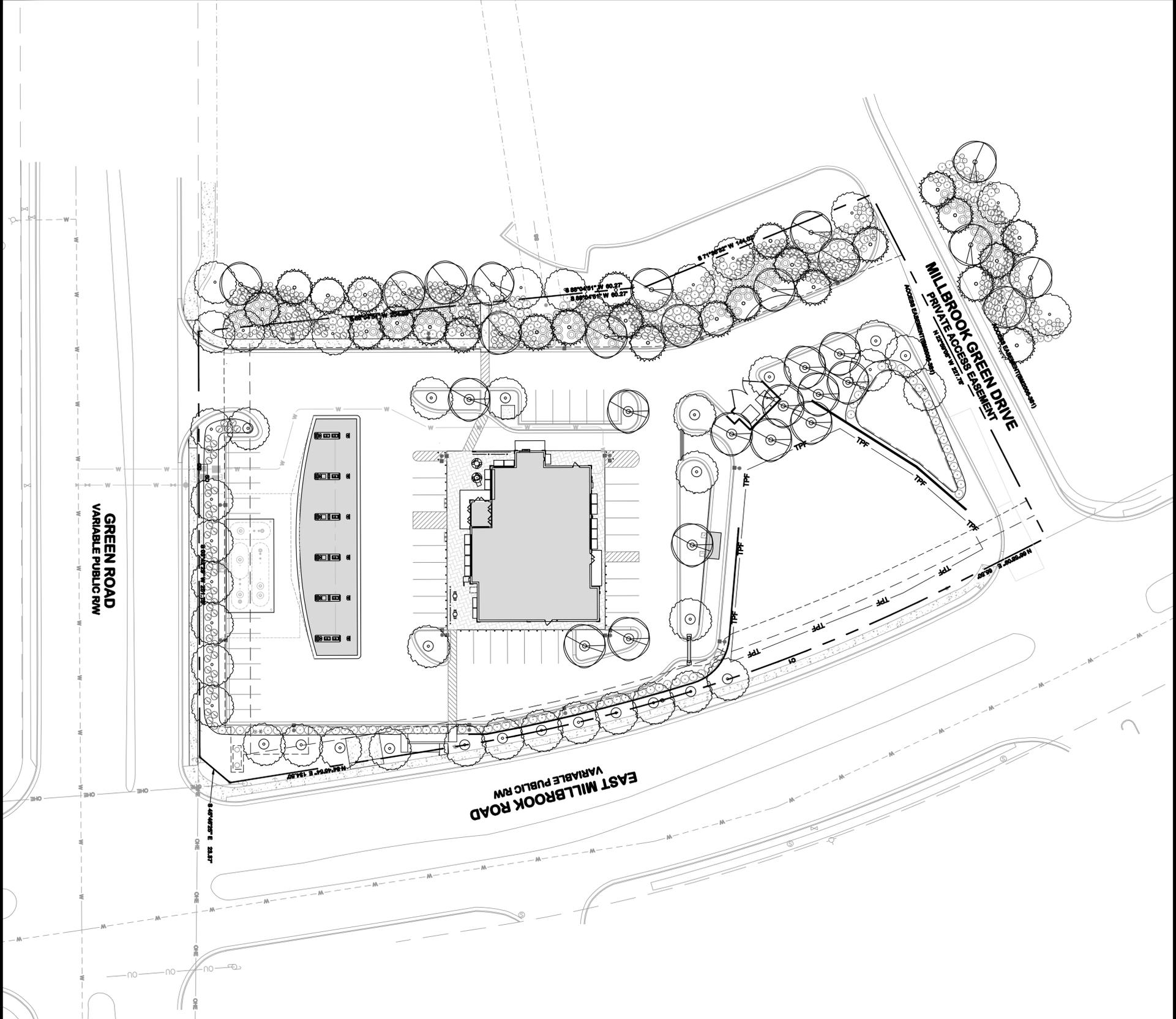
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate P. Dan Pabst, PE P.D.P. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

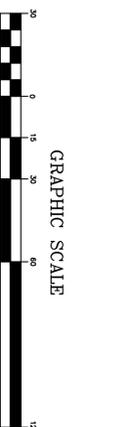
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed Chris Woody Date 5/7/12
Signed _____ Date _____

Section B		TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
		YES	N/A	YES	NO	N/A
General Requirements						
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>			
2. Preliminary Development Plan Application completed and signed by the property owner	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>			
3. Client must complete and print page 1 and 2 of the Preliminary Development Plan Application to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
4. I have referenced the Preliminary Development Plan Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>					
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>					
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>					
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
c) Proposed Site, Subdivision Plan, or Recombination Plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>			
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
f) Proposed Tree Conservation Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>			
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>			
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>			
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>					SEE COMMENTS ATTACHED
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>					
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>				<input checked="" type="checkbox"/>
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			



**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**



- GENERAL PLANTING NOTES:**
- All landscaping shall be installed according to sound nursery practices and shall meet standards as stated in the latest edition of American Standard Nursery Stock.
 - Plant list quantities are provided for convenience only. In the event of quantity discrepancies, the drawings shall take precedence.
 - No substitutions shall be made without written authorization from the owner or landscape designer.
 - Contractor shall have utility company locate all utilities prior to digging. Contractor shall be responsible for all damages incurred by his/her work.
 - Methods of tree seating indicated on the drawings are suggestive only. The contractor shall determine the most appropriate method for the site. The contractor will be held liable for any damages caused to trees by improper seating methods (or absence of seating) and is responsible for uprighting and replanting trees which are blown over.
 - All areas not shown as hard surfaces, plant beds, mulched or undisturbed areas, shall be seeded or sodded as lawn with "Turf" or "Confederate Plus" or "Lawn" Tall Turf Type grasses for in all areas in light of way up to the curb.
 - All landscape beds contain mulched and shall be type shredded hardwood mulch at a thickness of 3".
 - All landscape beds shall have positive drainage away from all structures.
 - All plant beds shall be treated with pre-emergent weed control (i.e. Trifluralin granules).
 - All plants shall be in accordance with the latest edition of the American Association of Nurserymen and shall be vigorous, healthy material free of disease and pest free quantities as shown on the plant list shall be the responsibility of the planting contractor, and the total quantities shall be required on the planting plan.
 - Owners shall maintain all plant beds and plant material in good health, and any dead, unhealthy or missing plants shall be replaced with the same plant material originally specified on the plan.
 - Plant material on this site must be installed in conformance with the general planting notes and details on this plan or to the standards of the City of Raleigh.
 - Landscape contractor is responsible for all required permits and licenses to perform the required work.
 - Per the City of Raleigh Code of Ordinances, all shrubs shall be installed at 18" and must reach a height and spread of 30" within 3 years.
 - All parking spaces are within 50' of a single canopy tree or are within 75' of a group of 2 or more canopy trees.
 - Per the City of Raleigh Code of Ordinances, there must be 6" caliper per 50 tree feet of protective streetcans.

LANDSCAPE CALCULATIONS

18' Average Protective Streetcans (Millbrook Road)

Total linear feet of S.Y. = 629 L.F.	1028 (Rounding up to 11)
6" DBH required per 50' of S.Y. = 18x DBH = 624"	57 Total DBH required
Number of trees provided = 10	10 Trees at 4" caliper

Trees with Secondary Tree Conservation Area are being used to meet the minimum Streetcans requirement.

18' Average Protective Streetcans (Green Road)

Total linear feet of S.Y. = 244 L.F.	488 (Rounding up to 5)
Total linear feet of S.Y. divided by 50' = 244 L.F./50' = 4.88	30 Total DBH required
6" DBH required per 50' of S.Y. = 546"	8 Trees at 4" caliper
Number of trees provided = 304"	8 Trees at 4" caliper
Number of trees provided = 304"	

Traditional Protective Yards

407 Type "X" Traditional Protective Yard

Required: 180 evergreen shrubs planted per 100 L.F.	
Yard A (South property line) 391 L.F.	39
Trees Provided (391 L.F./100 L.F.=3.91) x10	39
Shrubs Provided (391 L.F./100 L.F.=3.91) x100	390
Shrubs Provided	629

Yard B (East property line) 120 L.F.

Trees Required(120 L.F./100 L.F.=1.2) x10	12
Shrubs Provided	12
Shrubs Required(120 L.F./100 L.F.=1.2) x100	182
Shrubs Provided	182

Vehicle Turnout Area

Trees Provided (1/2,000 sf) x 55,896	27
Trees Provided	27
Shrubs Provided (1/ 500 sf) x 65,866	108
Shrubs Provided	108

<p>ILLUST DRAWING SHEET PROJECT NUMBER 181-11</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	DATE				<p>PREPARED FOR : SHEETZ, INC. 5700 SIXTH AVENUE ALTOONA, PA 16602</p> <p>DATE : 12/16/11</p> <p>PROJECT ENGINEER: PDP</p> <p>PROJECT CADD DESIGNER: PDP</p> <p>PROJECT SURVEYOR: M.TS. LAND SURVEYING</p>	<p>SHEETZ AT MILLBROOK ROAD RALEIGH, NC, WAKE COUNTY</p> <p>PRELIMINARY DRAWING ILLUSTRATIVE PLAN</p>	<p>SEAL:</p>	<p>PABST & HILBURN, PA ENGINEERING & CONSULTING</p> <p>911 Paverstone Drive, Suite E Raleigh, North Carolina 27615 Phone: 919.848.4399 Fax: 919.848.4395</p>
NO.	REVISION	DATE									