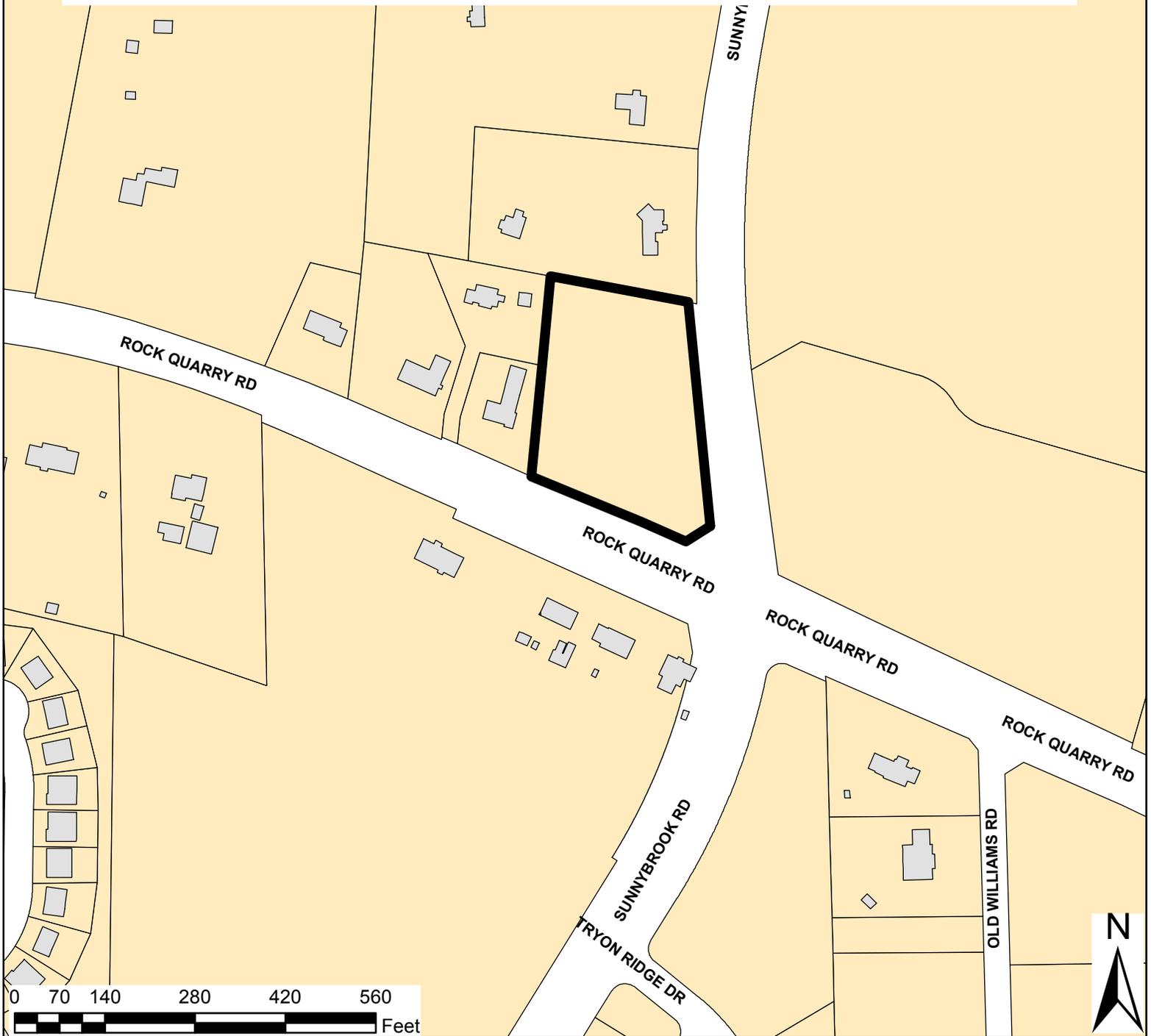


# SUNNYBROOK GAS STATION SP-29-2012



Zoning: **NB,CUD W/SHOD-1**  
CAC: **South**  
Drainage Basin: **Big Branch**  
Acreage: **1.96**

Number of Lots: **0**  
Planner: **James Marapoti**  
Phone: **(919) 516-2642**  
Applicant Contact: **Bass, Nixon and Kennedy**  
Phone: **(919) 851-4422**



# Planning & Development

SP-29-12

**Customer Service Center**  
 One Exchange Plaza, Suite 400  
 Raleigh, North Carolina 27601  
 Phone 919-516-2495  
 Fax 919-516-2685

## Preliminary Development Plan Application

SP-29-2012

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Site Plans for Planning Commission or City Council <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing * <input type="checkbox"/> Multifamily (Infill)*	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Infill Subdivision* <input type="checkbox"/> Infill Recombination* <input type="checkbox"/> Cluster Subdivision <input type="checkbox"/> Expedited Subdivision Review	Transaction Number  337829
* May require Planning Commission or City Council Approval		

### Section A

#### GENERAL INFORMATION

Development Name **Sunnybrook Gas Station**

Proposed Use **Convenience Store**

Property Address(es) **2418 Sunnybrook Road**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: **1722-27-6122**

P.I.N.	P.I.N.	P.I.N.	P.I.N.

What is your project type?  Apartment  Banks  Elderly Facilities  Hospitals  Hotels/Motels  Industrial Building  
 Mixed Residential  Non-Residential Condo  Office  Religious Institutions  Residential Condo  Retail  School  Shopping Center  
 Single Family  Telecommunication Tower  Townhouse  Other: If other, please describe:

<b>PRELIMINARY ADMINISTRATIVE REVIEW</b>	Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed <b>administratively not</b> requiring Planning Commission or City Council approval.
<b>PLANNING COMMISSION OR CITY COUNCIL REVIEW</b>	Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval. <b>Retail use within 400' of residential use</b>
<b>CLIENT (Owner or Developer)</b>	Company <b>Earth Petroleum VI Inc.</b>
	Name (s) <b>Ricky Patel</b>
	Address <b>3945 Goldsboro Road, Wade, NC 28395</b>
	Phone _____ Email _____ Fax _____
<b>CONSULTANT (Contact Person for Plans)</b>	Company <b>Bass, Nixon &amp; Kennedy, Inc.</b>
	Name (s) <b>Danny L. Howell, Jr., PE</b>
	Address <b>6310 Chapel Hill Rd. Suite 250, Raleigh, NC 27607</b>

Phone # 919-851-4422  
 Danny.Howe@abncinc.com

**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

**Has your project previously been through the pre-submittal process? If yes, provide the transaction #**

Zoning Information	Building Information
Zoning District(s) NB CUD	Proposed building use(s) Convenience Store
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross -0-
Overlay District	Proposed Building(s) sq. ft. gross 6,000 SF
Total Site Acres 1.96 Inside City Limits <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 6,000 SF
Off street parking Required 30 Provided 32	Proposed height of building(s) 13' - 6 1/2"
COA (Certificate of Appropriateness) case # N/A	FAR (floor area ratio percentage) 0.017
BOA (Board of Adjustment) case # A- N/A	Building Lot Coverage percentage 0.07 (site plans only)
CUD (Conditional Use District) case # Z-01-12	

**Stormwater Information**

Existing Impervious Surface acres/square feet -0-	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 1.0 acres/square feet 43,603	<b>If Yes, please provide</b>
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

**CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)**

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030

Site is designated as Mixed Use on Comprehensive Plan. A convenience store in NB zoning is consistent with this designation.

**FOR SUBDIVISIONS, MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY**

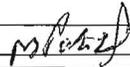
1. Total # Of Townhouse Lots Detached Attached N/A	11. Total number of Open Space (only) lots
2. Total # Of Single Family Lots	12. Total number of all lots
3. Total # Of Apartment Or Condominium Units	13. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
4. Total # Of Congregate Care Or Life Care Dwelling Units	<b>If Yes, please answer the questions below:</b>  a) Total number of Townhouse Lots b) Total number of Single Family Lots c) Total number of Group Housing Units d) Total number of Open Space Lots e) Minimum Lot Size f) Total Number of Phases g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No h) Must provide open space quotient per City Code 10-3071 (5)
5. Total # Of Mobile Home Lots	
6. Total Number of Hotel Units	
7. Overall Total # Of Dwelling Units (1-6 Above)	
8. Bedroom Units 1br 2br 3br 4br or more	
9. Overall Unit(s)/Acre Densities Per Zoning District(s)	
10. If your project is an infill subdivision, provide the infill calculations per City Code 10-3032 on the front cover of your drawing sets	

**SIGNATURE BLOCK (Applicable to all developments)**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate Danny L. Howell, Jr. PE to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed \_\_\_\_\_ Date \_\_\_\_\_  
 Signed  Date 7-16-12

**Section B**

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<b>General Requirements</b>					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>		✓		
2. <b>Preliminary Development Plan Application</b> completed and signed by the property owner	<input checked="" type="checkbox"/>		✓		
3. Client must complete and print page 1 and 2 of the <b>Preliminary Development Plan Application</b> to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>		✓	
4. I have referenced the <b>Preliminary Development Plan Checklist</b> and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
c) Proposed Site, Subdivision Plan, or Recombination Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Tree Conservation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals only – include all revision dates	<input checked="" type="checkbox"/>		✓		
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS

**SYMBOLS AND ABBREVIATIONS**

ABC	AGGREGATE BASE COURSE		EXISTING CURB INLET
ALUM	ALUMINUM		EXISTING GRATE INLET/YARD INLET
AST2	ALUMINIZED STEEL - TYPE 2		EXISTING FLARED END SECTION
B-B	BACK TO BACK		EXISTING FIRE HYDRANT
BOA	BLOW-OFF ASSEMBLY		EXISTING BLOW-OFF ASSEMBLY
C&G	CURB AND GUTTER		EXISTING GATE VALVE
CFS	CUBIC FEET PER SECOND		EXISTING REDUCER
CI	CURB INLET		EXISTING WATER METER
CL	CENTER LINE		EXISTING SAN SEWER MANHOLE
CMP	CORRUGATED METAL PIPE		EXISTING CLEAN OUT
CO	CLEAN OUT		EXISTING POWER POLE
COM	COMMUNICATION		EXISTING TELEPHONE PEDESTAL
CONC	CONCRETE		EXISTING AREA LIGHT
DCV	DOUBLE CHECK VALVE		EXISTING SIGN
DDCV	DOUBLE DETECTOR CHECK VALVE		NEW CURB INLET
DI	DROP INLET		NEW GRATE INLET/YARD INLET
DIP	DUCTILE IRON PIPE		NEW FLARED END SECTION
EASE	EASEMENT		NEW FIRE HYDRANT
ELEC	ELECTRIC		NEW BLOW-OFF ASSEMBLY
EX	EXISTING		NEW GATE VALVE
FES	FLARED END SECTION		NEW REDUCER
FH	FIRE HYDRANT		NEW WATER METER
FM	FORCE MAIN		NEW TEE
FT	FEET		NEW PLUG
FT/SEC	FEET PER SEC		NEW MANHOLE
GALV	GALVANIZED		NEW CLEAN OUT
GV	GATE VALVE		NEW SIGN
HCR	HANDICAP RAMP		IRON PIPE
HDPPE	HIGH DENSITY POLYETHYLENE		BENCHMARK
L	LENGTH		TEMP SILT FENCE
LF	LINEAR FEET		TEMP TREE PROTECTION FENCE
MH	MANHOLE		TEMP COMBINATION SILT/TREE PROTECTION FENCE
PAVE	PAVEMENT		TEMP DIVERSION DITCH
PE	FINISHED PAD ELEVATION		DISTURBED LIMITS
PP	POWER POLE		STREAM
PVC	POLYVINYL CHLORIDE		EXISTING GAS LINE
R	RADIUS		EXISTING COMMUNICATIONS LINE
R/W	RIGHT-OF-WAY		EXISTING UNDERGROUND TELEPHONE
RED	REDUCER		EXISTING UNDERGROUND ELECTRIC
RCP	REINFORCED CONCRETE PIPE		EXISTING OVERHEAD ELECTRIC
RPZ	REDUCED PRESSURE ZONE		EXISTING WATER LINE
SS	SANITARY SEWER		EXISTING SANITARY SEWER FORCE MAIN
STA	STATION		EXISTING SANITARY SEWER
TDD	TEMPORARY DIVERSION DITCH		EXISTING STORM DRAINAGE
TELE	TELEPHONE		NEW STORM DRAINAGE
TSB	TEMPORARY SEDIMENT BASIN		NEW WATER LINE
UG	UNDERGROUND		NEW SANITARY SEWER
W/L	WATER LINE		NEW SANITARY SEWER FORCE MAIN
WM	WATER METER		NEW GAS MAIN
YI	YARD INLET		HANDICAPPED ACCESSIBLE ROUTE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE CITY OF RALEIGH, AND UNLESS SPECIFIED, DEFERS TO THE NCDOT STANDARDS AND SPECIFICATIONS

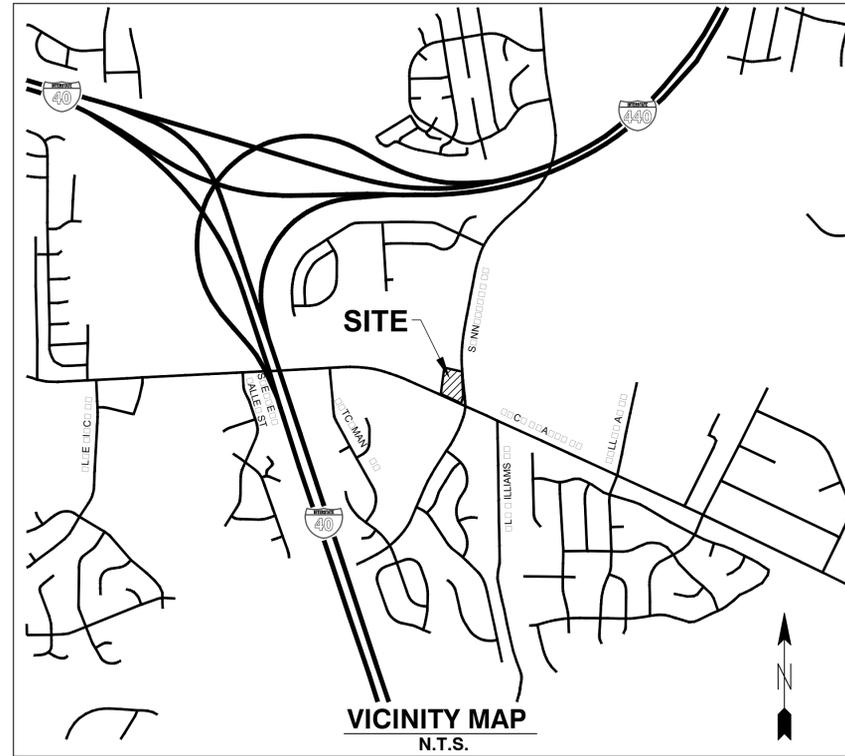
# SUNNYBROOK GAS STATION

## 2418 SUNNYBROOK ROAD

CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

### PRELIMINARY SITE PLAN SUBMITTAL

#### CITY OF RALEIGH PROJECT NO. \_\_\_\_\_



OWNER:

EARTH PETROLEUM VI INC  
3945 GOLDSBORO RD  
WADE, NC 28395

CONTACT: RICKY PATEL  
PHONE: (910) 391-5959  
EMAIL: earthpetro@gmail.com

SOLID WASTE INSPECTION STATEMENT

- 1) THIS DEVELOPER HAS REVIEWED, AND THESE PLANS ARE IN COMPLIANCE WITH, THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- 2) SITE WILL UTILIZE PRIVATE HAULER (DUMPSTER).



ENGINEER:



BASS, NIXON & KENNEDY, INC.  
CONSULTING ENGINEERS  
6310 CHAPEL HILL ROAD, SUITE 250  
RALEIGH, NORTH CAROLINA 27607  
TELEPHONE: (919) 851-4422 or (800) 354-1879  
FAX: (919) 851-8968  
CERTIFICATION NUMBERS: NCBELS (C-0110)  
NCBLA (C-0267)



CONTACT: DANNY HOWELL, PE  
EMAIL: Danny.Howell@BNKinc.com

**SHEET INDEX**

	COVER
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C1.1	SITE PLAN
C2.0	OVERALL UTILITY PLAN
C2.1	UTILITY PLAN
C3.1	GRADING AND DRAINAGE PLAN
C3.2	BMP PLAN
C3.3	EROSION CONTROL PLAN
C5.1	DETAILS
C5.2	DETAILS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
A101	FLOOR PLAN
A200	EXTERIOR ELEVATIONS

CITY OF RALEIGH PROJECT NO. \_\_\_\_\_

03-1186 SUNNYBROOK GAS STATION PRELIMINARY SITE PLAN SUBMITTAL

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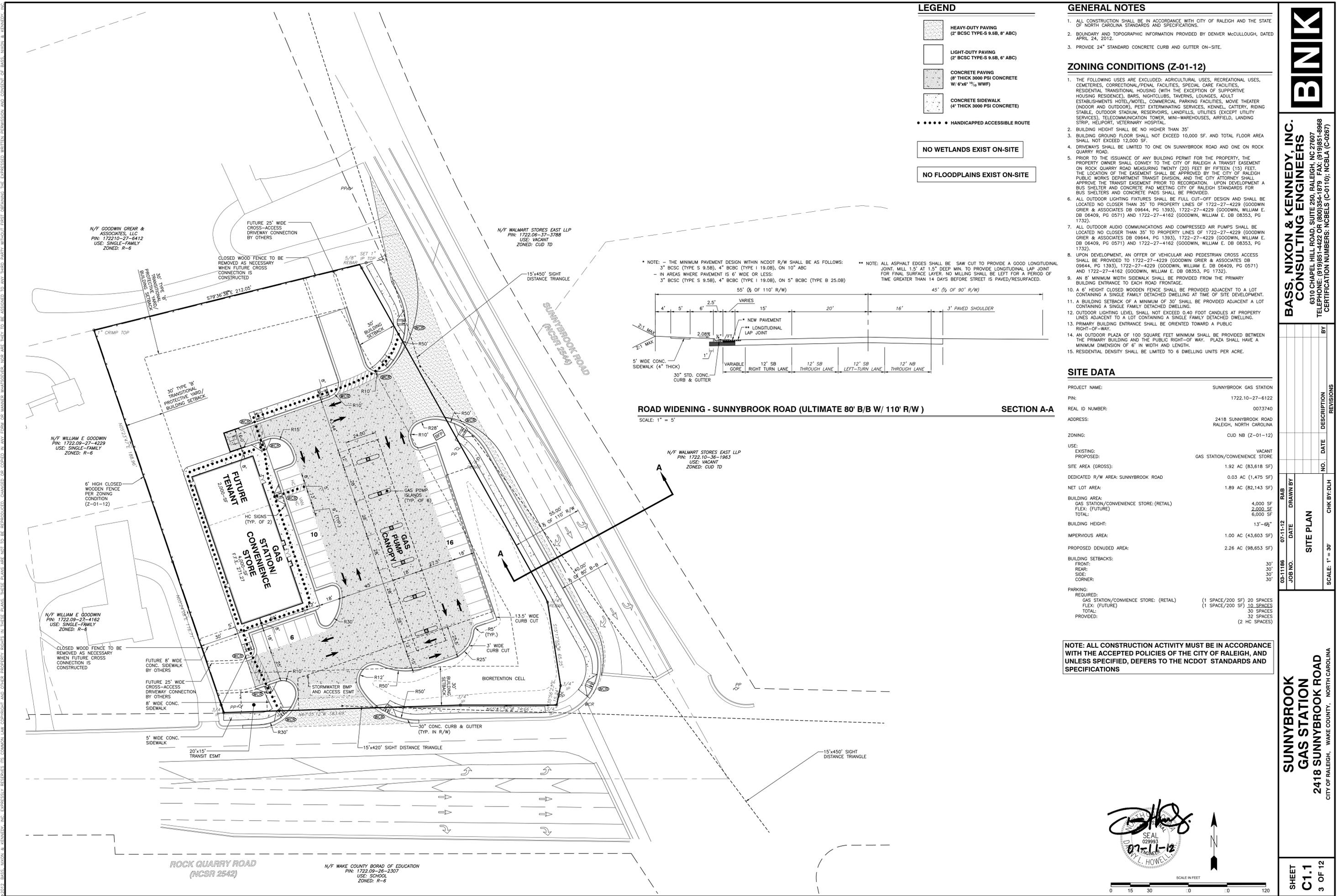
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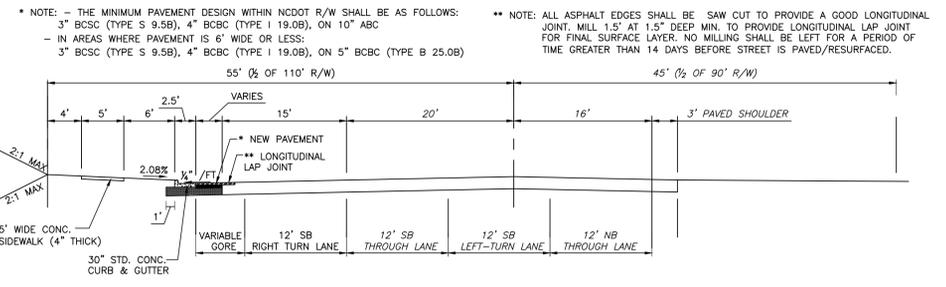
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LEGEND
HEAVY-DUTY PAVING (2" BCSC TYPE-S 9.5B, 8" ABC)
LIGHT-DUTY PAVING (2" BCSC TYPE-S 9.5B, 6" ABC)
CONCRETE PAVING (8" THICK 3000 PSI CONCRETE W/ 6"x6" 1/2 W/WF)
CONCRETE SIDEWALK (4" THICK 3000 PSI CONCRETE)
HANDICAPPED ACCESSIBLE ROUTE
NO WETLANDS EXIST ON-SITE
NO FLOODPLAINS EXIST ON-SITE



ROAD WIDENING - SUNNYBROOK ROAD (ULTIMATE 80' B/B W/ 110' R/W) SECTION A-A
SCALE: 1" = 5'

- GENERAL NOTES
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY DENVER McCULLOUGH, DATED APRIL 24, 2012.
3. PROVIDE 24" STANDARD CONCRETE CURB AND GUTTER ON-SITE.
ZONING CONDITIONS (Z-01-12)
1. THE FOLLOWING USES ARE EXCLUDED: AGRICULTURAL USES, RECREATIONAL USES, CEMETERIES, CORRECTIONAL/PENAL FACILITIES, SPECIAL CARE FACILITIES, RESIDENTIAL TRANSITIONAL HOUSING (WITH THE EXCEPTION OF SUPPORTIVE HOUSING RESIDENCE), BARS, NIGHTCLUBS, TAVERNS, LOUNGES, ADULT ESTABLISHMENTS HOTEL/MOTEL, COMMERCIAL PARKING FACILITIES, MOVIE THEATER (INDOOR AND OUTDOOR), PEST EXTERMINATING SERVICES, KENNEL, CATERING, RIDING STABLE, OUTDOOR STADIUM, RESERVOIRS, LANDFILLS, UTILITIES (EXCEPT UTILITY SERVICES), TELECOMMUNICATION TOWER, MINI-WAREHOUSES, AIRFIELD, LANDING STRIP, HELIPORT, VETERINARY HOSPITAL.
2. BUILDING HEIGHT SHALL BE NO HIGHER THAN 35'.
3. BUILDING GROUND FLOOR SHALL NOT EXCEED 10,000 SF. AND TOTAL FLOOR AREA SHALL NOT EXCEED 12,000 SF.
4. DRIVEWAYS SHALL BE LIMITED TO ONE ON SUNNYBROOK ROAD AND ONE ON ROCK QUARRY ROAD.
5. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT FOR THE PROPERTY, THE PROPERTY OWNER SHALL CONVEY TO THE CITY OF RALEIGH A TRANSIT EASEMENT ON ROCK QUARRY ROAD MEASURING TWENTY (20) FEET BY FIFTEEN (15) FEET. THE LOCATION OF THE EASEMENT SHALL BE APPROVED BY THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT TRANSIT DIVISION, AND THE CITY ATTORNEY SHALL APPROVE THE TRANSIT EASEMENT PRIOR TO RECORDATION. UPON DEVELOPMENT A BUS SHELTER AND CONCRETE PAD MEETING CITY OF RALEIGH STANDARDS FOR BUS SHELTERS AND CONCRETE PADS SHALL BE PROVIDED.
6. ALL OUTDOOR LIGHTING FIXTURES SHALL BE FULL CUT-OFF DESIGN AND SHALL BE LOCATED NO CLOSER THAN 35' TO PROPERTY LINES OF 1722-27-4229 (GOODWIN GRIER & ASSOCIATES DB 09644, PG 1393), 1722-27-4229 (GOODWIN, WILLIAM E. DB 06409, PG 0571) AND 1722-27-4162 (GOODWIN, WILLIAM E. DB 08353, PG 1732).
7. ALL OUTDOOR AUDIO COMMUNICATIONS AND COMPRESSED AIR PUMPS SHALL BE LOCATED NO CLOSER THAN 35' TO PROPERTY LINES OF 1722-27-4229 (GOODWIN GRIER & ASSOCIATES DB 09644, PG 1393), 1722-27-4229 (GOODWIN, WILLIAM E. DB 06409, PG 0571) AND 1722-27-4162 (GOODWIN, WILLIAM E. DB 08353, PG 1732).
8. UPON DEVELOPMENT, AN OFFER OF VEHICULAR AND PEDESTRIAN CROSS ACCESS SHALL BE PROVIDED TO 1722-27-4229 (GOODWIN GRIER & ASSOCIATES DB 09644, PG 1393), 1722-27-4229 (GOODWIN, WILLIAM E. DB 06409, PG 0571) AND 1722-27-4162 (GOODWIN, WILLIAM E. DB 08353, PG 1732).
9. AN 8' MINIMUM WIDTH SIDEWALK SHALL BE PROVIDED FROM THE PRIMARY BUILDING ENTRANCE TO EACH ROAD FRONTAGE.
10. A 6' HEIGHT CLOSED WOODEN FENCE SHALL BE PROVIDED ADJACENT TO A LOT CONTAINING A SINGLE FAMILY DETACHED DWELLING AT TIME OF SITE DEVELOPMENT.
11. A BUILDING SETBACK OF A MINIMUM OF 30' SHALL BE PROVIDED ADJACENT A LOT CONTAINING A SINGLE FAMILY DETACHED DWELLING.
12. OUTDOOR LIGHTING LEVEL SHALL NOT EXCEED 0.40 FOOT CANDLES AT PROPERTY LINES ADJACENT TO A LOT CONTAINING A SINGLE FAMILY DETACHED DWELLING.
13. PRIMARY BUILDING ENTRANCE SHALL BE ORIENTED TOWARD A PUBLIC RIGHT-OF-WAY.
14. AN OUTDOOR PLAZA OF 100 SQUARE FEET MINIMUM SHALL BE PROVIDED BETWEEN THE PRIMARY BUILDING AND THE PUBLIC RIGHT-OF-WAY. PLAZA SHALL HAVE A MINIMUM DIMENSION OF 6' IN WIDTH AND LENGTH.
15. RESIDENTIAL DENSITY SHALL BE LIMITED TO 6 DWELLING UNITS PER ACRE.

SITE DATA
PROJECT NAME: SUNNYBROOK GAS STATION
PIN: 1722.10-27-6122
REAL ID NUMBER: 0073740
ADDRESS: 2418 SUNNYBROOK ROAD, RALEIGH, NORTH CAROLINA
ZONING: CUD NB (Z-01-12)
USE: VACANT
EXISTING: GAS STATION/CONVENIENCE STORE
PROPOSED:
SITE AREA (GROSS): 1.92 AC (83,618 SF)
NET LOT AREA: 1.89 AC (82,143 SF)
DEDICATED R/W AREA: SUNNYBROOK ROAD 0.03 AC (1,475 SF)
BUILDING AREA: GAS STATION/CONVENIENCE STORE (RETAIL) 4,000 SF
FLEX: (FUTURE) 2,000 SF
TOTAL: 6,000 SF
BUILDING HEIGHT: 13'-06"
IMPERVIOUS AREA: 1.00 AC (43,603 SF)
PROPOSED DENUDED AREA: 2.26 AC (98,653 SF)
BUILDING SETBACKS: FRONT: 30', REAR: 30', SIDE: 30', CORNER: 30'
PARKING: REQUIRED: GAS STATION/CONVENIENCE STORE (RETAIL) (1 SPACE/200 SF) 20 SPACES, FLEX: (FUTURE) (1 SPACE/200 SF) 10 SPACES, TOTAL: 30 SPACES, PROVIDED: 32 SPACES (2 HC SPACES)

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE CITY OF RALEIGH, AND UNLESS SPECIFIED, DEFERS TO THE NCDOT STANDARDS AND SPECIFICATIONS

Professional seal for M.L. HOWELL, dated 07-11-12, and a north arrow pointing up.

Project title block: SUNNYBROOK GAS STATION, 2418 SUNNYBROOK ROAD, CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA. SHEET C1.1 OF 12. Includes logos for BASS, NIXON & KENNEDY, INC. CONSULTING ENGINEERS and BNK.

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**PIPE SCHEDULE**

Inlet No. Up	Inlet No. Dn	Rim Up	Invert Up	Invert Dn	Pipe Length (ft)	Pipe Dia (in)	Material	Pipe Slope (%)
FES 1A	NCDOT CI 1B	269.44	268.00	263.65	88.335	15	RCP	4.92
EXNCDOT CI 3	EXNCDOT CI 4	264.58	259.96	259.53	57.55	15	RCP	0.75
NCDOT CI 5A	NCDOT CI 5B	272.80	268.80	260.00	277.58	15	RCP	3.17
NCDOT CI 5B	EXNCDOT CI 4	264.00	260.00	258.39	97.79	18	RCP	1.65
MH/JB 5C	EXNCDOT CI 4	265.60	260.00	256.78	44.00	15	RCP	7.32
EXNCDOT CI 4	EXNCDOT CI 6	263.07	256.68	254.29	119.46	18	RCP	2.00

**CURB CUT SCHEDULE**

Structure	DA (sf)	DA (ac)	Imp (sf)	Imp (ac)	Imp	c-value	Q <sub>10</sub> (cfs)	Weir (ft)	Head (ft)	Slope	Spread (ft)
CC1	68.743	1.58	47.534	1.09	69%	0.75	8.54	13.50	0.35	2.5%	14.17
CC2	4.253	0.10	3.821	0.09	90%	0.88	0.82	3.00	0.17	3.5%	4.82

Note: CC = Curb Cut

**CHANNEL SCHEDULE**

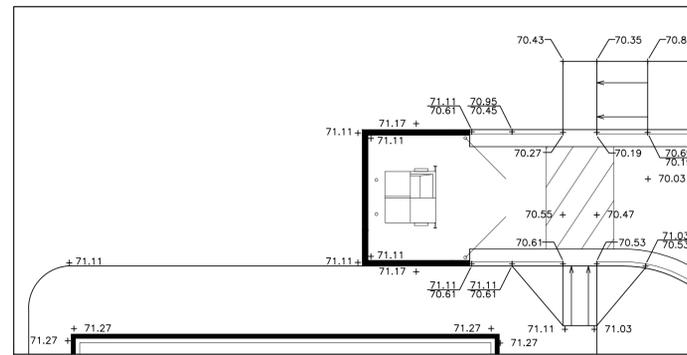
ID	Slope (ft/ft)	Slope	Area (ac)	(cfs)	(fps)	(sf)	Radius (ft)	Depth (ft)	Stress (psf)	
1	3 Trapezoidal	0.020	3.1	0.58	1.5	1.41	1.06	0.22	0.35	S75 (Staple D)

\* Note: All linings specified are manufactured by North American Green. Contractor to use specified lining or approved equal.

**RIP-RAP APRON SCHEDULE**

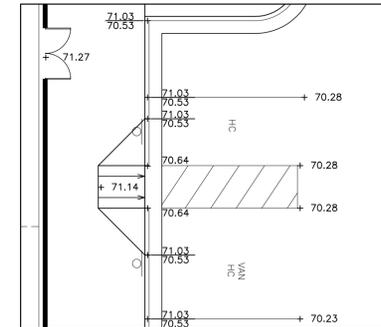
Structure	Length (ft)	Width (ft)	Depth (in)	Type	d <sub>50</sub>
FES 1A	5	5	9	Class A'	3" - 6"
*CC1	8	14	9	Class A'	3" - 6"
*CC2	8	5	10	Class A'	3" - 6"
911 Spillway	6	13	11	Class A'	3" - 6"

\*CC = Curb Cut



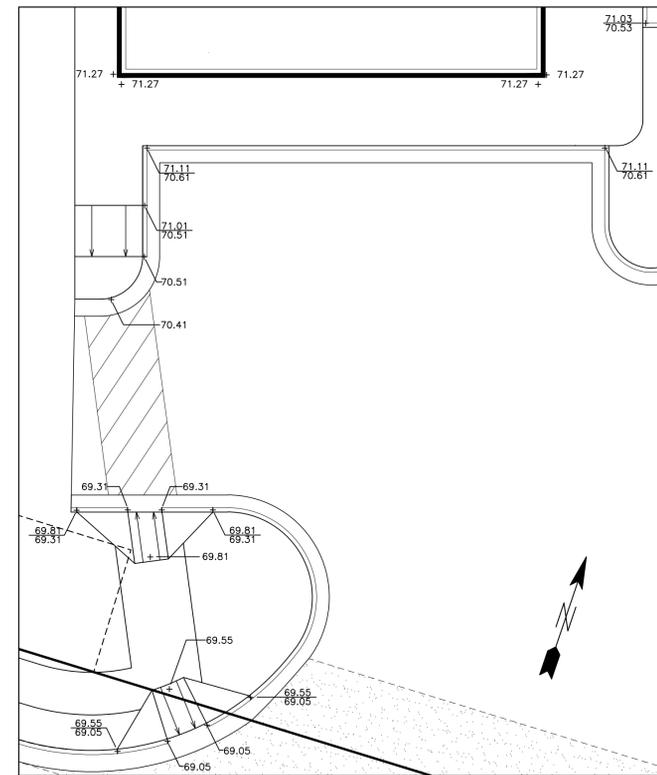
**ENLARGED FINE GRADING PLAN #1**

SCALE: 1" = 10'



**ENLARGED FINE GRADING PLAN #2**

SCALE: 1" = 10'



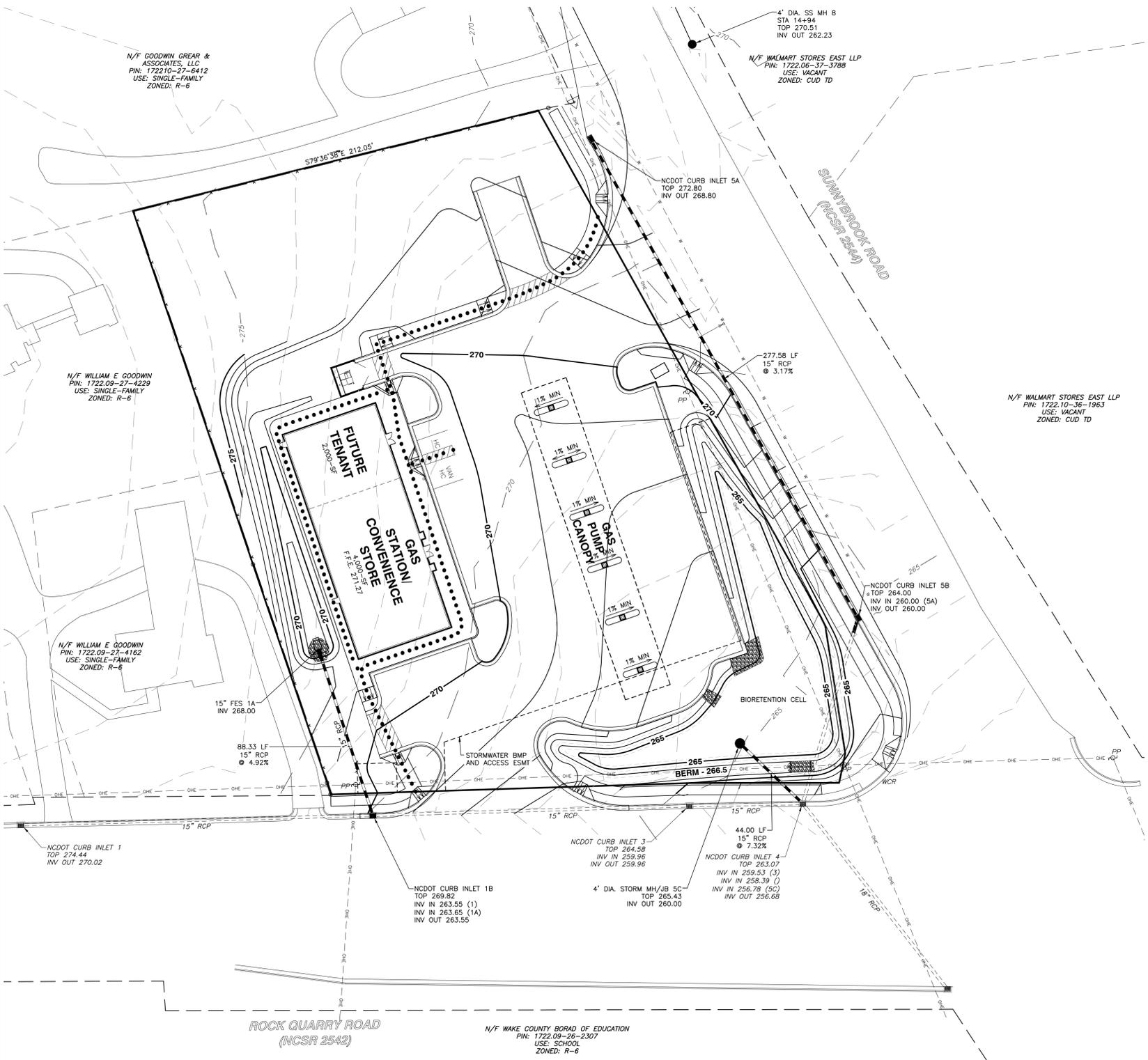
**ENLARGED FINE GRADING PLAN #3**

SCALE: 1" = 10'

NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

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**BASS, NIXON & KENNEDY, INC. - CONSULTING ENGINEERS**  
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607  
 TELEPHONE: (919)851-4422 OR (800)354-1879 FAX: (919)851-8968  
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCCLA (C-0267)

NO.	DATE	DESCRIPTION	BY

**SUNNYBROOK GAS STATION**  
 2418 SUNNYBROOK ROAD  
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

SHEET **C3.1**  
 6 OF 12

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