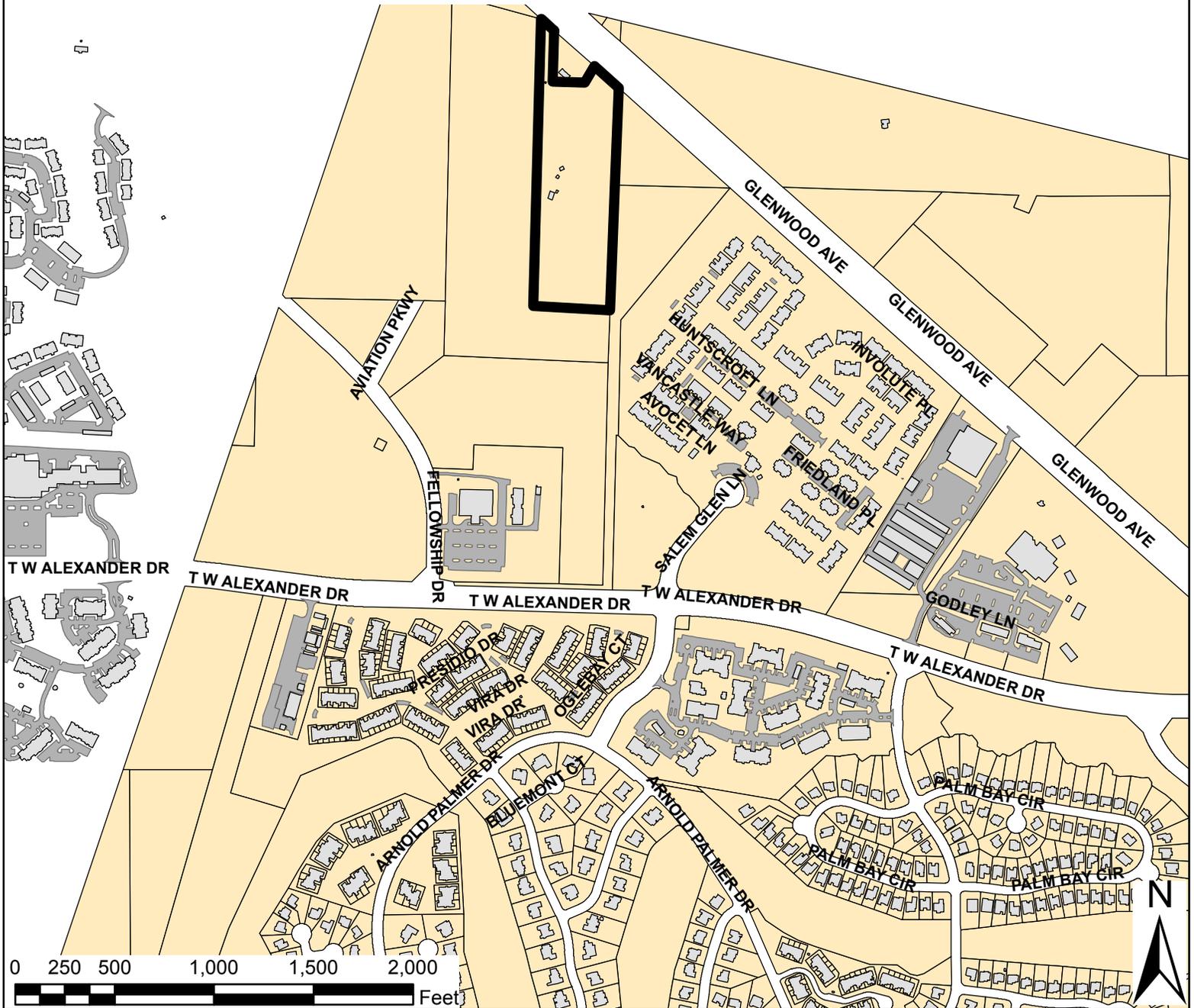


SOUTHBRIDGE FELLOWSHIP CHURCH SP-30-2012



Zoning: **TD, CUD**
 CAC: **Northwest**
 Drainage Basin: **Little Briar**
 Acreage: **10.78**

Number of Units: **6**
 Planner: **James Marapoti**
 Phone: **(919) 516-2642**
 Applicant Contact: **The John R. McAdams Co.**
 Phone: **(919) 361-5000**



Planning & Development

Customer Service Center
 One Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-516-2495
 Fax 919-516-2685

SP-30-2012

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Site Plans for Planning Commission or City Council <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing * <input type="checkbox"/> Multifamily (Infill)*	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Infill Subdivision* <input type="checkbox"/> Infill Recombination* <input type="checkbox"/> Cluster Subdivision <input type="checkbox"/> Expedited Subdivision Review	Transaction Number 337901
* May require Planning Commission or City Council Approval		

Section A

GENERAL INFORMATION

Development Name SOUTHBRIDGE FELLOWSHIP *Church*

Proposed Use CHURCH

Property Address(es) 10931 GLENWOOD AVENUE RALEIGH, NC

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 0759816591	P.I.N.	P.I.N.	P.I.N.
-------------------	--------	--------	--------

What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe:

PRELIMINARY ADMINISTRATIVE REVIEW	Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively <u>not</u> requiring Planning Commission or City Council approval.
--	--

PLANNING COMMISSION OR CITY COUNCIL REVIEW	Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval. PER CONDITION (i) OF Z-54-08, PRELIMINARY SITE PLAN APPROVAL SHALL BE REQUIRED BY THE CITY OF RALEIGH PLANNING COMMISSION.
---	--

CLIENT (Owner or Developer)	Company MYRICK GUROSKY & ASSOCIATES		
	Name (s) ALAN DOBBINS		
	Address FOUR RIVER CHASE RIDGE, BIRMINGHAM, AL 35244		
	Phone 215-313-3031	Email adobbins@mgandassociates.com	Fax

CONSULTANT (Contact Person for Plans)	Company THE JOHN R. MCADAMS COMPANY		
	Name (s) BRIAN PURDY, RLA		
	Address 2905 MERIDIAN PARKWAY DURHAM, NC 27713		
	Phone 919-361-5000	Email PURDY@JOHNRMCADAMS.COM	Fax 919-361-2269

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Has your project previously been through the pre-submittal process? If yes, provide the transaction # 330610 - Team (S)

Zoning Information	Building Information
Zoning District(s) THOROUGHFARE CONDITIONAL USE (CUD TD)	Proposed building use(s) CHURCH / WORSHIP CENTER
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross EXISTING +/- 775 SF STRUCTURE TO BE REMOVED
Overlay District	Proposed Building(s) sq. ft. gross 42,000 SF
Total Site Acres 10.78 Inside City Limits <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 42,000 SF
Off street parking Required 130 Provided 410	Proposed height of building(s) 38 FEET
COA (Certificate of Appropriateness) case #	FAR (floor area ratio percentage) 8.9%
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage 6.3%
CUD (Conditional Use District) case # Z-54-08	

Stormwater Information

Existing Impervious Surface 0.04 acres	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 4.90 acres	If Yes, please provide
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030
 THIS PARTICULAR PARCEL AND IMMEDIATE AREA ARE NOT IDENTIFIED WITHIN THE 2030 COMP. PLAN.

FOR SUBDIVISIONS, MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY

1. Total # Of Townhouse Lots Detached Attached	11. Total number of Open Space (only) lots
2. Total # Of Single Family Lots	12. Total number of all lots
3. Total # Of Apartment Or Condominium Units	13. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
4. Total # Of Congregate Care Or Life Care Dwelling Units	If Yes, please answer the questions below: a) Total number of Townhouse Lots b) Total number of Single Family Lots c) Total number of Group Housing Units d) Total number of Open Space Lots e) Minimum Lot Size f) Total Number of Phases g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No h) Must provide open space quotient per City Code 10-3071 (5)
5. Total # Of Mobile Home Lots	
6. Total Number of Hotel Units	
7. Overall Total # Of Dwelling Units (1-6 Above)	
8. Bedroom Units 1br 2br 3br 4br or more	
9. Overall Unit(s)/Acre Densities Per Zoning District(s)	
10. If your project is an infill subdivision, provide the infill calculations per City Code 10-3032 on the front cover of your drawing sets	

SIGNATURE BLOCK (Applicable to all developments)

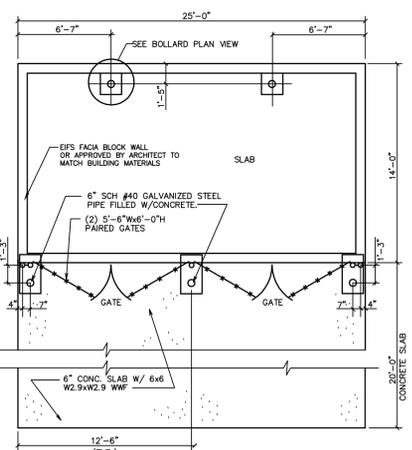
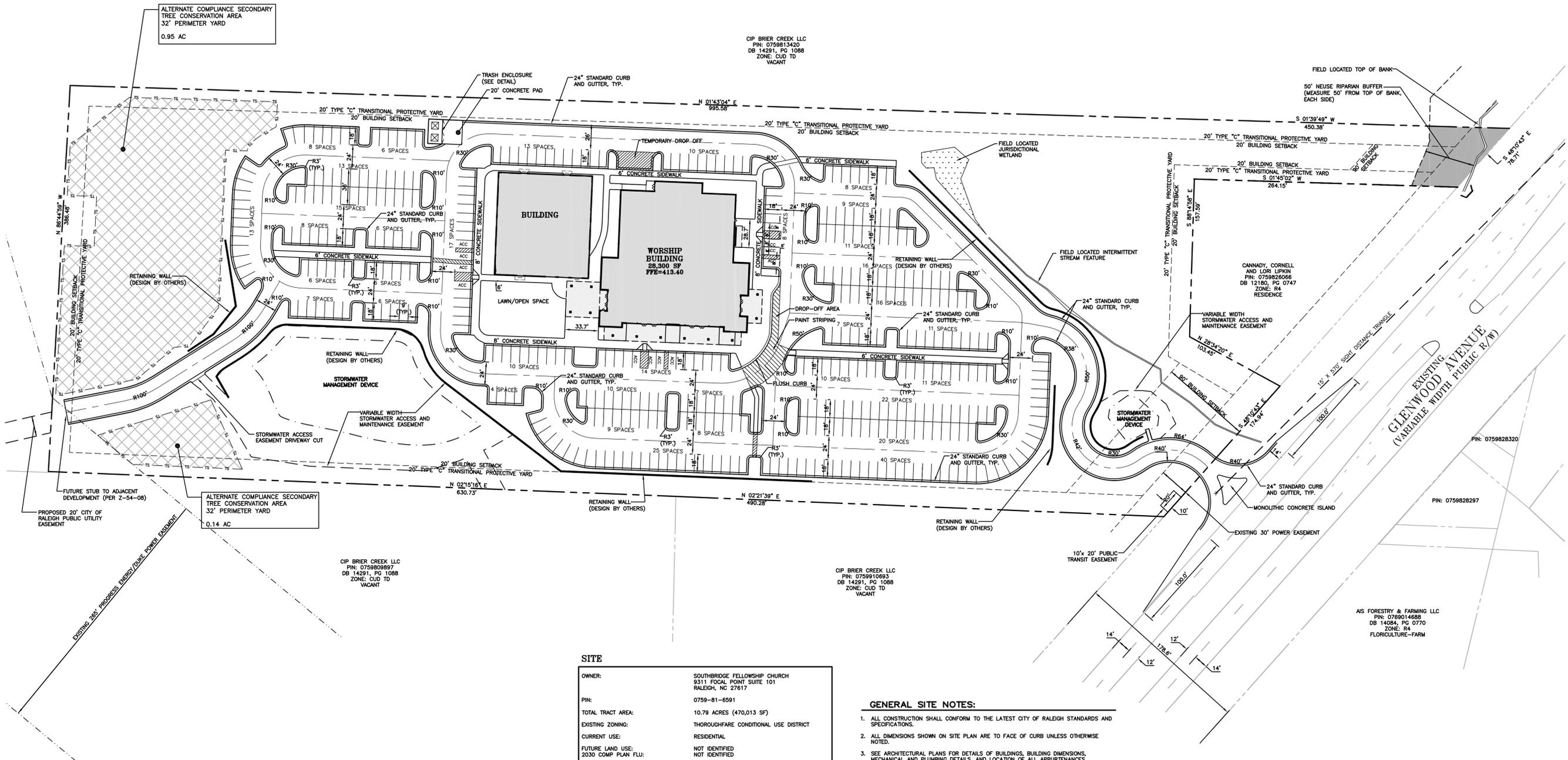
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City

I hereby designate BRIAN PURDY (THE JOHN R. MCADAMS COMPANY) to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

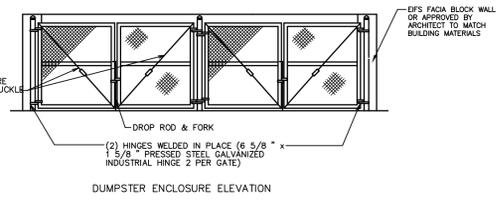
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed Brian Purdy Date 7-16-2012
 Signed _____ Date _____

Section B					
	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>		✓		
2. Preliminary Development Plan Application completed and signed by the property owner	<input checked="" type="checkbox"/>		✓		
3. Client must complete and print page 1 and 2 of the Preliminary Development Plan Application to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
4. I have referenced the Preliminary Development Plan Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
c) Proposed Site, Subdivision Plan, or Recombination Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Tree Conservation Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	<input checked="" type="checkbox"/>		✓		
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		



DUMPSTER ENCLOSURE DETAIL



DUMPSTER ENCLOSURE ELEVATION

SITE

OWNER:	SOUTHBIDGE FELLOWSHIP CHURCH 9311 FOCAL POINT SUITE 101 RALEIGH, NC 27617
PIN:	0759-81-6591
TOTAL TRACT AREA:	10.79 ACRES (470,013 SF)
EXISTING ZONING:	THOROUGHFARE CONDITIONAL USE DISTRICT
CURRENT USE:	RESIDENTIAL
FUTURE LAND USE:	NOT IDENTIFIED
2030 COMP PLAN FLU:	NOT IDENTIFIED
RIVER BASIN:	NEUSE
PROPOSED USE:	CHURCH
BUILDING SETBACKS REQUIRED PER ZONING:	
FRONT YARD:	90 FEET*
REAR YARD:	20 FEET
SIDE YARD:	20 FEET
HEIGHT SETBACKS:	1' HORIZ FOR EVERY 1' ABOVE 50'
NOTE: IF THE REQ'D STREETScape IS DOUBLED THE WIDTH MAY BE DROPPED TO 50'	
TRANSITIONAL PROTECTIVE YARD (TPY):	
REQUIRED:	20' TYPE 'C' AGAINST 10941 GLENWOOD AVE 20' TYPE 'C' AGAINST ALL VACANT BRIER CREEK LOTS 20' TYPE 'C'
PROVIDED:	
MAXIMUM BUILDING HEIGHT:	80 FEET (ZONING ALLOWING ADMIN APPL.) 75 FEET (HIGH RISE - BUILDING INSPECTIONS) 50 FEET (ABOVE 50' THE BUILDING SETBACK MUST BE INCREASED 2' HORIZONTALLY FOR EVERY 1' VERTICALLY)
PARKING CALCULATIONS:	
PARKING SPACES REQUIRED:	
CONGREGATION SPACE:	100 SPACES
ONE SPACE PER 8 SEATS (800)	
CHILD CARE:	30 SPACES
ONE SPACE PER 8 ENROLLE	
TOTAL:	130 SPACES
ACC REQUIRED (100-150 SP FIELD)	5 SPACES
VAN ACC REQUIRED	1 OF THE 5 SPACES
TOTAL REQUIRED:	130 SPACES
PARKING SPACES PROVIDED:	
ON-SITE SPACES	410 SPACES
ACC SPACES PROVIDED:	12 SPACES
VAN ACC PROVIDED:	8 SPACES
IMPERVIOUS SURFACE	
PROPOSED:	4.80 AC. (42.83%)
EXISTING:	0.04 AC. (0.37%)

GENERAL SITE NOTES:

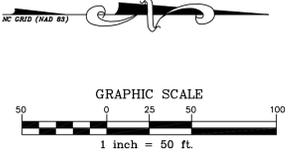
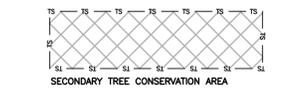
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS, BUILDING DIMENSIONS, MECHANICAL AND PLUMBING DETAILS, AND LOCATION OF ALL APPURTENANCES.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH AND OWNER REPRESENTATIVE.
- ALL ACCESSIBLE SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING ANY CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENTLY ON PLAN.
- ALL UTILITY SERVICES TO BUILDINGS SHALL BE UNDERGROUND ON SITE UNLESS OTHERWISE NOTED.
- ALL PARKING LOT STRIPING AND DIRECTIONAL ARROWS SHALL CONFORM TO CURRENT MUTCD STANDARDS.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS ARE SCHEMATIC IN NATURE AND DO NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED FOR A COMPLETE AND WORKING SYSTEM.
- LANDSCAPE PLANTINGS AT ENTRANCE/EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS, PER LOCAL COUNTY AND STATE STANDARDS.
- THE CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL SHEET FOR SPECIFIC DETAILS.
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- FINAL LIFT OF ASPHALT TO BE PLACED AFTER BUILDING CONSTRUCTION IS COMPLETE.
- SITE UNDERWENT COORDINATED TEAM REVIEW (TRANS #330610)

SITE NOTES:

- WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR OTHER OBJECT.
- LIGHTING PLAN WITH LUMEN CALCULATIONS ARE REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION.

SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	ACCESSIBLE RAMPS
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE



THE JOHN R. McADAMS COMPANY, INC.
ENGINEERS • PLANNERS • SURVEYORS • ENVIRONMENTAL
RESEARCH TRIANGLE PARK • CHARLOTTE
2905 Meridian Parkway, Durham NC 27713
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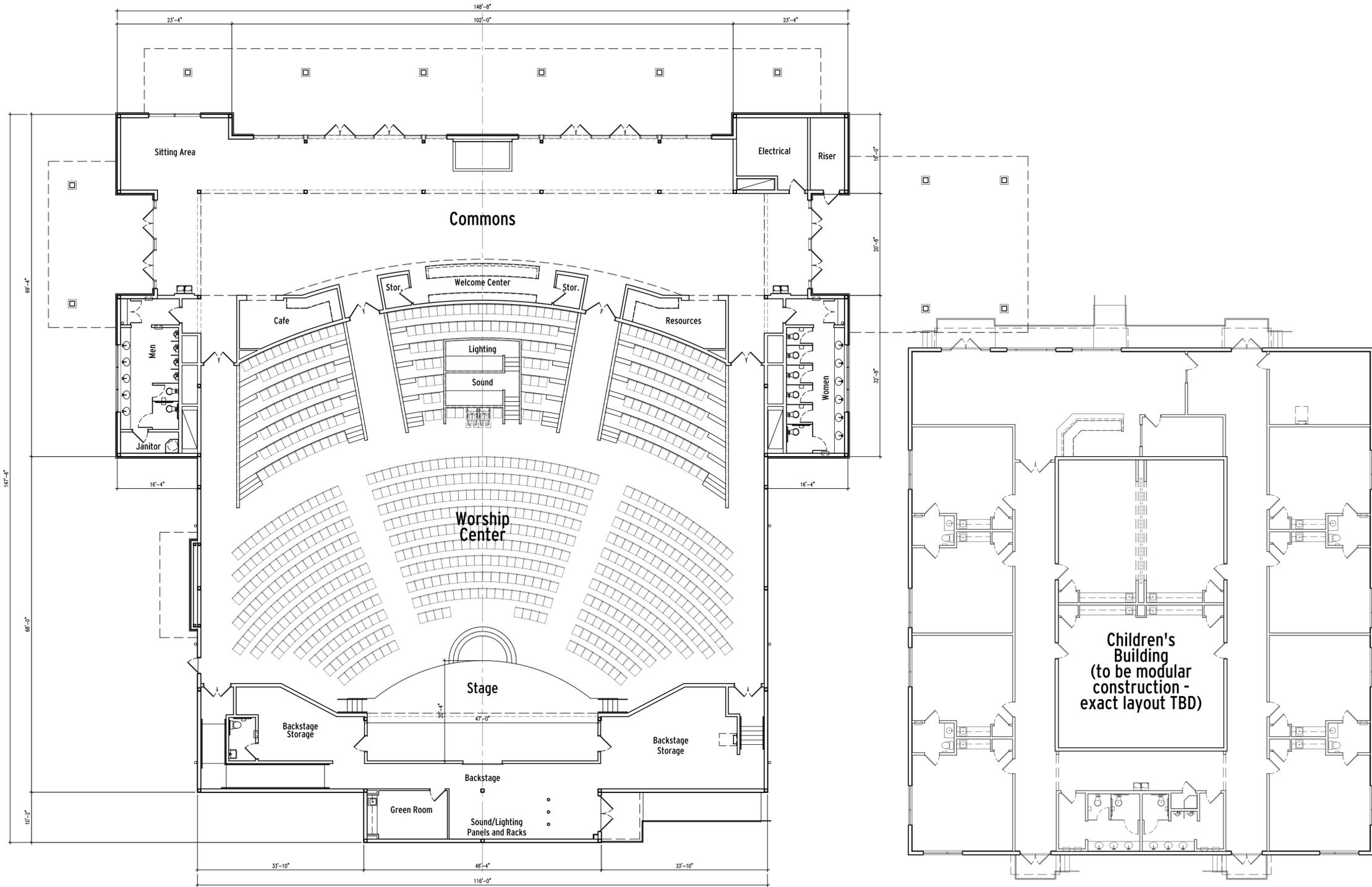
REVISIONS:

DEVELOPER:
SOUTHBIDGE FELLOWSHIP CHURCH
9311 FOCAL POINT, SUITE 101
RALEIGH, NORTH CAROLINA 27617
CONTACT: ALAN DOBBINS
adobins@engandassociates.com

SOUTHBIDGE FELLOWSHIP CHURCH PRELIMINARY SITE PLAN
RALEIGH, NORTH CAROLINA
PRELIMINARY SITE PLAN

PROJECT NO:	CMT-12000
FILENAME:	CMT12000-S1
DESIGNED BY:	RCA
DRAWN BY:	SRW
SCALE:	1"=50'
DATE:	07-19-12
SHEET NO:	C-2



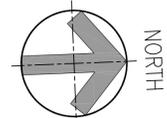


NOTE: SEATING SHOWN IS BASED ON SEATS AT 20" ON CENTER WITH ROW SPACINGS OF 40" FOR FLOOR SEATS AND 42" FOR STADIUM SEATS

531 FLOOR SEATS AND 220 STADIUM SEATS (INCLUDING BOTTOM ROW)

NOTE: ALL DIMENSIONS SHOWN ARE TO FACE OF METAL STUDS OR TO COLUMN GRID LINES - I.E. NOT TO FACE OF FINISH

01
2.1
OVERALL FLOORPLAN
3/32" = 1'-0"



PLOT DATE: 7/12/2012 9:30 AM P:\1048 Southbridge Fellowship Church\Drawings\1048A2-01 24x36.dwg

PRELIMINARY SITE PLAN SUBMITTAL
July 19, 2012

SOUTHBIDGE FELLOWSHIP CHURCH
NEW CHURCH CAMPUS
Raleigh, North Carolina



CMH Architects
1800 International Park Drive
Suite 300
Birmingham, AL 35243
(205)397-1871 - TEL
(205)969-3930 - FAX

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REVISIONS

SHEET TITLE
OVERALL FLOORPLAN

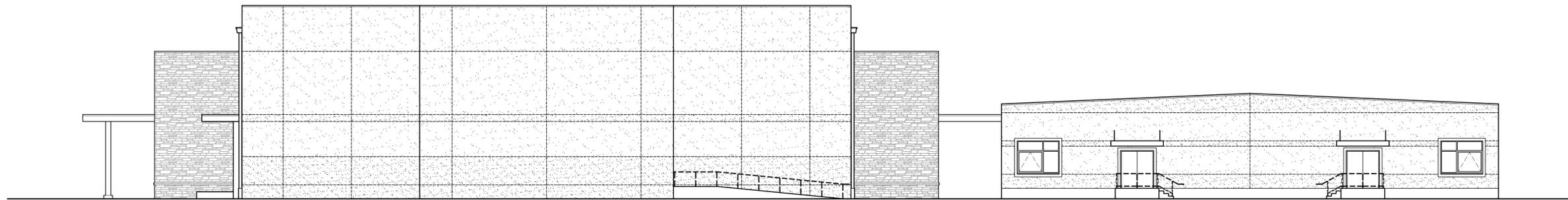
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ISSUE DATE
07/19/2012

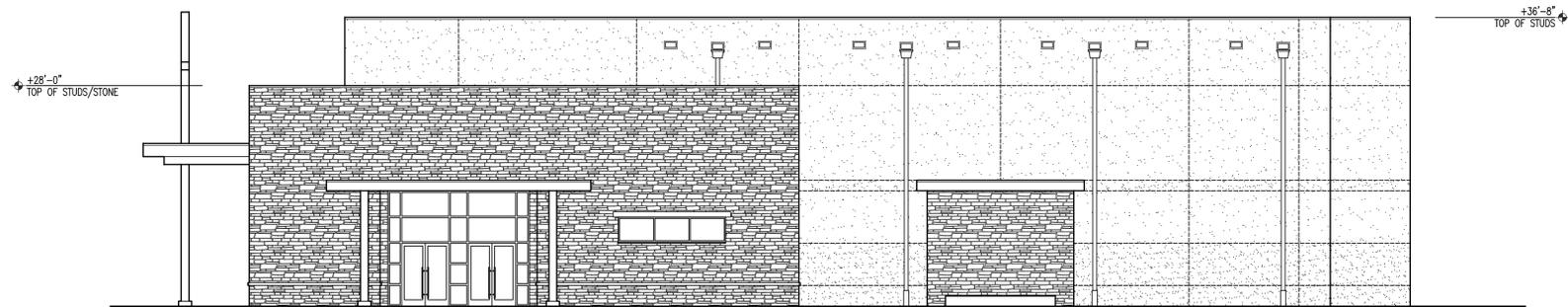
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MPO
CHECKED BY
MPO

SHEET NUMBER
A2.1

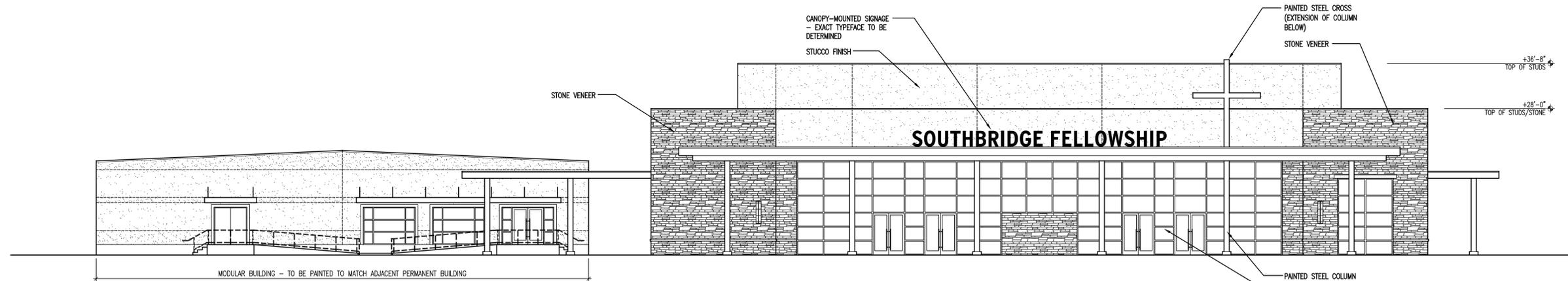
SOUTHBIDGE FC



03
3.1
WEST ELEVATION
3/32" = 1'-0"



02
3.1
NORTH ELEVATION
3/32" = 1'-0"



01
3.1
EAST ELEVATION
3/32" = 1'-0"

**PRELIMINARY SITE
PLAN SUBMITTAL**
July 19, 2012

SOUTHBRIDGE FELLOWSHIP CHURCH
NEW CHURCH CAMPUS
Raleigh, North Carolina



CMH Architects
1800 International Park Drive
Suite 300
Birmingham, AL 35243
(205)397-1871 - TEL
(205)969-3930 - FAX

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SHEET TITLE
EXTERIOR ELEVATIONS

PROJECT NUMBER
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ISSUE DATE
07/19/2012

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SHEET NUMBER

A3.1

SOUTHBRIDGE FC