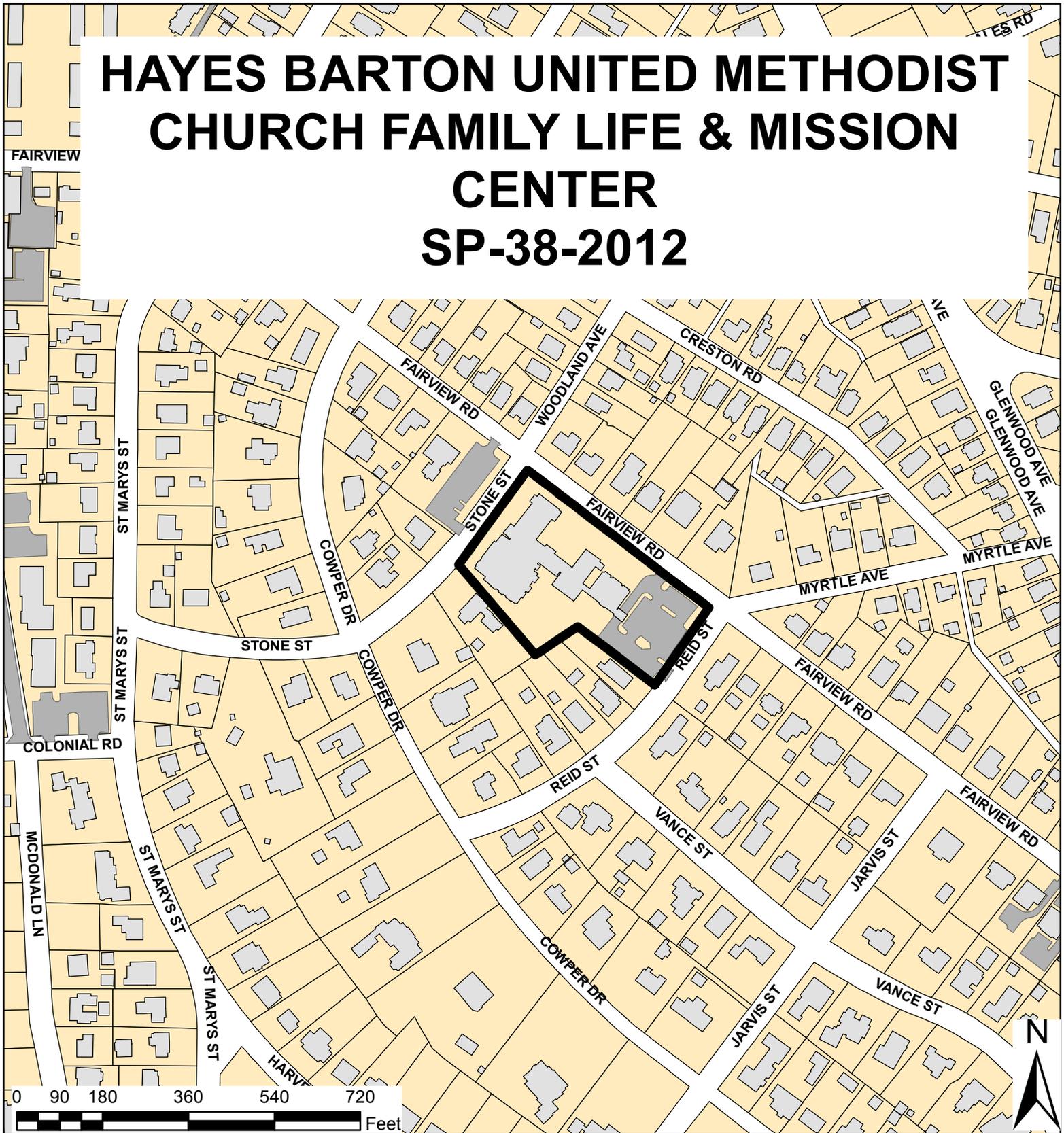


# HAYES BARTON UNITED METHODIST CHURCH FAMILY LIFE & MISSION CENTER SP-38-2012



Zoning: **R-4**  
CAC: **Five Points**  
Drainage Basin: **Crabtree Basin**  
Basin:  
Acreage: **2.64**

Number of Lots: **0**  
Planner: **Meade Bradshaw**  
Phone: **(919) 516-2664**  
Applicant Contact: **McNeely Associates, P.A**  
Phone: **(919) 782-9677**



# Planning & Development

## Customer Service Center

One Exchange Plaza, Suite 400  
 Raleigh, North Carolina 27601  
 Phone 919-516-2495  
 Fax 919-516-2685

SP-38-2012

### Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Site Plans for Planning Commission or City Council <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing * <input type="checkbox"/> Multifamily (Infill)*	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Infill Subdivision* <input type="checkbox"/> Infill Recombination* <input type="checkbox"/> Cluster Subdivision <input type="checkbox"/> Expedited Subdivision Review	Transaction Number  341533
* May require Planning Commission or City Council Approval		

Section A \* Appl: MEADE BRADSHAW

### GENERAL INFORMATION

Development Name: HAYES BARTON UNITED METHODIST CHURCH

Proposed Use: CHURCH - FAMILY LIFE & MISSION CENTER

Property Address(es): 2209 FAIRVIEW ROAD RALEIGH NC 27608

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1704-38-3863	P.I.N.	P.I.N.	P.I.N.
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What is your project type?  Apartment  Banks  Elderly Facilities  Hospitals  Hotels/Motels  Industrial Building  Mixed Residential  Non-Residential Condo  Office  Religious Institutions  Residential Condo  Retail  School  Shopping Center  Single Family  Telecommunication Tower  Townhouse  Other: If other, please describe:

**PRELIMINARY ADMINISTRATIVE REVIEW**  
 Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively not requiring Planning Commission or City Council approval.

**PLANNING COMMISSION OR CITY COUNCIL REVIEW**  
 Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval.  
 NON RESIDENTIAL USE IN RESIDENTIAL ZONING WITH GREATER THAN 10% EXPANSION

**CLIENT (Owner or Developer)**

Company: HAYES BARTON UNITED METHODIST CHURCH

Name (s): HANLEY W. JONES JR

Address: P.O. Box 10669 RALEIGH NC 27605

Phone: 919-828-2501 Email: h.jones@jordanprice.com Fax:

**CONSULTANT (Contact Person for Plans)**

Company: McNEELY ASSOCIATES PA

Name (s): KEITH DOWNING

Address: 5501 McNEELY DRIVE RALEIGH NC 27612

Phone: 919-782-9677 Email: keite@mcneelyassociates.com Fax: 919-782-5484

mcneelyassociates.com

**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

**Has your project previously been through the pre-submittal process? If yes, provide the transaction #**

Zoning Information		Building Information	
Zoning District(s)	R4	Proposed building use(s)	CHURCH
If more than one district, provide the acreage of each	N/A	Existing Building(s) sq. ft. gross	59,061 SF
Overlay District	N/A	Proposed Building(s) sq. ft. gross	
Total Site Acres 2.64 Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Total sq. ft. gross (existing & proposed)	90,950 SF
Off street parking Required 72 Provided 90		Proposed height of building(s)	40 FT / 3 STY
COA (Certificate of Appropriateness) case #	N/A	FAR (floor area ratio percentage)	0.79
BOA (Board of Adjustment) case # A-	N/A	Building Lot Coverage percentage (site plans only)	35%
CUD (Conditional Use District) case # Z-	N/A		
Stormwater Information			
Existing Impervious Surface acres/square feet	1.42 AC	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Proposed Impervious Surface acres/square feet	1.60 AC	<b>If Yes, please provide</b>	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Alluvial Soils Flood Study FEMA Map Panel #	

**CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)**

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030

*Plans HAVE BEEN REVIEWED WITH STAFF FOR COMPLIANCE WITH 2030 BY STAFF*

**FOR SUBDIVISIONS, MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY**

1. Total # Of Townhouse Lots Detached Attached	11. Total number of Open Space (only) lots
2. Total # Of Single Family Lots	12. Total number of all lots
3. Total # Of Apartment Or Condominium Units	13. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
4. Total # Of Congregate Care Or Life Care Dwelling Units	<b>If Yes, please answer the questions below:</b> a) Total number of Townhouse Lots b) Total number of Single Family Lots c) Total number of Group Housing Units d) Total number of Open Space Lots e) Minimum Lot Size f) Total Number of Phases g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No h) Must provide open space quotient per City Code 10-3071 (5)
5. Total # Of Mobile Home Lots	
6. Total Number of Hotel Units	
7. Overall Total # Of Dwelling Units (1-6 Above)	
8. Bedroom Units 1br 2br 3br 4br or more	
9. Overall Unit(s)/Acre Densities Per Zoning District(s)	
10. If your project is an infill subdivision, provide the infill calculations per City Code 10-3032 on the front cover of your drawing sets	

**SIGNATURE BLOCK (Applicable to all developments)**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate McNeely Associates, P.A. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

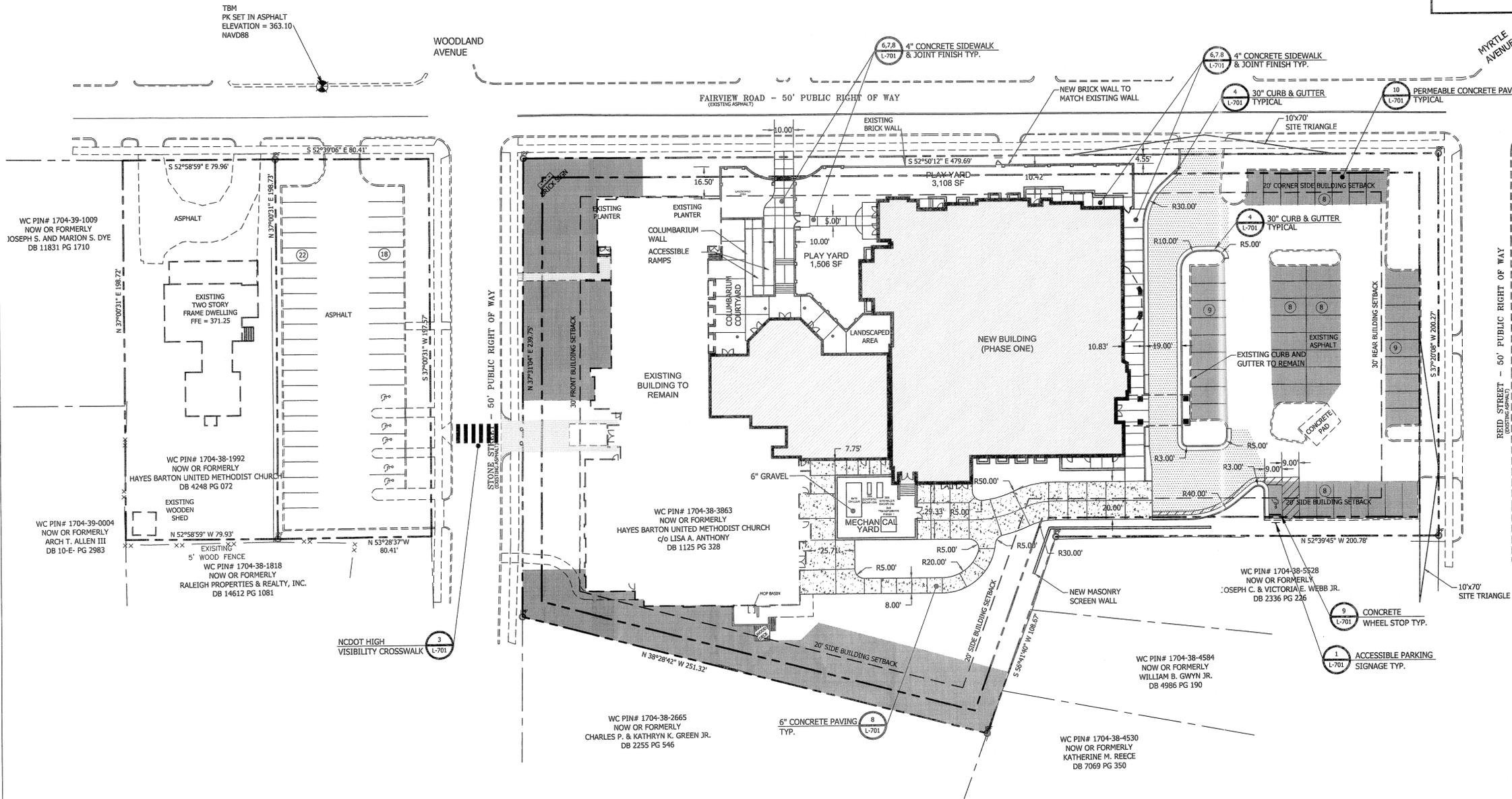
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed Shelley G. Johnson, Chair for HBUMC Board of Trustees Date 8-28-2012  
 Signed \_\_\_\_\_ Date \_\_\_\_\_

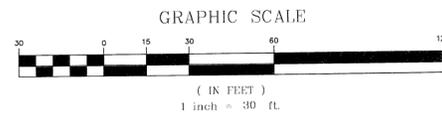
Section B					
	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<b>General Requirements</b>					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>		X		
2. <b>Preliminary Development Plan Application</b> completed and signed by the property owner	<input checked="" type="checkbox"/>		X		
3. Client must complete and print page 1 and 2 of the <b>Preliminary Development Plan Application</b> to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>		X	
4. I have referenced the <b>Preliminary Development Plan Checklist</b> and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		X		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		X		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		
c) Proposed Site, Subdivision Plan, or Recombination Plan	<input checked="" type="checkbox"/>		X		
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		
e) Proposed Utility Plan, including Fire	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
f) Proposed Tree Conservation Plan <i>on multiple sheets</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		X
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals only – include all revision dates	<input checked="" type="checkbox"/>		X		
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>		X		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		X		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		X		
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input type="checkbox"/>		X		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
12. Preliminary stormwater quantity and quality summary and calculations package <i>on plan</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester <i>on plan</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		

SITE DATA	
TOTAL AREA	2.64 ACRES
PROPOSED USE	CHURCH
ZONING	R-4
WAKE COUNTY PIN #	1704-38-3863
MINIMUM YARDS AND BUILDING SETBACKS:	
FRONT	20 FEET
SIDE & CORNER SIDE	20 FEET
REAR	30 FEET
BUILDING SIZE - EXISTING	59,661 S.F.
BUILDING SIZE - PROPOSED	90,950 S.F.
BUILDING HEIGHT - PROPOSED (using sloped roof average)	40 FT./3 STORY
PARKING REQUIRED (1 per 8 sanctuary seats @ 570 seats)	72 SPACES
PARKING PROVIDED - EXISTING	90 SPACES
ACCESSIBLE PARKING REQUIRED	1 Van Included in 4 SPACES
ACCESSIBLE PARKING PROVIDED	1 Van Included in 5 SPACES

LEGEND (L-100 Sheet Series Only)	
	DETAIL FLAG -- DETAIL #/SHEET #
	6" CONCRETE PAVING
	LIGHT DUTY ASPHALT PAVING
	PERMEABLE INTERLOCKING CONCRETE PAVERS
	4" CONCRETE SIDEWALK
	NUMBER OF EXISTING PARKING SPACES
	BENCHMARK
	ACCESSIBILITY LANE STRIPING
	PUBLIC EASEMENT
	30" CONCRETE CURB AND GUTTER
	PROPERTY LINE
	ADJACENT PARCEL BOUNDARY
F-F	FACE TO FACE
B-B	BACK TO BACK
OA	OVERALL



GENERAL NOTES:  
 1. Boundary and field topographic information taken from digital file by EDR Engineering dated July 2, 2012



**SKINNER LAMM & HIGHSMITH ARCHITECTS**  
 702 W. Broad St.  
 Wilson, NC 27894  
 Raleigh, NC 27603  
 T 757-251-1072 F 757-251-2848  
 www.allarch.com

**McNeely Associates PA**  
 Landscape Architects & Planning Consultants  
 6801 McNeely Drive, P.O. Box 20198 - Raleigh, NC 27626  
 919.782.8877 - 919.782.8498 fax  
 Dm@mcneelyassociates.com

**ADDITIONS & RENOVATIONS**  
**FAMILY LIFE & MISSION CENTER**  
 2209 Fairview Road Raleigh, NC 27608  
 HAYES BARTON UNITED METHODIST CHURCH

COMM. NO.	?
DATE	08-27-12
DRAWN	KMD
FILE NO.	HBUMC
LAYOUT PLAN	
SHEET	
<b>L-301</b>	
OF	

