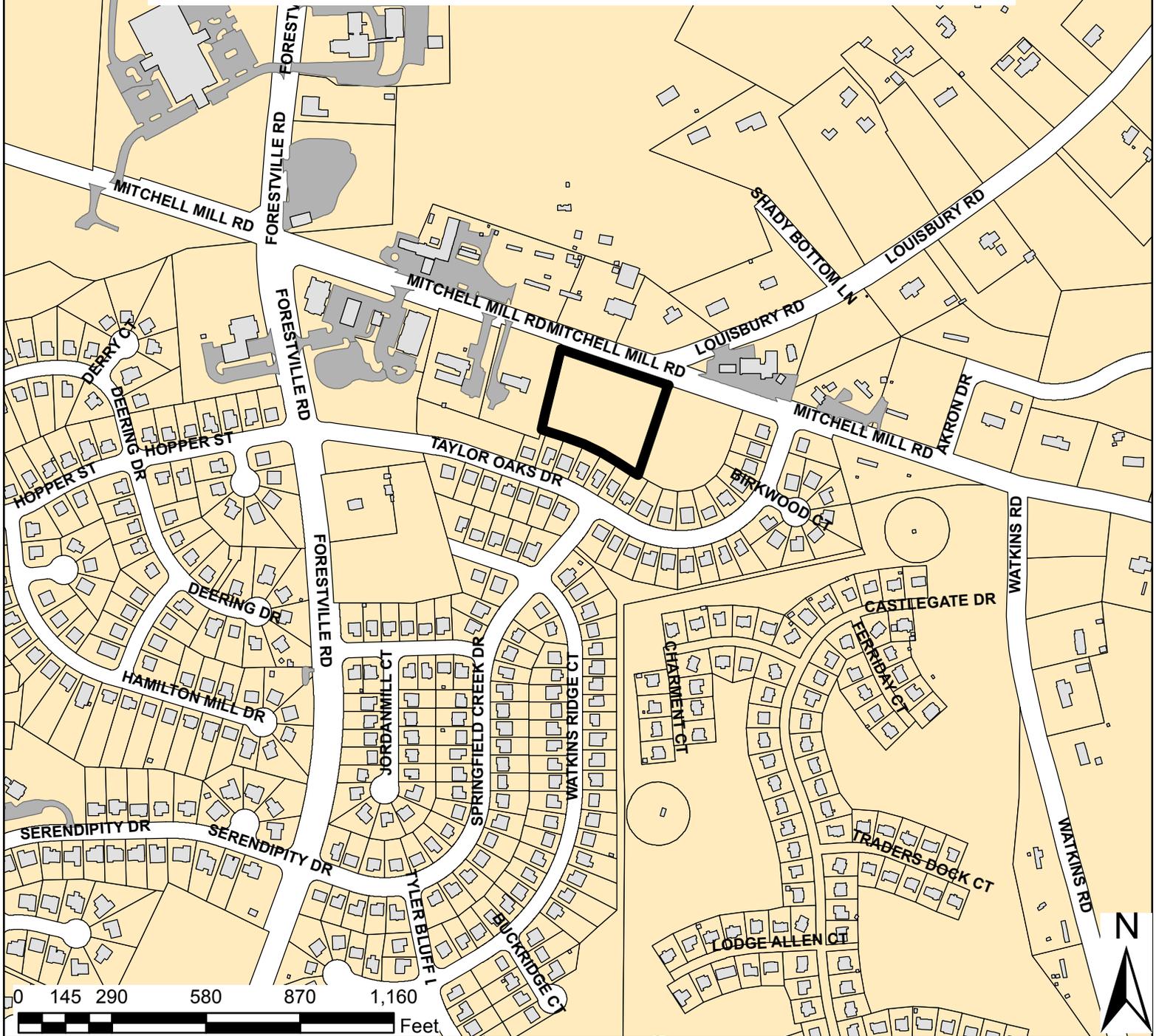


PARK PLACE APARTMENTS GH-7-2013



Zoning: **O&I-1 CUD, SC-CUD**
 CAC: **Forestville**
 Drainage **Neuse**
 Basin:
 Acreage: **2.06**

Number of Lots: **20**
 Planner: **Stan Wingo**
 Phone: **(919) 996-2663**
 Applicant Contact: **Triangle Site Design**
 Phone: **(919) 553-6570**



Planning & Development

Customer Service Center
 One Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 Fax 919-516-2685

CA-7-13

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input type="checkbox"/> Site Plans for Planning Commission or City Council <input type="checkbox"/> Preliminary Administrative Site Plans <input checked="" type="checkbox"/> Group Housing * <input type="checkbox"/> Multifamily (Infill)*	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Infill Subdivision* <input type="checkbox"/> Infill Recombination* <input type="checkbox"/> Cluster Subdivision <input type="checkbox"/> Expedited Subdivision Review	Transaction Number 372482
* May require Planning Commission or City Council Approval		

Section A

GENERAL INFORMATION

Development Name Park Place Apartments

Proposed Use Apartments

Property Address(es) 4028 Mitchell Mill Road

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1747-66- 0265 1230	P.I.N.	P.I.N.	P.I.N.
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What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe:

PRELIMINARY ADMINISTRATIVE REVIEW	Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively <u>not</u> requiring Planning Commission or City Council approval.
PLANNING COMMISSION OR CITY COUNCIL REVIEW	Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval.
CLIENT (Owner or Developer)	Company Park Place Apartments, LLC
	Name (s) Dane Sambrick
	Address 4944 Windy Hill Drive Raleigh, NC 27609
	Phone 919-602-0678 Email dsambrick@sambrickconstruction.com Fax
CONSULTANT (Contact Person for Plans)	Company Triangle Site Design, PLLC
	Name (s) Matt Lowder, PE
	Address 4006 Barrett Drive Suite 203 Raleigh, NC 27609
	Phone 919-553-6570 Email mlowder@trianglesitedesign.com Fax

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Has your project previously been through the pre-submittal process? If yes, provide the transaction #

Zoning Information	Building Information
Zoning District(s) SC-CUD	Proposed building use(s) Apartments
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross 0
Overlay District	Proposed Building(s) sq. ft. gross 19,880
Total Site Acres 2.061 Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 19,880
Off street parking Required 44 Provided 44	Proposed height of building(s) 2-Story
COA (Certificate of Appropriateness) case #	FAR (floor area ratio percentage) 11%
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage 14.6% (site plans only)
CUD (Conditional Use District) case # Z-73-00	

Stormwater Information

Existing Impervious Surface 1,105 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 28,945 acres/square feet	If Yes, please provide
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030

FOR SUBDIVISIONS, MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY

1. Total # Of Townhouse Lots 1 Detached Attached	11. Total number of Open Space (only) lots
2. Total # Of Single Family Lots 1	12. Total number of all lots
3. Total # Of Apartment Or Condominium Units 20	13. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
4. Total # Of Congregate Care Or Life Care Dwelling Units	If Yes, please answer the questions below: a) Total number of Townhouse Lots b) Total number of Single Family Lots c) Total number of Group Housing Units d) Total number of Open Space Lots e) Minimum Lot Size f) Total Number of Phases g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No h) Must provide open space quotient per City Code 10-3071 (5)
5. Total # Of Mobile Home Lots	
6. Total Number of Hotel Units	
7. Overall Total # Of Dwelling Units (1-6 Above)	
8. Bedroom Units 1br 2br 12 3br 8 4br or more	
9. Overall Unit(s)/Acre Densities Per Zoning District(s)	
10. If your project is an infill subdivision, provide the infill calculations per City Code 10-3032 on the front cover of your drawing sets	

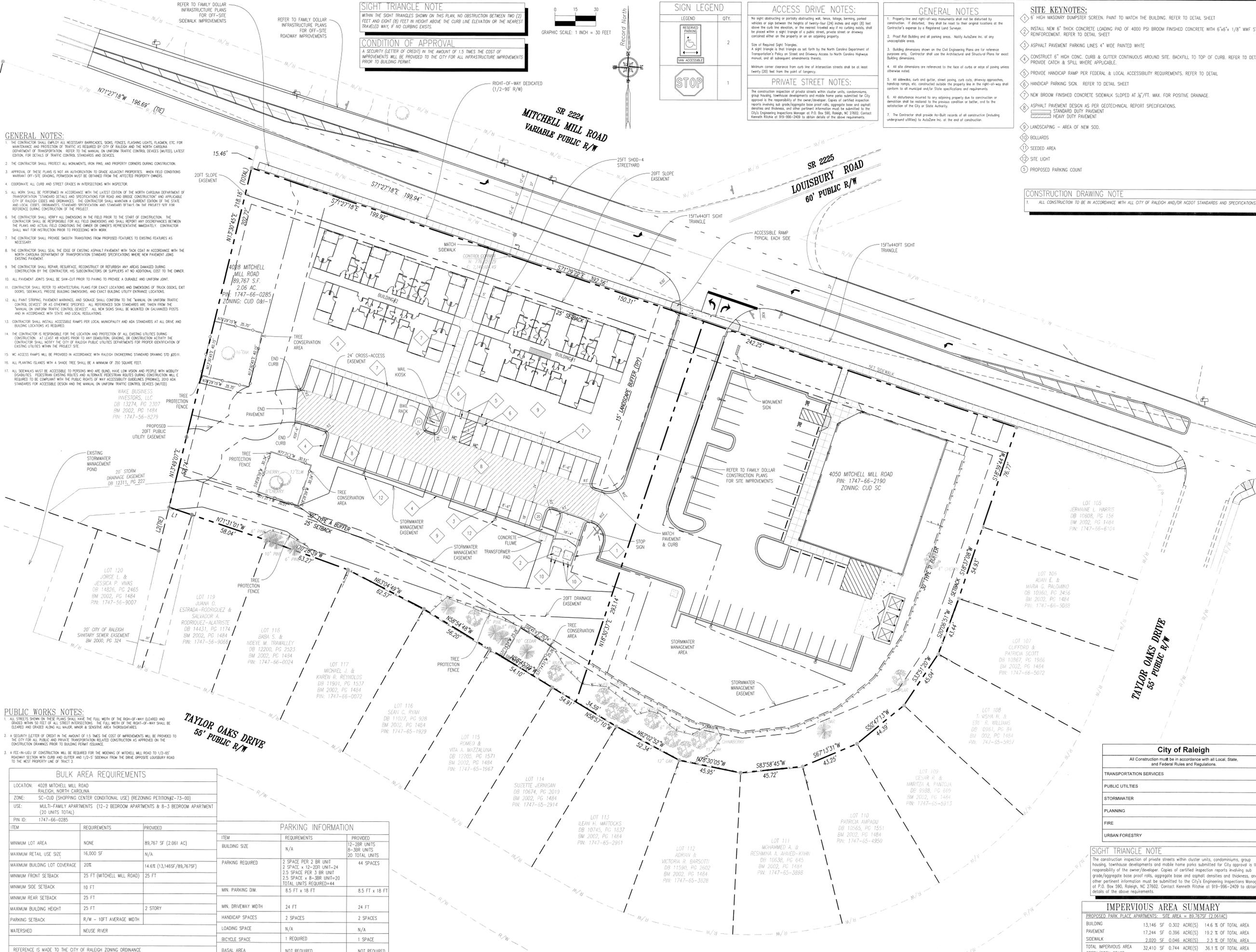
SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate MATT LOWDER, PE to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application. I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed  Date 8/14/2013

Section B					
	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>				
2. Preliminary Development Plan Application completed and signed by the property owner	<input checked="" type="checkbox"/>				
3. Client must complete and print page 1 and 2 of the Preliminary Development Plan Application to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
4. I have referenced the Preliminary Development Plan Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>				
5. Provide the following plan sheets:	<input type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>				
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
c) Proposed Site, Subdivision Plan, or Recombination Plan	<input checked="" type="checkbox"/>				
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
f) Proposed Tree Conservation Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	<input checked="" type="checkbox"/>				
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>				
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>				
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>				
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>				
11. Wake County School Form, if dwelling units are proposed	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input checked="" type="checkbox"/>	<input type="checkbox"/>			



GENERAL NOTES:

- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY CITY OF RALEIGH AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE CITY OF RALEIGH CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATIONS AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TRUCK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
- THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK COOKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANNEED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS FOR LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD 0011.
- ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 300 SQUARE FEET.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

PUBLIC WORKS NOTES:

- ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE RIGHT-OF-WAY DELAYED AND GRADED WITHIN 90 FEET OF ALL STREET INTERSECTIONS. THE FULL WIDTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR & SENSITIVE AREA THROUGHFARES.
- A SECURITY LETTER OF CREDIT IN THE AMOUNT OF 1.5 TIMES THE COST OF IMPROVEMENTS WILL BE PROVIDED TO THE CITY FOR ALL PUBLIC AND PRIVATE TRANSPORTATION RELATED CONSTRUCTION AS APPROVED ON THE CONSTRUCTION DRAWINGS PRIOR TO BUILDING PERMIT ISSUANCE.
- A FEE-IN-LEU OF CONSTRUCTION WILL BE REQUIRED FOR THE WIDENING OF MITCHELL MILL ROAD TO 1/2-65' ROADWAY SECTION WITH CURB AND GUTTER AND 1/2-5' SIDEWALK FROM THE DRIVE OPPOSITE LOUISBURY ROAD TO THE NEAR PROPERTY LINE OF TRACT 7.

BULK AREA REQUIREMENTS

LOCATION:	4028 MITCHELL MILL ROAD, RALEIGH, NORTH CAROLINA	
ZONE:	SC-CUD (SHOPPING CENTER CONDITIONAL USE) (REZONING PETITION#23-00)	
USE:	MULTI-FAMILY APARTMENTS (12-2 BEDROOM APARTMENTS & 8-3 BEDROOM APARTMENT (20 UNITS TOTAL))	
PIN ID:	1747-66-0285	

ITEM	REQUIREMENTS	PROVIDED
MINIMUM LOT AREA	NONE	89,767 SF (2,061 AC)
MAXIMUM RETAIL USE SIZE	16,000 SF	N/A
MAXIMUM BUILDING LOT COVERAGE	20%	14.6% (13,146SF/89,767SF)
MINIMUM FRONT SETBACK	25 FT (MITCHELL MILL ROAD)	25 FT
MINIMUM SIDE SETBACK	10 FT	
MINIMUM REAR SETBACK	25 FT	
MAXIMUM BUILDING HEIGHT	25 FT	2 STORY
PARKING SETBACK	R/W - 10FT AVERAGE WIDTH	
WATERSHED	NEUSE RIVER	

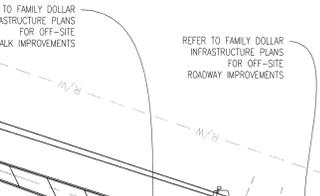
REFERENCE IS MADE TO THE CITY OF RALEIGH ZONING ORDINANCE

PARKING INFORMATION

ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	N/A	12-2BR UNITS 8-3BR UNITS 20 TOTAL UNITS
PARKING REQUIRED	2 SPACE PER 2 BR UNIT 2 SPACE x 12-2BR UNIT=24 2.5 SPACE PER 3 BR UNIT 2.5 SPACE x 8-3BR UNIT=20 TOTAL UNITS REQUIRED=44	44 SPACES
MIN. PARKING DIM.	8.5 FT x 18 FT	8.5 FT x 18 FT
MIN. DRIVEWAY WIDTH	24 FT	24 FT
HANDICAP SPACES	2 SPACES	2 SPACES
LOADING SPACE	N/A	N/A
BICYCLE SPACE	1 REQUIRED	1 SPACE
BASAL AREA	NOT REQUIRED	NOT REQUIRED

SIGHT TRIANGLE NOTE
WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

CONDITION OF APPROVAL
A SECURITY LETTER OF CREDIT IN THE AMOUNT OF 1.5 TIMES THE COST OF IMPROVEMENTS WILL BE PROVIDED TO THE CITY FOR ALL INFRASTRUCTURE IMPROVEMENTS PRIOR TO BUILDING PERMIT.



ACCESS DRIVE NOTES:

- No sight obstructing or partially obstructing wall, fence, foliage, parking vehicles or sign between the height of twenty-four (24) inches and eight (8) feet above the curb line elevation, or the nearest traveled way if no curbing exists, shall be placed within a sight triangle of a public street, private street or driveway contained either on the property or on an adjoining property.
- Size of Required Sight Triangles.
- A sight triangle shall be provided on all streets by the North Carolina Department of Transportation's Policy on Street and Driveway Access to North Carolina Highway Manual, and all subsequent amendments thereto.
- Minimum corner clearance from curb line of intersection streets shall be at least twenty (20) feet from the point of tangency.

PRIVATE STREET NOTES:

The construction inspection of private streets within cluster units, condominiums, group housing, townhouse developments and mobile home parks submitted for City approval is the responsibility of the owner/developer. Copies of certified inspection reports involving sub grade/aggregate base proof rolls, aggregate base and asphalt densities and thickness, and other pertinent information must be submitted to the City's Engineering Inspections Manager at P.O. Box 560, Raleigh, NC 27602. Contact Kenneth Ritchie at 919-996-2409 to obtain details of the above requirements.

GENERAL NOTES

- Properly tie and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
- Proof Roll Building and all parking areas. Notify AutoZone Inc. of any unacceptable areas.
- Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact Building dimensions.
- All site dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
- All sidewalks, curbs and gutter street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all municipal and/or State specifications and requirements.
- All disturbances incurred to any adjoining property due to construction or operation shall be restored to the previous condition or better, and to the satisfaction of the City or State Authority.
- The Contractor shall provide As-Built records of all construction (including underground utilities) to AutoZone Inc. at the end of construction.

SITE KEYNOTES:

- 6" HIGH MASONRY DUMPSTER SCREEN. PAINT TO MATCH THE BUILDING. REFER TO DETAIL SHEET.
- INSTALL NEW 6" THICK CONCRETE LOADING PAD OF 4000 PSI BROOM FINISHED CONCRETE WITH 6"x6"x 1/8" WWF STEEL REINFORCEMENT. REFER TO DETAIL SHEET.
- ASPHALT PAVEMENT PARKING LINES 4" WIDE PAINTED WHITE.
- CONSTRUCT 6" HIGH CONC. CURB & GUTTER CONTINUOUS AROUND SITE. BACKFILL TO TOP OF CURB. REFER TO DETAIL. PROVIDE CATCH & SPILL WHERE APPLICABLE.
- PROVIDE HANDICAP RAMP PER FEDERAL & LOCAL ACCESSIBILITY REQUIREMENTS. REFER TO DETAIL.
- HANDICAP PARKING SIGN. REFER TO DETAIL SHEET.
- NEW BROOM FINISHED CONCRETE SIDEWALK SLOPED AT 1/8" FT. MAX. FOR POSITIVE DRAINAGE.
- ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS.
- STANDARD DUTY PAVEMENT
- HEAVY DUTY PAVEMENT
- LANDSCAPING - AREA OF NEW SOIL.
- BOLLARDS
- SEEDED AREA
- SITE LIGHT
- PROPOSED PARKING COUNT

CONSTRUCTION DRAWING NOTE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR MCDOT STANDARDS AND SPECIFICATIONS.

SEAL:

OWNER/DEVELOPER:
PARK PLACE APARTMENTS, LLC
ATTN: DANE SAMBRICK
4944 WINDY HILL DRIVE
RALEIGH, NC 27609
PHONE: (919)602-0678
FAX: (919)872-9584
dsambrick@sambrickconstruction.com

REVISIONS:

LAYOUT COORD:	MEL
PLANNING MGR:	MEL
DRAWING BY:	MEL
DATE:	AUGUST 6, 2013
JOB NUMBER:	019002
TITLE:	SITE PLAN
SHEET NUMBER:	C1.0
COMMENTS:	

IMPERVIOUS AREA SUMMARY

PROPOSED PARK PLACE APARTMENTS - SITE AREA = 89,767SF (2,061AC)	
BUILDING	13,146 SF 0.302 ACRE(S) 14.6 % OF TOTAL AREA
PAVEMENT	17,244 SF 0.396 ACRE(S) 19.2 % OF TOTAL AREA
SIDEWALK	2,020 SF 0.046 ACRE(S) 2.3 % OF TOTAL AREA
TOTAL IMPERVIOUS AREA	32,410 SF 0.744 ACRE(S) 36.1 % OF TOTAL AREA
GREEN/OPEN SPACE	57,357 SF 1.317 ACRE(S) 63.9 % OF TOTAL AREA

City of Raleigh

All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

TRANSPORTATION SERVICES

PUBLIC UTILITIES

STORMWATER

PLANNING

FIRE

URBAN FORESTRY

SIGHT TRIANGLE NOTE

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