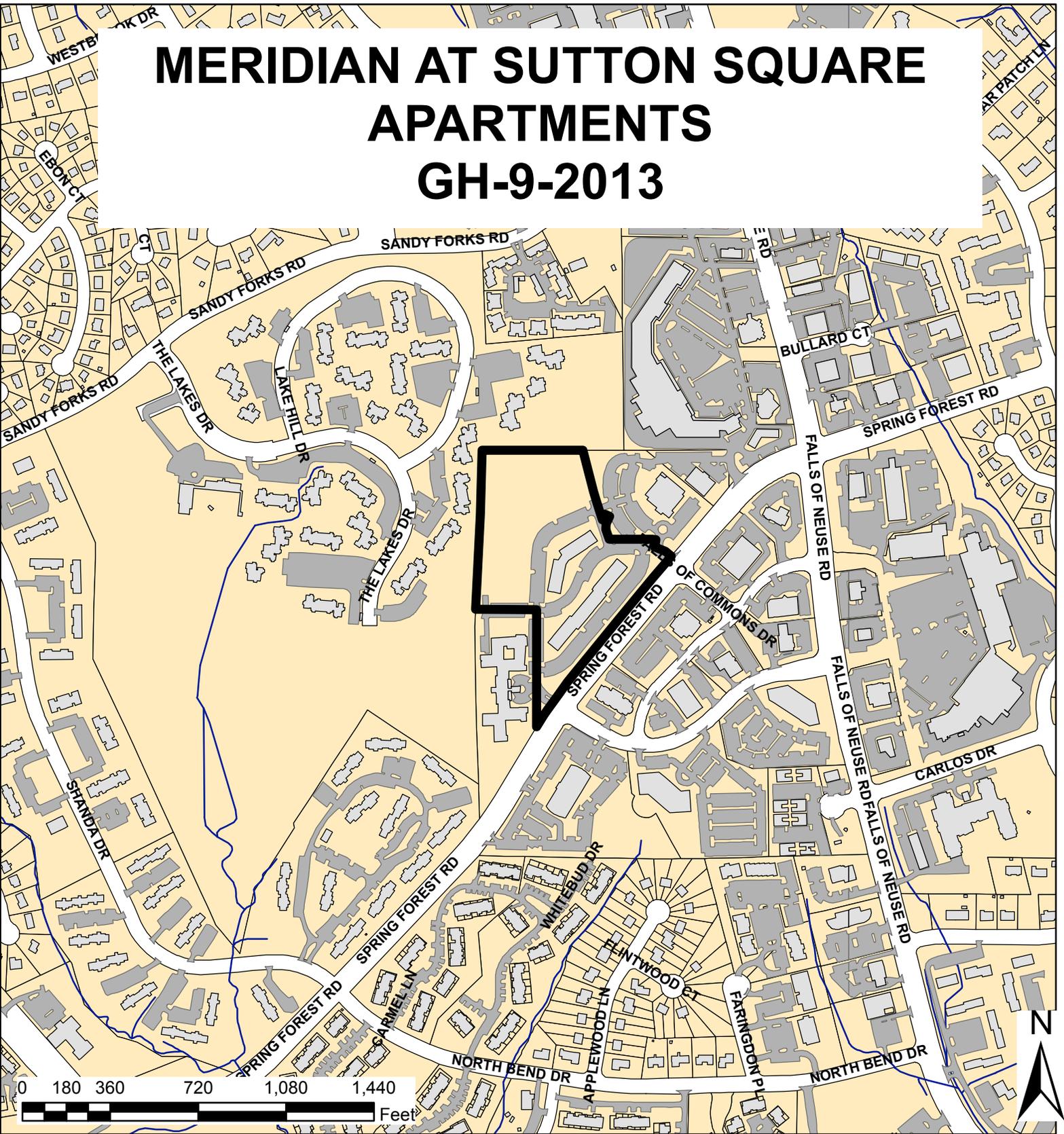


MERIDIAN AT SUTTON SQUARE APARTMENTS GH-9-2013



Zoning: **O&I-2, O&I-1**
CAC: **North**
Drainage **Big Branch**
Basin:
Acreage: **5.44**

Number of Units: **188**
Planner: **Stan Wingo**
Phone: **(919) 996-2663**
Applicant Contact: **Bass, Nixon & Kennedy**
Phone: **(919) 851-4422**



Planning & Development

Customer Service Center
 One Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 Fax 919-516-2685

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input type="checkbox"/> Site Plans for Planning Commission or City Council <input type="checkbox"/> Preliminary Administrative Site Plans <input checked="" type="checkbox"/> Group Housing * <input type="checkbox"/> Multifamily (Infill)*	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Infill Subdivision* <input type="checkbox"/> Infill Recombination* <input type="checkbox"/> Cluster Subdivision <input type="checkbox"/> Expedited Subdivision Review	Transaction Number GH-9-13 373682
* May require Planning Commission or City Council Approval		

Section A

GENERAL INFORMATION

Development Name Meridian at Sutton Square Apartments

Proposed Use Apartments

Property Address(es) 805 Spring Forest Road

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1717-10-2685 P.I.N. P.I.N. P.I.N.

What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe:

PRELIMINARY ADMINISTRATIVE REVIEW

Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively not requiring Planning Commission or City Council approval. N/A

PLANNING COMMISSION OR CITY COUNCIL REVIEW

Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval.
 The proposed density exceeds the 25 dwelling units per acre allowed in O&I-2 zoning but is less than 40 units per acre; consequently, Planning Commission or City Council Preliminary Approval is required.

CLIENT (Owner or Developer)

Company NorthView Partners

Name (s) Mark Barker

Address 6131 Falls of Neuse Road, Suite 200, Raleigh, NC 27609

Phone (919)277-1132

Email mbarker@northviewpartners.com

Fax

CONSULTANT (Contact Person for Plans)

Company Bass, Nixon and Kennedy, Inc.

Name (s) David L. Dunn, PE

Address 6310 Chapel Hill Road, Suite 250, Raleigh, NC 27607

Phone (919)851-4422

Email david.dunn@BNKinc.com

Fax (919)851-8968

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Has your project previously been through the pre-submittal process? If yes, provide the transaction # N/A

Zoning Information	Building Information
Zoning District(s) <u>CUD O&I-1 (0.61 acres) and CUD O&I-2 (4.83 acres)</u>	Proposed building use(s) <u>Apartments</u>
If more than one district, provide the acreage of each <u>See Above</u>	Existing Building(s) sq. ft. gross <u>N/A</u>
Overlay District <u>N/A</u>	Proposed Building(s) sq. ft. gross <u>220,150 SF</u>
Total Site Acres <u>5.44 acres</u> Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) <u>220,150 SF</u>
Off street parking Required <u>307</u> Provided <u>204</u> (103 Shared parking spaces on adjacent lot proposed)	Proposed height of building(s) <u>54'-0"</u>
COA (Certificate of Appropriateness) case # <u>N/A</u>	FAR (floor area ratio percentage) <u>0.93</u>
BOA (Board of Adjustment) case # <u>A- N/A</u>	Building Lot Coverage percentage <u>22.5%</u> (site plans only)
CUD (Conditional Use District) case # <u>Z-31-12</u>	

Stormwater Information

Existing Impervious Surface <u>0.60 acres</u>	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface <u>2.91 acres</u>	If Yes, please provide
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030

The proposed land use is supported by its Office & Institution-2 zoning, which permits residential density of up to 15 units per acre by right, and up to 40 units per acre with the approval of the Planning Commission.

FOR SUBDIVISIONS, MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY

1. Total # Of Townhouse Lots <u>N/A</u> Detached Attached	11. Total number of Open Space (only) lots <u>N/A</u>
2. Total # Of Single Family Lots <u>N/A</u>	12. Total number of all lots <u>1</u>
3. Total # Of Apartment Or Condominium Units <u>188 units</u>	13. Is your project a cluster unit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
4. Total # Of Congregate Care Or Life Care Dwelling Units <u>N/A</u>	If Yes, please answer the questions below: a) Total number of Townhouse Lots b) Total number of Single Family Lots c) Total number of Group Housing Units d) Total number of Open Space Lots e) Minimum Lot Size f) Total Number of Phases g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No h) Must provide open space quotient per City Code 10-3071 (5)
5. Total # Of Mobile Home Lots <u>N/A</u>	
6. Total Number of Hotel Units <u>N/A</u>	
7. Overall Total # Of Dwelling Units (1-6 Above) <u>188 units</u>	
8. Bedroom Units <u>1br - 115 2br - 65 3br - 8 4br or more</u>	
9. Overall Unit(s)/Acre Densities Per Zoning District(s) <u>34.6 units/acre</u>	
10. If your project is an infill subdivision, provide the infill calculations per City Code 10-3032 on the front cover of your drawing sets <u>N/A</u>	

SIGNATURE BLOCK (Applicable to all developments)

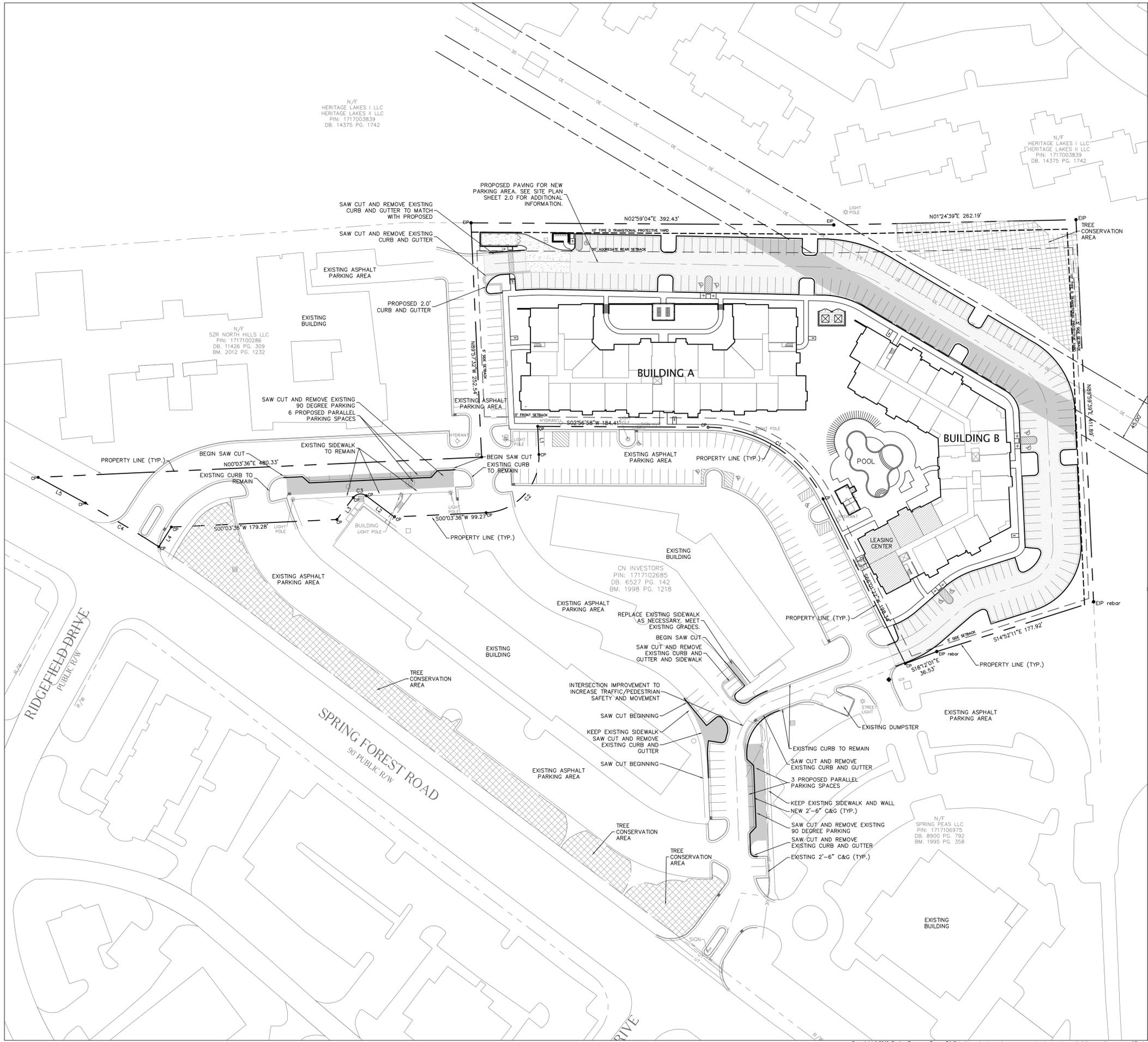
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate Bass, Nixon and Kennedy, Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed _____ Date 8/28/13
 Signed _____ Date _____

Section B					
	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. <u>Preliminary Development Plan Application</u> completed and signed by the property owner	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Client must complete and print page 1 and 2 of the <u>Preliminary Development Plan Application</u> to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
4. I have referenced the <u>Preliminary Development Plan Checklist</u> and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
5. Provide the following plan sheets:	<input type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
c) Proposed Site, Subdivision Plan, or Recombination Plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
f) Proposed Tree Conservation Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
11. Wake County School Form, if dwelling units are proposed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		



GENERAL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SEQUENCING OF DEMOLITION AS DESCRIBED BY THESE DOCUMENTS AND SPECIFICATIONS. CONTRACTOR IS TO OBTAIN ALL PERMITS.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF DEMOLITION OR RELOCATION WITH APPLICABLE UTILITY COMPANIES, IE, GAS, CABLE, POWER TELEPHONE, WATER, SEWER, ETC.
3. CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY FIX ANY ACTIVE UTILITIES DAMAGED DURING CONSTRUCTION AT CONTRACTOR'S EXPENSE. THE OWNER WILL PAY TO MOVE OR REPAIR ANY UTILITIES ENCOUNTERED DURING CONSTRUCTION WHICH ARE NOT IDENTIFIED ON CONSTRUCTION DOCUMENTS OR SITE SURVEY.
4. ALL MATERIALS GENERATED BY THE DEMOLITION WILL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF PER LOCAL ORDINANCES. SEE CONSTRUCTION MANAGEMENT NOTES ON THIS SHEET.
5. SAW-CUT CONCRETE AND ASPHALT PAVEMENT, SIDEWALK, OR CURB AND GUTTER BEFORE EXCAVATION WHERE CONSTRUCTION PLANS SHOW TIE-INS.
6. ALL STREETS SURROUNDING SITE SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES.
7. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL DURING CONSTRUCTION PER WORK AREA TRAFFIC CONTROL HANDBOOK STANDARDS. (W.A.T.C.H.)
8. CONTRACTOR SHALL COORDINATE ALL DEMOLITION OR INSTALLATION WORK ALONG SOUTH TRYON STREET AND CORMWELL LANE WITH CITY OF CHARLOTTE AND NCDOT.
9. DEMOLITION OF STORM DRAINAGE AND SANITARY SEWER SYSTEM(S) BY CONTRACTOR SHALL ALLOW FOR CONTINUOUS USE OF THE SYSTEM(S).
10. REPAIR OR REPLACE ANY ADJACENT CONCRETE CURBING AND/OR SIDEWALK DAMAGED AS A RESULT OF DEMOLITION PROCESSES.
11. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR SALVAGE OF ALL ON SITE MATERIALS INCLUDING BUT NOT LIMITED TO LIGHT POLES, SIGNS, WHEELSTOPS, SITE FURNITURE, ETC. TO BE REMOVED.
12. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY SURVEYOR. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINES SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE DEMOLITION.

CONSTRUCTION WASTE MANAGEMENT NOTES:

1. RECYCLE AND/OR SALVAGE NON HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS.
2. CONTRACTOR TO DEVELOP AND IMPLEMENT A CONSTRUCTION/DEMOLITION WASTE MANAGEMENT PLAN THAT AT A MINIMUM IDENTIFIES THE MATERIALS TO BE DIVERTED FROM DISPOSAL.
3. CONTRACTOR TO PROVIDE CALCULATIONS OF ALL CONSTRUCTION DEMOLITION DEBRIS (BY WEIGHT OR BY VOLUME, THIS MUST BE CONSISTENT THROUGH OUT)



1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CHARLOTTE-MECKLENBURG UTILITIES SPECIFICATIONS.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

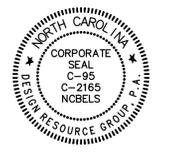
SEE SHEET 2.1 FOR ADDITIONAL CONSTRUCTION NOTES



design resource group

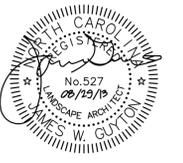
- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
- transportation planning

2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.358.3093
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CAMPUS NORTH
805, SPRING FOREST ROAD
RALEIGH, NORTH CAROLINA
NORTHVIEW PARTNERS
6131 FALL OF NEUSE ROAD, SUITE 200
RALEIGH, NORTH CAROLINA
(919) 277-1118

CONSTRUCTION DOCUMENTS



SCALE: 1" = 50'

PROJECT #: 443-001
DRAWN BY: TH
CHECKED BY: TH

OVERALL SITE PLAN

AUGUST 29, 2013

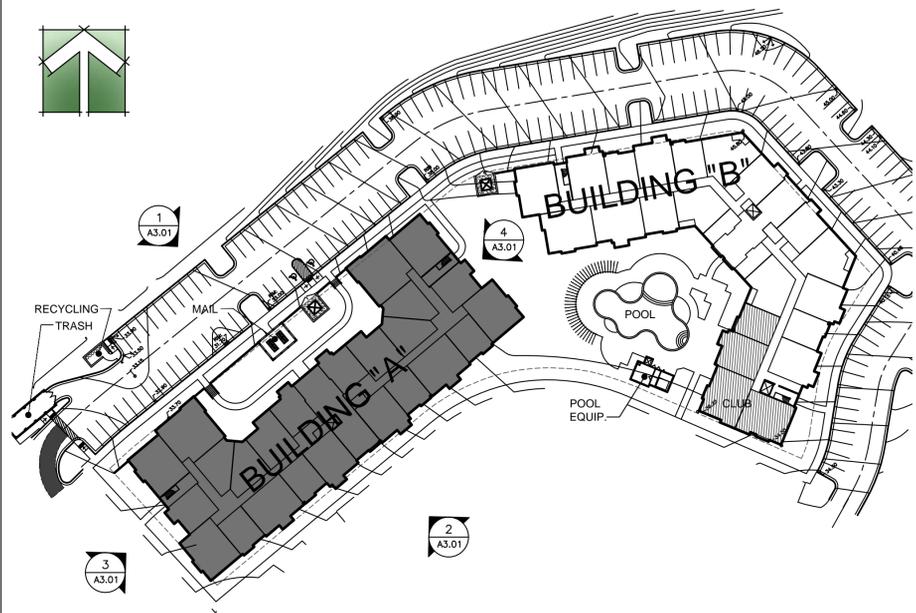
REVISIONS:



Know what's below.
Call before you dig.

NOTE: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS & SPECIFICATIONS.

C2.0



KEY PLAN
SCALE: 1/64" = 1'-0"

5



BUILDING "A" - LEFT ELEVATION
SCALE: 1/16" = 1'-0"

4



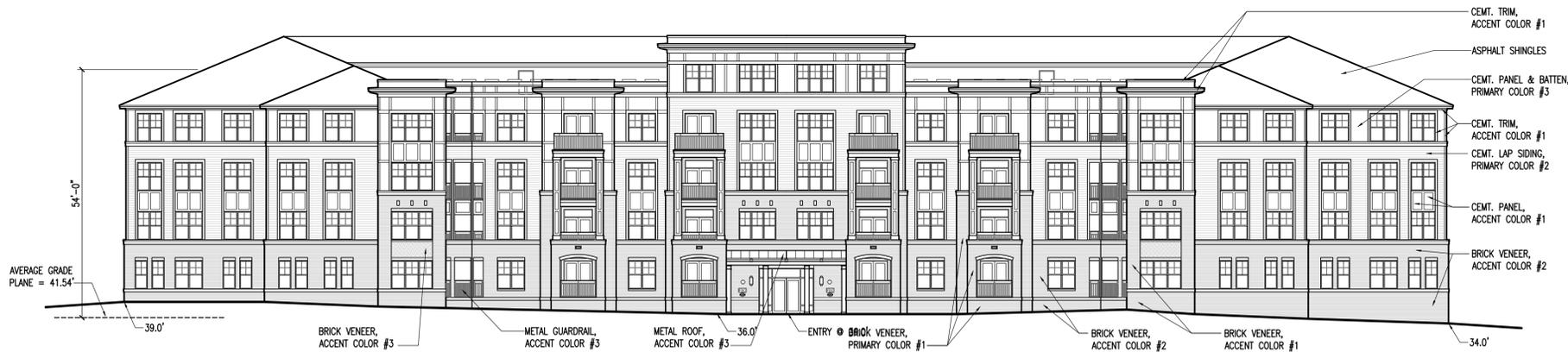
BUILDING "A" - RIGHT ELEVATION
SCALE: 1/16" = 1'-0"

3



BUILDING "A" - REAR ELEVATION
SCALE: 1/16" = 1'-0"

2



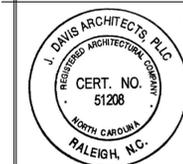
BUILDING "A" - FRONT ELEVATION
SCALE: 1/16" = 1'-0"

1



J DAVIS ARCHITECTS
510 Glenwood Ave., Suite 201 | Raleigh, NC 27603 | Tel 919.835.1000 | Fax 919.835.1510

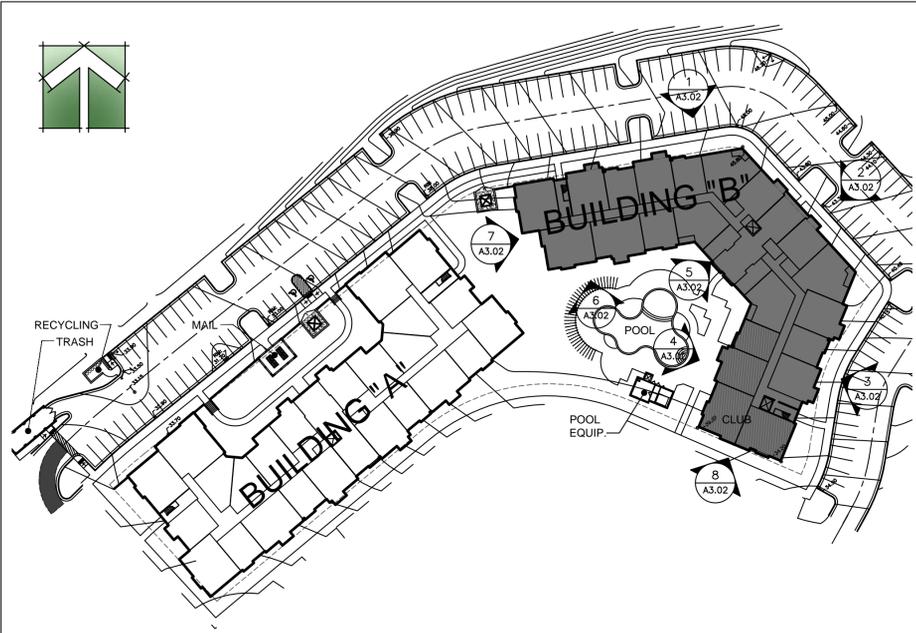
Meridian at Sutton Square
NorthView Partners
Raleigh, NC



PROJECT:	ISSUE:	DATE:
13067		8.27.13
REVISIONS:		
DRAWN BY:		
CHECKED BY:		
CONTENT: A3.01 - EXTERIOR ELEVATIONS		
BUILDING "A"		

A3.01

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KEY PLAN
SCALE: 1/64" = 1'-0" 9



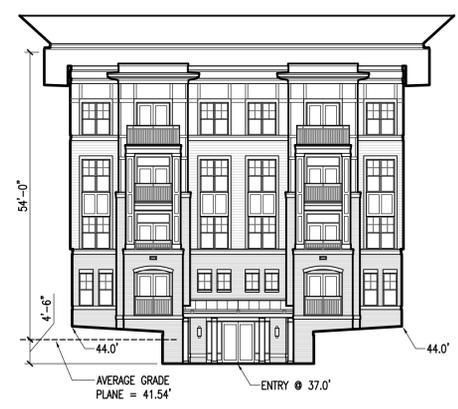
BUILDING "B" - LEFT ELEVATION
SCALE: 1/16" = 1'-0" 8



BUILDING "B" - RIGHT ELEVATION
SCALE: 1/16" = 1'-0" 7



BUILDING "B" - REAR ELEVATION
SCALE: 1/16" = 1'-0" 6



BUILDING "B" - REAR ELEVATION
SCALE: 1/16" = 1'-0" 5



BUILDING "B" - REAR ELEVATION
SCALE: 1/16" = 1'-0" 4



BUILDING "B" - FRONT ELEVATION
SCALE: 1/16" = 1'-0" 3



BUILDING "B" - FRONT ELEVATION
SCALE: 1/16" = 1'-0" 2



BUILDING "B" - FRONT ELEVATION
SCALE: 1/16" = 1'-0" 1

PROJECT:	ISSUE:	DATE:
13067		8.27.13
REVISIONS:		
DRAWN BY:		
CHECKED BY:		
CONTENT: A3.02 - EXTERIOR ELEVATIONS		
BUILDING "B"		

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