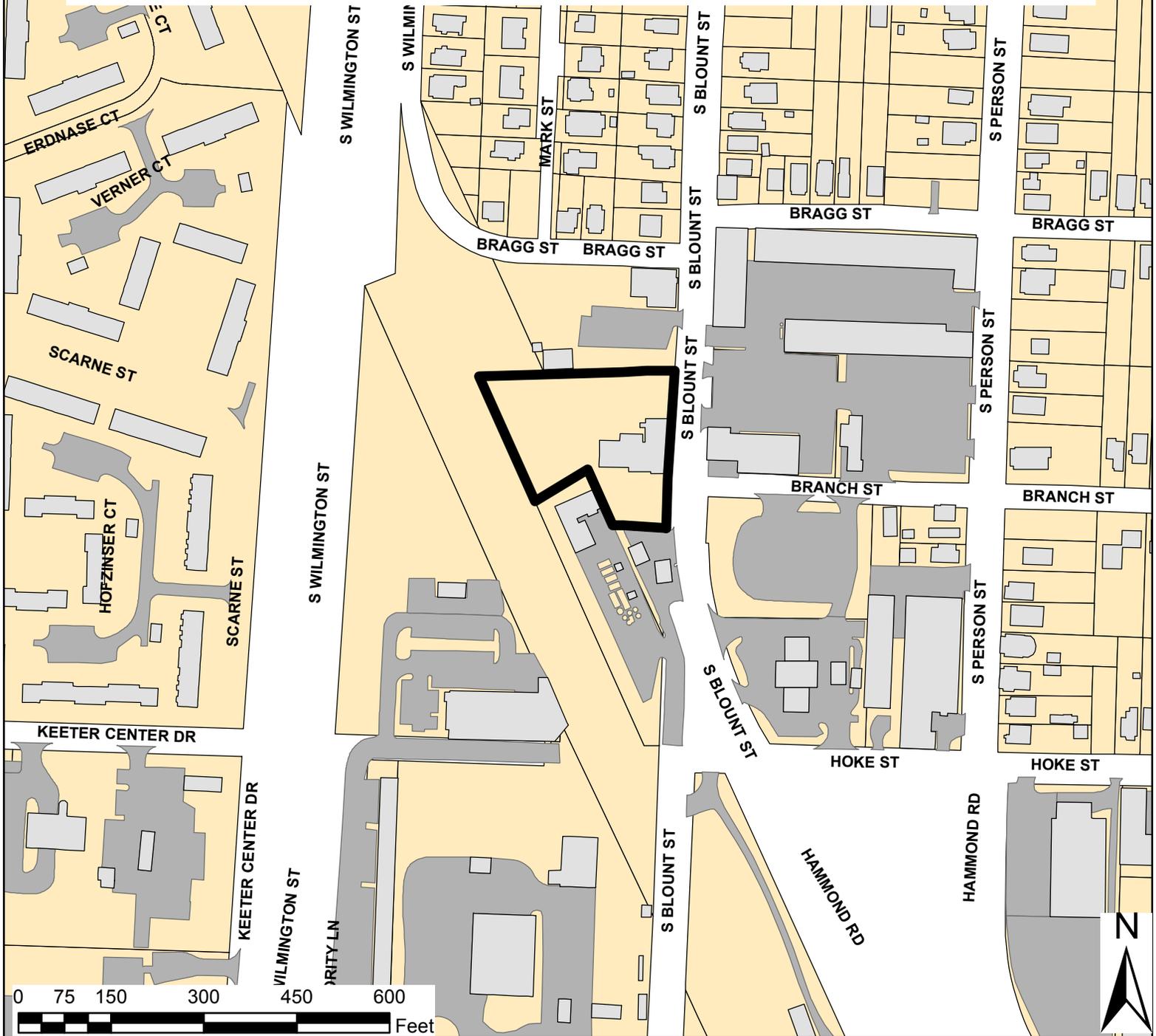


STATE AUTO CARE AND USED TIRES SP-53-2013



Zoning: **IND-2**
CAC: **Central**
Drainage **Rocky Branch**
Basin:
Acreage: **1.28**

Number of Lots: **1**
Planner: **Michael Walters**
Phone: **(919) 996-2636**
Applicant Contact: **Sunderland Engineering, PLLC**
Phone: **(919) 477-7031**



Planning & Development

Customer Service Center
 One Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 Fax 919-516-2685

SP-53-13

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input type="checkbox"/> Site Plans for Planning Commission or City Council <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing * <input type="checkbox"/> Multifamily (Infill)*	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Infill Subdivision* <input type="checkbox"/> Infill Recombination* <input type="checkbox"/> Cluster Subdivision <input type="checkbox"/> Expedited Subdivision Review	Transaction Number <div style="font-size: 2em; color: blue;">376890</div>
* May require Planning Commission or City Council Approval		

Section A

GENERAL INFORMATION

Development Name STATE AUTO CARE AND USED TIRES

Proposed Use REPAIR & SELL USED TIRES

Property Address(es) 1316 SOUTH BLOUNT STREET, RALEIGH, NC.

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. <u>1703734523</u>	P.I.N.	P.I.N.	P.I.N.
--------------------------	--------	--------	--------

What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe: SERVICE

PRELIMINARY ADMINISTRATIVE REVIEW
 Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively not requiring Planning Commission or City Council approval.

PLANNING COMMISSION OR CITY COUNCIL REVIEW
 Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval.

CLIENT (Owner or Developer)

Company STATE AUTO CARE & USED TIRES

Name (s) LEON HAYES Call for CC-payment

Address 1316 SOUTH BLOUNT STREET RALEIGH, NC

Phone 704-363-6341 Email LHAYES80@HOTMAIL.COM Fax 919-322-2419

CONSULTANT (Contact Person for Plans)

Company SUNDERLAND ENGINEERING, PLLC

Name (s) GARY SUNDERLAND

Address 3328 GUESS ROAD DURHAM, NC. 27705

Phone 919-477-7031 Email ZAININC@NC.RR.COM Fax 919-477-9028

Drainage Rocky Map 1703.15 1.28ac
 Central CAC Ind 2

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Has your project previously been through the pre-submittal process? If yes, provide the transaction #

Zoning Information	Building Information
Zoning District(s)	Proposed building use(s) <i>USED TIRES</i>
If more than one district, provide the acreage of each <i>1</i>	Existing Building(s) sq. ft. gross <i>N/A</i>
Overlay District	Proposed Building(s) sq. ft. gross
Total Site Acres Inside City Limits <input type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed)
Off street parking Required Provided	Proposed height of building(s)
COA (Certificate of Appropriateness) case #	FAR (floor area ratio percentage)
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage (site plans only)
CUD (Conditional Use District) case # Z-	

Stormwater Information

Existing Impervious Surface acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface acres/square feet	If Yes, please provide
Neuse River Buffer <input type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030

FOR SUBDIVISIONS, MULTIFAMILY OR GROUP HOUSING PROJECTS ONLY

1. Total # Of Townhouse Lots Detached Attached	11. Total number of Open Space (only) lots
2. Total # Of Single Family Lots	12. Total number of all lots
3. Total # Of Apartment Or Condominium Units	13. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
4. Total # Of Congregate Care Or Life Care Dwelling Units	If Yes, please answer the questions below:
5. Total # Of Mobile Home Lots	a) Total number of Townhouse Lots
6. Total Number of Hotel Units	b) Total number of Single Family Lots
7. Overall Total # Of Dwelling Units (1-6 Above)	c) Total number of Group Housing Units
8. Bedroom Units 1br 2br 3br 4br or more	d) Total number of Open Space Lots
9. Overall Unit(s)/Acre Densities Per Zoning District(s)	e) Minimum Lot Size
10. If your project is an infill subdivision, provide the infill calculations per City Code 10-3032 on the front cover of your drawing sets	f) Total Number of Phases
	g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No
	h) Must provide open space quotient per City Code 10-3071 (5)

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate LEON LAYES to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed L. L Hayes 8/19/13 Date

Signed _____ Date _____

Section B

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>				
2. Preliminary Development Plan Application completed and signed by the property owner	<input checked="" type="checkbox"/>				
3. Client must complete and print page 1 and 2 of the Preliminary Development Plan Application to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
4. I have referenced the Preliminary Development Plan Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>				
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>				
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
c) Proposed Site, Subdivision Plan, or Recombination Plan	<input checked="" type="checkbox"/>				
d) Proposed Grading and Stormwater Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
e) Proposed Utility Plan, including Fire	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
f) Proposed Tree Conservation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals only – include all revision dates	<input type="checkbox"/>				
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>				
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input type="checkbox"/>				
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input type="checkbox"/>				
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input type="checkbox"/>				
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
12. Preliminary stormwater quantity and quality summary and calculations package	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input type="checkbox"/>	<input checked="" type="checkbox"/>			



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 Durham, NC 27701
 USA
 t: (919) 949-4030
 e: harrisonarchpa@gmail.com
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 These documents are instruments of service and shall remain the property of the architect.



9/27/2013

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

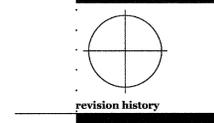
prepared for
 SITE PLAN REVIEW
 project name

STATE TIRE
 1316 S. BLOUNT STREET
 RALEIGH, NC 27601

project number
 201305 - ST
 drawing title

SITE PLAN
 STANDARD DETAILS

drawing scale
 1" = 20'

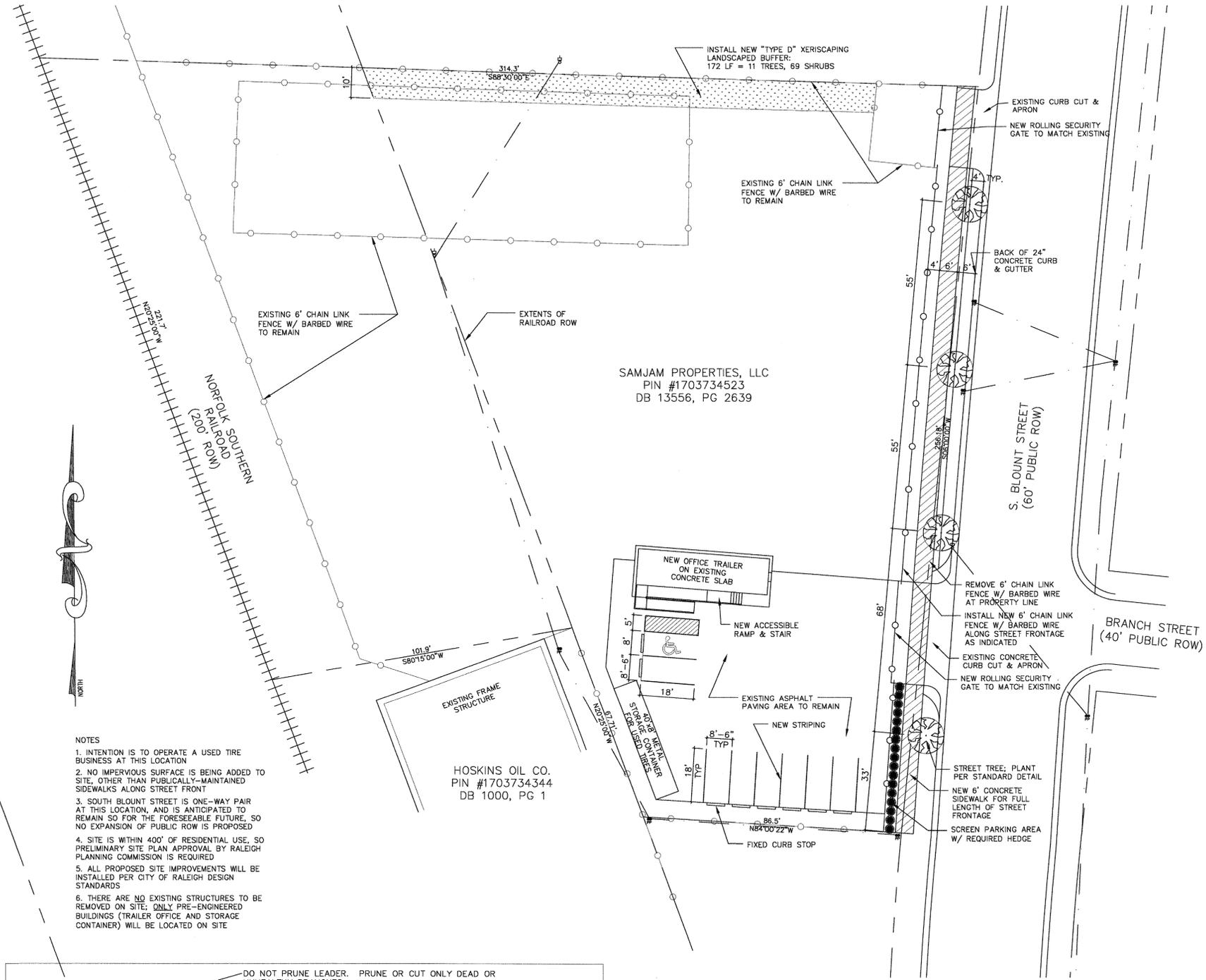
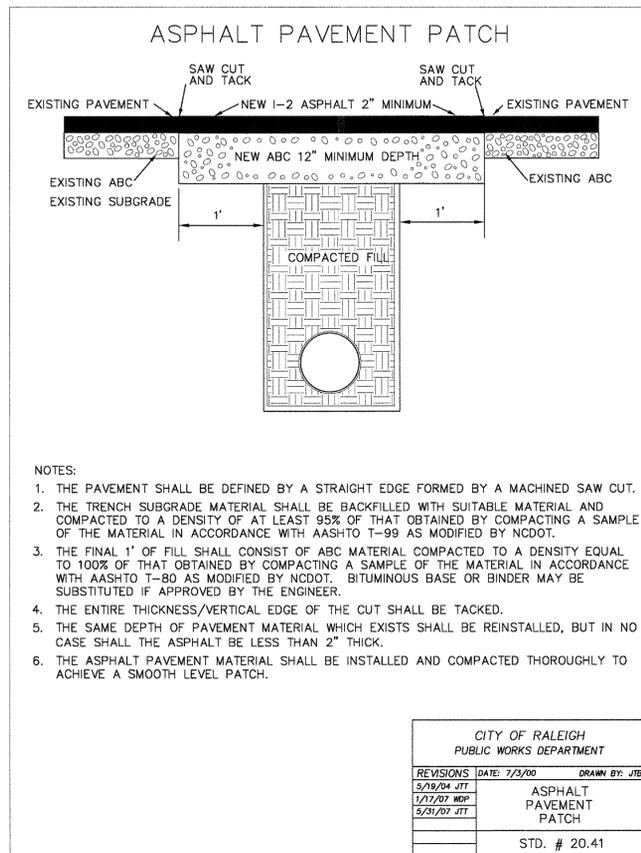


revision history

Mark	Date	Description
Issue/Revision		
CAD File Name		
Drawn By		
Checked By		
Plot Date		
Reviewed by		
Submitted By		
Drawing Code		

issue date
 09/27/2013
 sheet index

S-1



- NOTES**
- INTENTION IS TO OPERATE A USED TIRE BUSINESS AT THIS LOCATION
 - NO IMPERVIOUS SURFACE IS BEING ADDED TO SITE, OTHER THAN PUBLICALLY-MAINTAINED SIDEWALKS ALONG STREET FRONT
 - SOUTH BLOUNT STREET IS ONE-WAY PAIR AT THIS LOCATION, AND IS ANTICIPATED TO REMAIN SO FOR THE FORESEEABLE FUTURE, SO NO EXPANSION OF PUBLIC ROW IS PROPOSED
 - SITE IS WITHIN 400' OF RESIDENTIAL USE, SO PRELIMINARY SITE PLAN APPROVAL BY RALEIGH PLANNING COMMISSION IS REQUIRED
 - ALL PROPOSED SITE IMPROVEMENTS WILL BE INSTALLED PER CITY OF RALEIGH DESIGN STANDARDS
 - THERE ARE NO EXISTING STRUCTURES TO BE REMOVED ON SITE; ONLY PRE-ENGINEERED BUILDINGS (TRAILER OFFICE AND STORAGE CONTAINER) WILL BE LOCATED ON SITE

