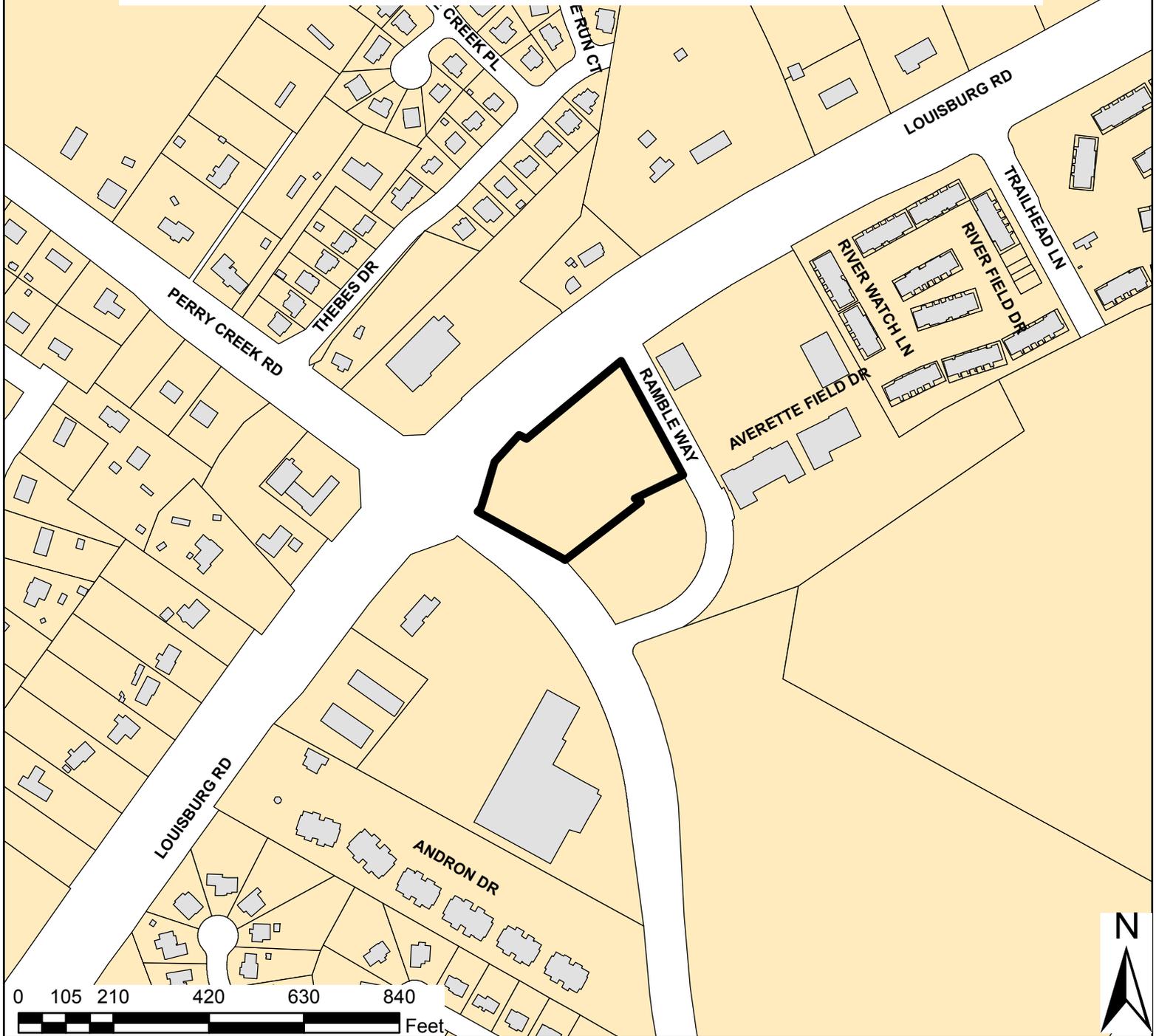


WALGREENS - PERRY CREEK

SP-56-2013



Zoning: **SC-CUD, SHOD-4**
CAC: **Forestville**
Drainage **Perry Creek**
Basin:
Acreage: **2.27**

Number of Lots:
Planner:
Phone:
Applicant Contact:
Phone:

0
Meade Bradshaw
(919) 996-2664
Triangle Site Design
(919) 553-6570



Planning & Development

SP-56-B

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 Fax 919-516-2685

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Site Plans for Planning Commission <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing ** <input type="checkbox"/> Multifamily (Infill)**	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Cluster Subdivision** <input type="checkbox"/> Infill Subdivision** <input type="checkbox"/> Expedited Subdivision Review <input type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Subdivision	Transaction Number 379841 Assigned Project Coordinator Assigned Team Leader
* May require Planning Commission or City Council Approval ** Legacy Districts Only		

Has your project previously been through the Due Diligence process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name Walgreens - Perry Creek Rd.

Proposed Use Drug Store

Property Address(es) 6970 Perry Creek Road Raleigh, NC

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. Recorded Deed 1737644072 ✓	P.I.N. Recorded Deed 1737645187 ✓	P.I.N. Recorded Deed	P.I.N. Recorded Deed
--------------------------------------	--------------------------------------	----------------------	----------------------

What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe:

PRELIMINARY ADMINISTRATIVE REVIEW
 Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively not requiring Planning Commission or City Council approval.

PLANNING COMMISSION
 Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval.

CLIENT (Owner or Developer)

Company SBBH, LLC or assigns	Name (s) Scott C. Bortz		
Address 2820 Selwyn Avenue Suite 425 Charlotte, NC 28209			
Phone 704-714-2860	Email sbortz@tribek.com	Fax 704-333-8485	

CONSULTANT (Contact Person for Plans)

Company Triangle Site Design, PLLC	Name (s) Matt Lowder, PE		
Address 4006 Barrett Drive Suite 203 Raleigh, NC 27609			
Phone 919-553-6570	Email mlowder@trianglesitedesign.com	Fax	

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) SC-CUD (Z-29-05) & Z-58-04	Proposed building use(s) Drug Store
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross 0
Overlay District SHAD	Proposed Building(s) sq. ft. gross 14,820
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 14,820
Off street parking Required 49 Provided 55	Proposed height of building(s) 20' +/-
COA (Certificate of Appropriateness) case #	FAR (floor area ratio percentage)
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage (site plans only)
CUD (Conditional Use District) case # Z-29-05 & Z-58-04	

Stormwater Information

Existing Impervious Surface 0.017/720 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 1.275/55,547 acres/square feet	If Yes, please provide
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils NA Flood Study NA FEMA Map Panel # 05051C01S2 C

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030.

FOR SUBDIVISION, APARTMENT, TOWNHOUSE, CONDOMINIUM PROJECTS ONLY

1. Total # Of Townhouse Lots Detached Attached	11. Total number of all lots
2. Total # Of Single Family Lots	12. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
3. Total # Of Apartment Or Condominium Units	If Yes, please answer the questions below:
4. Total # Of Congregate Care Or Life Care Dwelling Units	a) Total number of Townhouse Lots
5. Total # Of Mobile Home Lots	b) Total number of Single Family Lots
6. Total Number of Hotel Units	c) Total number of Group Housing Units
7. Overall Total # Of Dwelling Units (1-6 Above)	d) Total number of Open Space Lots
8. Bedroom Units 1br 2br 3br 4br or more	e) Minimum Lot Size
9. Overall Unit(s)/Acre Densities Per Zoning District(s)	f) Total Number of Phases
10. Total number of Open Space (only) lots	g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No
	h) Must provide open space quotient per City Code 10-3071 (5)

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

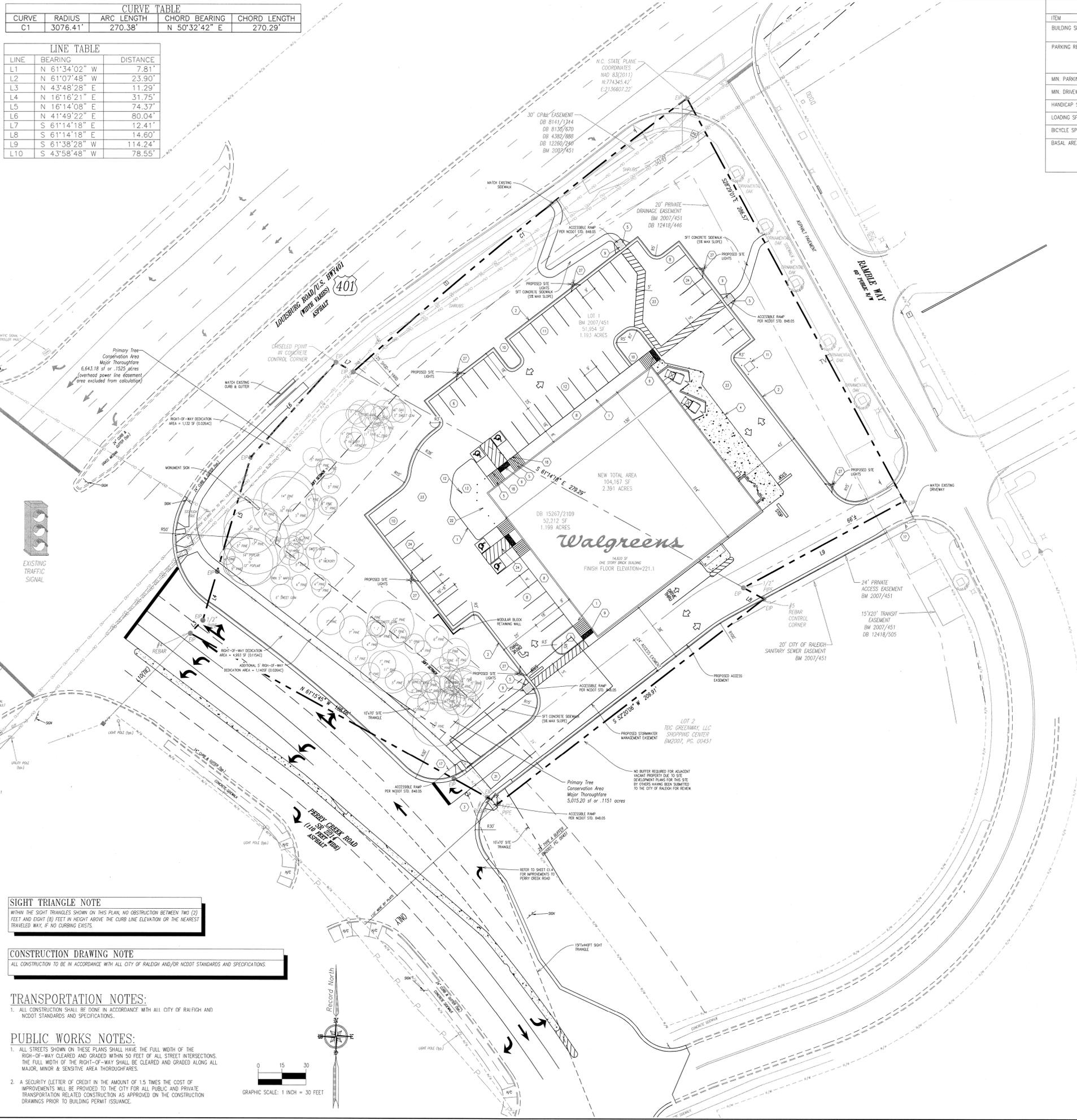
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed *Scott C. Burt* Date _____
 Signed _____ Date _____

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input type="checkbox"/>		✓		
2. Preliminary Development Plan Application completed and signed by the property owner	<input checked="" type="checkbox"/>		✓		
3. Client must complete and print page 1 and 2 of the Preliminary Development Plan Application to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
4. I have referenced the Preliminary Development Plan Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>		✓		
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
c) Proposed Site or Subdivision Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Tree Conservation Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
i) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals only – include all revision dates	<input checked="" type="checkbox"/>		✓		
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>		✓		✓
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	3076.41'	270.38'	N 50°32'42" E	270.29'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 61°34'02" W	7.81'
L2	N 61°07'48" W	23.90'
L3	N 43°48'28" E	11.29'
L4	N 16°16'21" E	31.75'
L5	N 16°14'08" E	74.37'
L6	N 41°49'22" E	80.04'
L7	S 61°14'18" E	12.41'
L8	S 61°14'18" E	14.60'
L9	S 61°38'28" W	114.24'
L10	S 43°58'48" W	78.55'



PARKING INFORMATION		
ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	N/A	14,820 SF
PARKING REQUIRED	1 SPACE PER 300SF GROSS FLOOR AREA (14,820SF = 49 SPACES REQUIRED)	55
MIN. PARKING DIM.	8.5 FT x 18 FT	8.5 FT x 18 FT
MIN. DRIVEWAY WIDTH	24 FT	24 FT
HANDICAP SPACES	3 SPACES	4 SPACES
LOADING SPACE	1 REQUIRED	1 PROVIDED
BICYCLE SPACE	2 REQUIRED	2 PROVIDED
BASAL AREA	REFER TO SHEETS LA-1 & LA-2	

DEVELOPMENT DATA		
LOCATION:	6970 PERRY CREEK ROAD RALEIGH, NORTH CAROLINA	
ZONE:	SC-CUD (SHOPPING CENTER CONDITIONAL USE) (REZONING PETITION#2-09-05 & 2-58-04)	
USE:	RETAIL	
PIN ID:	1737-64-4072 & 1737-64-5187	
ITEM	REQUIREMENTS	PROVIDED
MINIMUM LOT AREA	NONE	104,167 SF = 2,265 SF (R/W DEDICATION) = 96,902 SF (2.22 AC)
MAXIMUM BUILDING HEIGHT	50 FT	1 STORY
MINIMUM LOT FRONTAGE	N/A	424.7 FT
MINIMUM FRONT SETBACK	AGGREGATE 30FT FRONT & REAR	30FT
MINIMUM SIDE SETBACK	0 FT	81 FT
MINIMUM REAR SETBACK	AGGREGATE 30FT FRONT & REAR	37 FT
PARKING SETBACK	R/W - 10FT AVERAGE WIDTH	10FT AVERAGE
WATERSHED	NEUSE RIVER	

ENGINEER:

TRIANGLE SITE DESIGN

TRIANGLE SITE DESIGN, PLLC
4006 BARRETT DR, STE 203
RALEIGH, NC 27609
(919) 553-6570
NC LICENSE P-0619
mlowder@trianglesitedesign.com

OWNER/DEVELOPER:

SBBH, LLC or assigns
ATTN: SCOTT C. BORTZ
2820 SELWYN AVENUE
SUITE 425
CHARLOTTE, NC 28209
PHONE: (704)714-2860
FAX: (704)333-8485
sbortz@tribek.com

ACCESS DRIVE NOTES:

No sign obstructing or partially obstructing wall, fence, foliage, burning parked vehicles or sign between the heights of twenty-four (24) inches and eight (8) feet above the curb line elevation, or the nearest traveled way if no curbing exists, shall be placed within a sight triangle of a public street, private street or driveway contained either on the property or on an adjoining property.

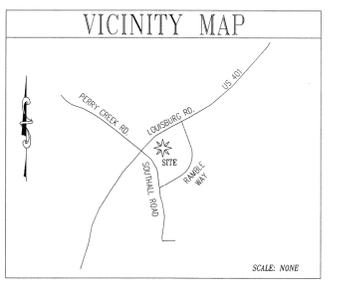
Size of Required Sight Triangles:
A sight triangle is that triangle as set forth by the North Carolina Department of Transportation's Policy on Street and Driveway Access to North Carolina Highway Manual, and all subsequent amendments thereto.

Minimum corner clearance from curb line of intersection streets shall be at least twenty (20) feet from the point of tangency.

IMPERVIOUS AREA SUMMARY		
SITE AREA =	104,167 SF (2.391 AC)	
R/W DEDICATION (LOUPOUR ROAD) =	1,132 SF (0.026 AC)	
R/W DEDICATION (PERRY CREEK ROAD) =	6,133 SF (0.141 AC)	
TOTAL AREA =	96,902 SF (2.22 AC)	
BUILDING	14,820 SF (0.340 ACRES)	15.29 % OF TOTAL AREA
PAVEMENT	35,327 SF (0.811 ACRES)	36.46 % OF TOTAL AREA
SIDWALK	4,748 SF (0.109 ACRES)	4.90 % OF TOTAL AREA
TOTAL IMPERVIOUS AREA	54,895 SF	56.65 % OF TOTAL AREA
GREEN/OPEN SPACE	42,007 SF	43.35 % OF TOTAL AREA
PUBLIC ROAD RIGHT-OF-WAY IMPROVEMENTS: AREA OF IMPROVEMENTS =	43,124 SF (0.984 AC)	
TOTAL IMPERVIOUS AREA	15,400 SF	35.71 % OF TOTAL AREA
GREEN/OPEN SPACE	27,724 SF	64.29 % OF TOTAL AREA
TOTAL AREA OF IMPROVEMENTS (ON-SITE & R/W) =	140,028 SF (3.21 AC)	
BUILDING	14,820 SF (0.340 ACRES)	10.58 % OF TOTAL AREA
PAVEMENT	35,327 SF (0.811 ACRES)	25.23 % OF TOTAL AREA
SIDWALK	4,748 SF (0.109 ACRES)	3.39 % OF TOTAL AREA
R/W IMPROVEMENTS	15,400 SF (0.353 ACRES)	11.00 % OF TOTAL AREA
TOTAL IMPERVIOUS AREA	70,295 SF	50.20 % OF TOTAL AREA
GREEN/OPEN SPACE	69,731 SF	49.80 % OF TOTAL AREA

SEAL:

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION



GENERAL NOTES:

- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY CITY OF RALEIGH AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE CITY OF RALEIGH CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
- THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL RETROREFLECTIVE SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- WE ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD #20.11.
- ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 350 SQUARE FEET.

REFERENCED KEYED NOTES

- CONCRETE WALK WITH TOOLED CONTROL JOINTS (5' MAX EACH WAY), AND BROOM FINISH
- PERIMETER OF ALL ASPHALT TO RECEIVE CONCRETE CURB
- CONCRETE APRON TO NCDOT SPECIFICATION. CURB CUT DIMENSION MUST ACCOMMODATE 65 FOOT TRACTOR/TRAILER WITHOUT ROLLING ONTO CURB. SEE SITE PLAN CRITERIA NOTE #6 THIS SHEET. DRIVE DRIVEWAY INTO LANES WITH STRIPING.
- LINE OF CONCRETE PAD
- ACCESSIBLE CURB RAMP WITH DETECTABLE WARNING ALONG ACCESSIBLE ROUTES (TYP) WHEN SLOPE IS LESS THAN 5% ONLY 36" OF DETECTABLE WARNING SURFACE IS REQUIRED.
- TOP OF SIGN FOUNDATION TO BE AT TOP OF STREET CURB HEIGHT (MIN.)
- ALL END ISLANDS TO BE 4'-0" LESS THAN STALL DEPTH, WHERE FULL DEPTH ISLAND IS REQUIRED. DETAIL ROLL-OVER CURB AND CONCRETE FILL END OF ISLAND 4'-0".
- WALKS WITHOUT COLUMNS CAN BE 8'-0" W. WALKS WITH COLUMNS SHALL PROVIDE 5'-0" CLEAR TO BUILDING AND 2'-6" CLEAR TO EDGE OF CURB.
- DETECTABLE WARNING SURFACE, 36" DEEP.
- ISLAND WITH 6" CURB.
- PAD MOUNTED TRANSFORMER WITH BOLLARDS. (COORDINATE ANY OTHER LOCATIONS WITH WALGREENS PROJECT ARCHITECT)
- TUBULAR STEEL BIKE RACK. ALLOW FOR 5' ACCESS AISLE BEYOND PARKING AREA, BOTH SIDES OF RACK. SEE DETAIL.
- 7'-3" x 8'-8" MINIMUM ALLOWABLE AREA FOR BIKE PARKING
- TOTE ENCLASURE (NOT USED)
- PRIVACY FENCE. SEE SITE PLAN CRITERIA NOTE #3 (NOT USED)
- 12" x 18" "DO NOT BLOCK ENTRANCE" SIGN. SEE DETAIL XX. ORIENT FACE OF SIGN ADJACENT TO ON-COMING TRAFFIC.
- MINIMUM 24" OCTAGONAL REFLECTIVE STEEL STOP SIGN (SET BACK CLEAR OF TRAFFIC). SEE DETAIL XX AT DRIVE-THRU; ALIGN EDGE OF STOP SIGN WITH EDGE OF 1'-0" CURB AT DRIVE-THRU.
- ACCESSIBLE PARKING SIGN. SEE SHEET XXXX
- READERBOARD Pylon SIGN: CONCRETE BASE FOR SIGN TO BE INSTALLED AS SOON AS POSSIBLE. ORIENT PERPENDICULAR TO MAJOR TRAFFIC STREET. SEE SHEET XX PROVIDE CONCRETE PAVERS AT Pylon SIGN WITH MANUAL READERBOARDS.
- LIMIT OF HEAVY-DUTY ASPHALT PAVING
- PROVIDED LANE DIVIDERS AND DIRECTIONAL ARROWS AT ALL DRIVES AND END OF DRIVE AISLES.
- ENTRY BOLLARDS WITH POLYETHYLENE COVERS 5'-4" CLEAR MAX
- ASPHALT PAVING.
- YELLOW PAINT STRIPING (TYPICAL). BLACK OUTLINE ON CONCRETE PAVEMENT.
- GAS METER
- STORM CATCH BASINS AND GRATED MANHOLES TO BE 40" MINIMUM AWAY FROM 2% ACCESSIBLE PARKING ZONE AND ACCESSIBLE ROUTES
- CONCRETE LIGHT POLE BASE - SEE DETAIL ON SHEET P110. LOCATE 3'-0" FROM BACK OF CURB OR SIDEWALK TO CENTER OF BASE. AIM LIGHT FIXTURE IN DIRECTION AS INDICATED.

SIGHT TRIANGLE NOTE
WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

CONSTRUCTION DRAWING NOTE
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

TRANSPORTATION NOTES:
1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

PUBLIC WORKS NOTES:
1. ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE RIGHT-OF-WAY CLEARED AND GRADED WITHIN 50 FEET OF ALL STREET INTERSECTIONS. THE FULL WIDTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR & SENSITIVE AREA THOROUGHFARES.
2. A SECURITY LETTER OF CREDIT IN THE AMOUNT OF 1.5 TIMES THE COST OF IMPROVEMENTS WILL BE PROVIDED TO THE CITY FOR ALL PUBLIC AND PRIVATE TRANSPORTATION RELATED CONSTRUCTION AS APPROVED ON THE CONSTRUCTION DRAWINGS PRIOR TO BUILDING PERMIT ISSUANCE.



PROJECT NAME: **Walgreens**

6970 PERRY CREEK ROAD
RALEIGH, NC
WAKE COUNTY

REVISIONS:

LAYOUT COORD:	MEL
PLANNING MGR.	MEL
DRAWING BY:	MEL

TITLE: **SITE PLAN**

SHEET NUMBER: **C1.0**

DATE: **OCTOBER 31, 2013**

TRAFFIC CONTROL NOTES:

THE DISTRICT OFFICE OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) & CITY OF RALEIGH TRANSPORTATION DEPARTMENT MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.

TRAFFIC MUST BE MAINTAINED AT ALL TIMES AND TRAFFIC CONTROL MUST COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND WITH THE CURRENT EDITION OF THE NCDOT STANDARDS AND SPECIFICATIONS.

ALL LINES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM. A MINIMUM OF ONE 12-FOOT LANE SHALL BE MAINTAINED AT ALL TIMES.

ALL ROADWAY SIGNS WHICH ARE TO BE REMOVED DURING CONSTRUCTION ARE TO BE REINSTALLED AS SOON AS POSSIBLE.

DURING NON-WORKING HOURS, EQUIPMENT IS TO BE PARKED AS CLOSE TO THE RIGHT OF WAY LINE AS POSSIBLE AND BE PROPERLY BARRICADED IN ORDER TO PREVENT ANY EQUIPMENT OBSTRUCTION WITHIN THE TRAVEL LANE.

ALL CONTRACTORS DOING WORK WITHIN STATE RIGHT OF WAY ARE TO HAVE A COPY OF THESE PLANS ON THE JOB SITE.

WHEN PERSONNEL AND/OR EQUIPMENT ARE WITHIN 5' OF AN OPEN TRAVEL LANE, THE CONTRACTOR SHALL CLOSE THE OPEN TRAVEL LANE ADJACENT TO THE WORK AREA USING APPROPRIATE TRAFFIC CONTROL MEANS AND METHODS UNLESS WORK IN THAT AREA IS PROTECTED BY BARRIER OR GUARDRAIL.

THE CONTRACTOR SHALL NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVEL WAY WITHIN THE SAME LOCATION ON A TWO-LANE, TWO-WAY ROAD.

THE MAXIMUM LENGTH OF A LANE CLOSURE ON THE PROJECT SHALL BE ONE MILE, MEASURED FROM THE BEGINNING OF THE MERGE TAPER TO THE END OF THE LANE CLOSURE.

THE CONTRACTOR SHALL BACKFILL AT 6:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPENED TRAVEL LANE THAT HAS A DROP-OFF OF MORE THAN 3".

WHEN BACKFILL IS REQUIRED, IT SHALL BE AT NO EXPENSE TO THE OWNER.

THE MAXIMUM DIFFERENCE IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC SHALL BE 2".

WHEN LANE CLOSURES ARE NOT IN EFFECT, CHANNELING DEVICES IN WORK AREAS SHALL BE SPACED NO GREATER THAN TWICE THE POSTED SPEED LIMIT, EXCEPT 10' ON-CENTER IN PARK AND SHALL BE SET 3' OFF THE EDGE OF AN OPEN TRAVELWAY.

DURING INSTALLATION, PROPER TRAFFIC CONTROL DEVICES, SIGNS, ETC. BE INSTALLED TO ENSURE PUBLIC SAFETY IN ACCORDANCE WITH THE NORTH CAROLINA & CITY OF RALEIGH DEPARTMENT OF TRANSPORTATION'S STANDARDS AND SPECIFICATIONS.

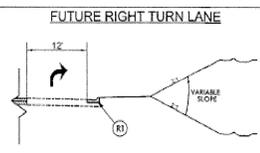
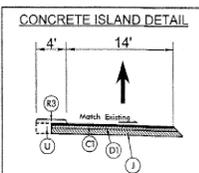
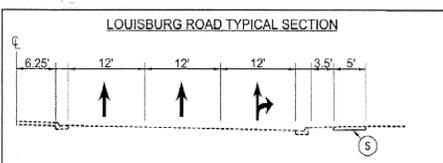
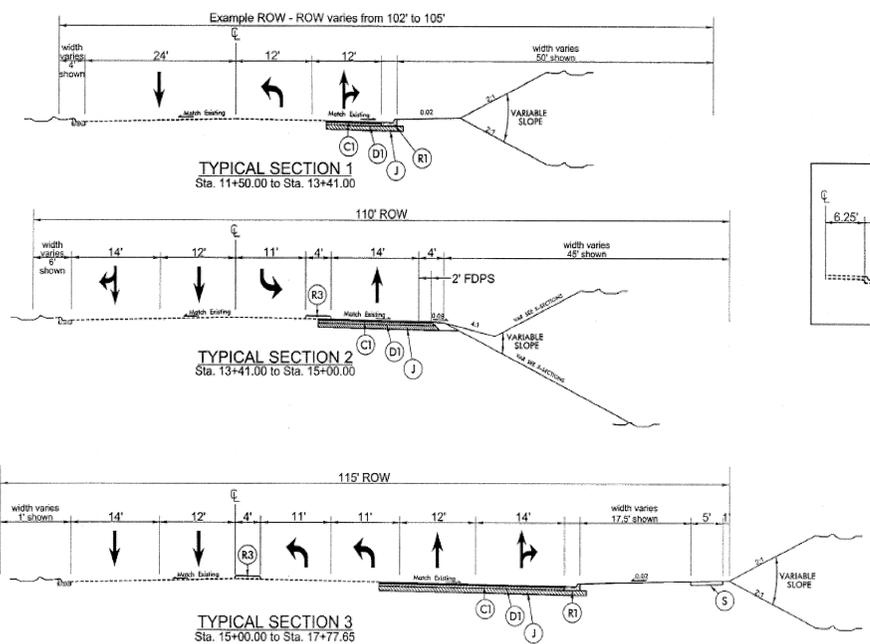
ALL DISTURBED AREAS ARE TO BE FULLY RESTORED TO NCDOT & CITY OF RALEIGH MINIMUM ROADWAY STANDARDS.

MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE NCDOT & CITY OF RALEIGH ROADWAY STANDARDS AND SPECIFICATIONS (LATEST EDITION).

PAVEMENT MARKING SCHEDULE	
(A) 4" WHITE EDGE LINE NCDOT STD DETAIL 1205.01	
(B) 4" DOUBLE YELLOW CENTERLINE NCDOT STD DETAIL 1205.01	
(C) 4" YELLOW LANE LINE NCDOT STD DETAIL 1205.01	
(D) WHITE TURN LANE ARROW NCDOT STD DETAIL 1205.08	
(E) 8" YELLOW DIAGONAL LINES NCDOT STD DETAIL 1205.09	
(F) 2" MINI-SKIP LINES NCDOT STD DETAIL 1205.01	
(G) YELLOW SKIP CENTER LINES NCDOT STD DETAIL 1205.01	
(H) STOP BAR NCDOT STD DETAIL 1205.01	

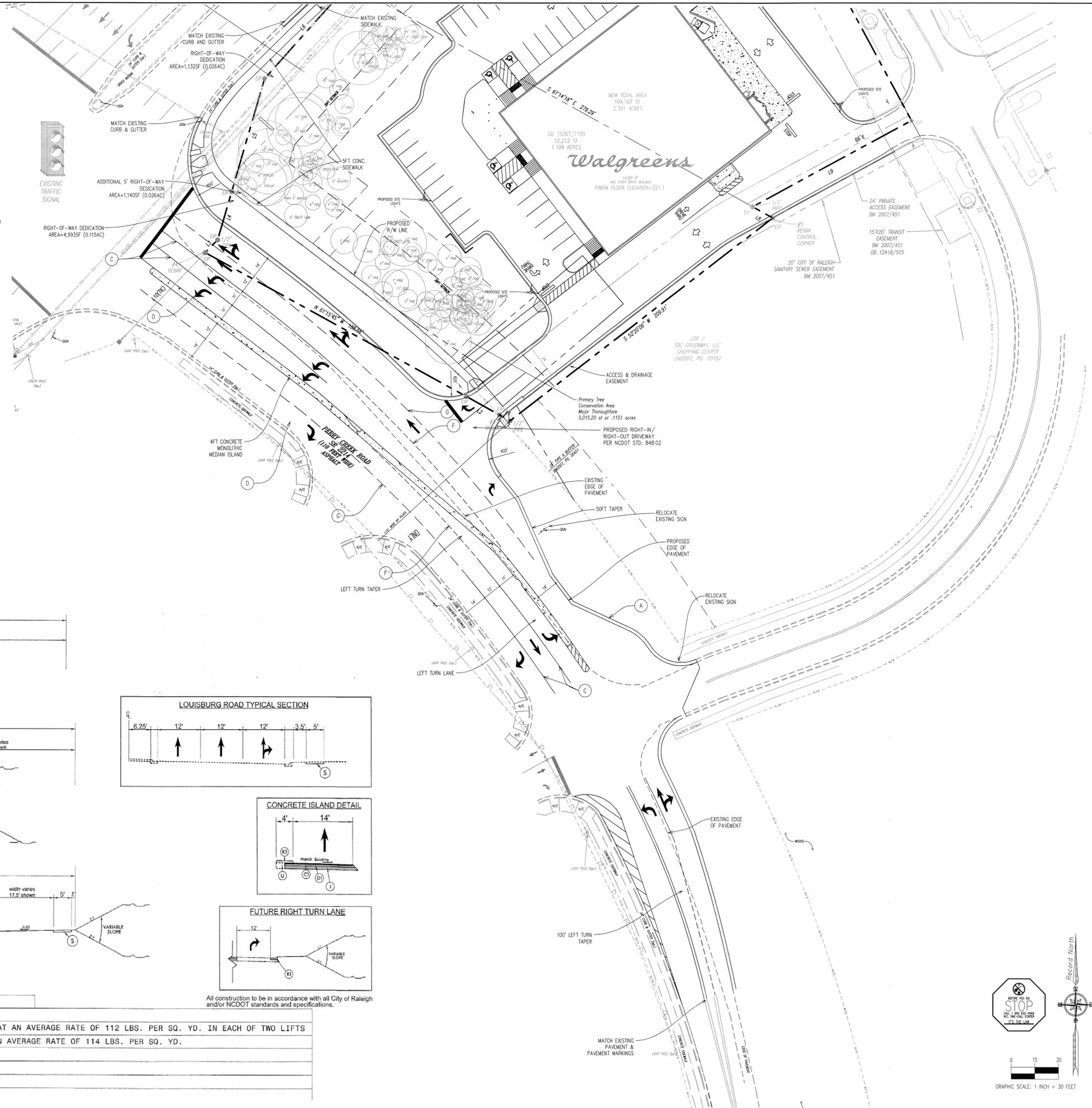
ALL PERMANENT PAVEMENT MARKINGS SHALL BE THERMOPLASTIC PER NCDOT REQUIREMENTS

CONTRACTOR TO INSTALL MARKINGS PER NCDOT STANDARD MANUALS AND LOCATIONS TO BE COORDINATED WITH THESE DEPARTMENTS PRIOR TO FINAL INSTALLATION.



PAVEMENT SCHEDULE	
CODE	DESCRIPTION
C1	PROP. APPROX. 2.5" ASPHALT CONCRETE SURFACE COURSE, TYPE S9.5A, AT AN AVERAGE RATE OF 112 LBS. PER SQ. YD. IN EACH OF TWO LIFTS
D1	PROP. APPROX. 4.5" BITUMINOUS CONCRETE BASE COURSE, TYPE H, AT AN AVERAGE RATE OF 114 LBS. PER SQ. YD.
J	PROP. 8" AGGREGATE BASE COURSE
R1	2'-6" CONCRETE CURB AND GUTTER
R2	2'-0" CONCRETE CURB AND GUTTER
R3	MONOLITHIC CONCRETE ISLAND

All construction to be in accordance with all City of Raleigh and/or NCDOT standards and specifications.



ENGINEER:
TRIANGLE SITE DESIGN

TRIANGLE SITE DESIGN, PLLC
4006 BARRETT DR, STE 203
RALEIGH, NC 27609
(919) 553-6570
NC LICENSE P-0619
mlowder@trianglesitedesign.com

OWNER/DEVELOPER:
SBBH, LLC or assigns
ATTN: SCOTT C. BORTZ
2820 SELWYN AVENUE
SUITE 425
CHARLOTTE, NC 28209
PHONE: (704)714-2860
FAX: (704)333-8485
sbortz@tribek.com

SEAL:

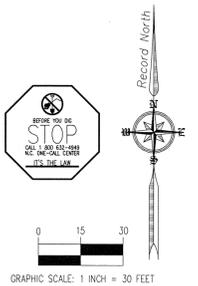
PRELIMINARY
DO NOT USE FOR
CONSTRUCTION

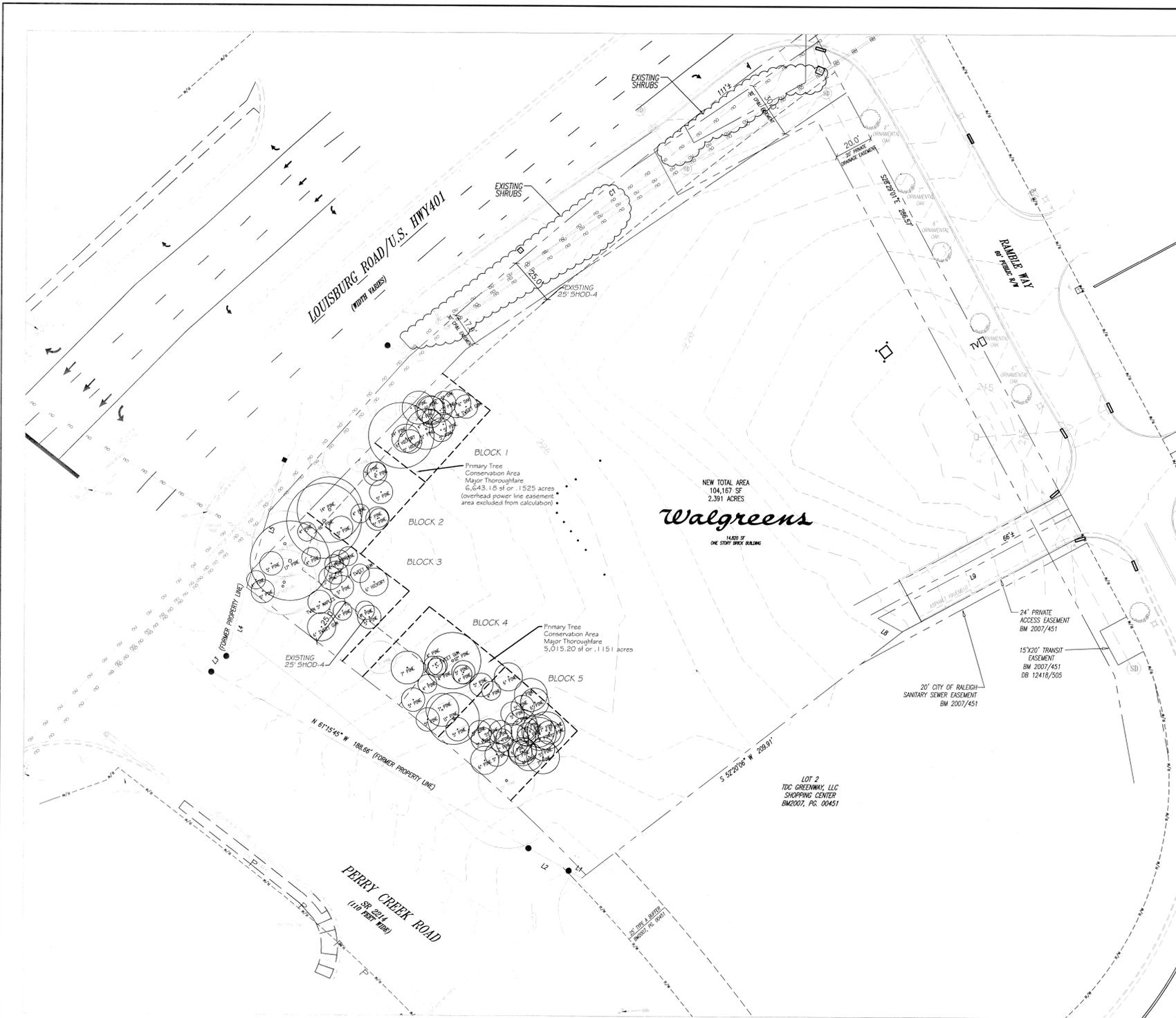
PROJECT NAME:
Walgreens
6970 PERRY CREEK ROAD
RALEIGH, NC
WAKE COUNTY
SP

LAYOUT COORD: MEL
PLANNING MGR. MEL
DRAWING BY: MEL

This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Triangle Site Design, PLLC shall be without liability to Triangle Site Design, PLLC.

TITLE: **ROADWAY IMPROVEMENT PLAN**
SHEET NUMBER: **C1.4**
DATE: **OCTOBER 31, 2013**





BLOCK 1
COMPOSITION: MIXED STAND OF 15+ TREES: GUM, PINE, AND OAK, AND HICKORY
CHARACTERISTICS OF TREE STAND: PINE AND HARDWOOD, SLOPING
SMALLEST CALIPER TREE: 4"
LARGEST DBH: 14"
TYPICAL DBH: 5"-6"
TYPICAL SPACING: 10'-15'
BASAL AREA CALCULATION / ACRE: 99.9
GENERAL HEALTH: GOOD

BLOCK 2
COMPOSITION: STAND OF 10+ PINE TREES
CHARACTERISTICS OF TREE STAND: PINES ON A SLOPE
SMALLEST CALIPER TREE: 4"
LARGEST DBH: 16"
TYPICAL DBH: 4"-5"
TYPICAL SPACING: 10'-25'
BASAL AREA CALCULATION / ACRE: 83.90
GENERAL HEALTH: GOOD

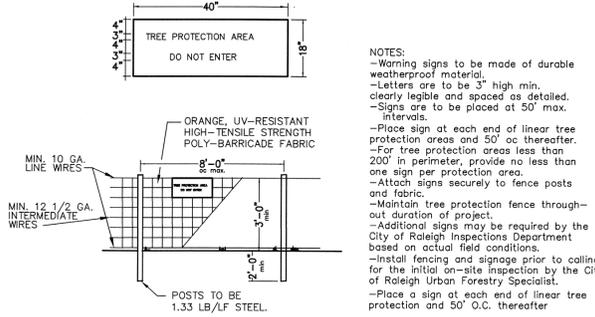
BLOCK 3
COMPOSITION: MIXED STAND OF 19+ TREES: PINE, GUM, HICKORY, AND MAPLE (1 2" AND 1 4" GUMS NOT COUNTED DUE TO HEALTH OF TREES)
CHARACTERISTICS OF TREE STAND: PINE AND HARDWOOD, SLOPING
SMALLEST CALIPER TREE: 4"
LARGEST DBH: 17"
TYPICAL DBH: 4"-5"
TYPICAL SPACING: 15'
BASAL AREA CALCULATION / ACRE: 48.54
GENERAL HEALTH: GOOD

BLOCK 4
COMPOSITION: MIXED STAND OF 14+ TREES: GUM AND PINE
CHARACTERISTICS OF TREE STAND: PINE AND HARDWOOD, SLOPING
SMALLEST CALIPER TREE: 4"
LARGEST DBH: 12"
TYPICAL DBH: 5"
TYPICAL SPACING: 15'-20'
BASAL AREA CALCULATION / ACRE: 51.23
GENERAL HEALTH: GOOD

BLOCK 5
COMPOSITION: STAND OF 28+ PINE TREES (1 2" NOT COUNTED - CRZ OUTSIDE TCA)
CHARACTERISTICS OF TREE STAND: PINE SLOPING
SMALLEST CALIPER TREE: 4"
LARGEST DBH: 8"
TYPICAL DBH: 5"
TYPICAL SPACING: 10'
BASAL AREA CALCULATION / ACRE: 87.60
GENERAL HEALTH: GOOD

BLOCK 1, 2, AND 3 EXCLUDE THE OVERHEAD POWER LINE EASEMENT AND THE TREES CONTAINED IN THE EASEMENT ALONG LOUISBURG ROAD. THE 50' OFFSET IS FROM THE PROPERTY LINE AND DOES INCLUDE THE OVERHEAD POWER LINE EASEMENT. THE TREE CONSERVATION AREA CALCULATION DOES NOT INCLUDE THE EASEMENT. THE 10% MINIMUM REQUIREMENT OF TREE CONSERVATION AREA IS MET.

- Existing tree utilized for credit
- Existing tree not utilized for credit due to health or placement of tree.

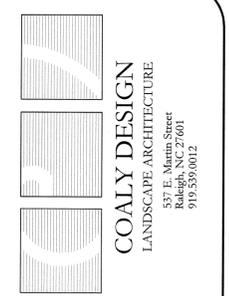


TREE PROTECTION FENCE
LA-1 NTS

Primary Tree Conservation Area Major Thoroughfare
11,658.38 sf or .2676 acres

Total Site Acres: 2.391 Acres or 104,151.96 SF
x 10% = 10,415.2 SF of required Tree Conservation Area
TOTAL Tree Conservation Area provided: 11,658.38 sf or .2676 acres

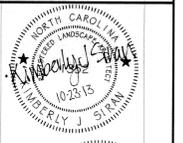
TREE CONSERVATION PLAN



WALGREENS
LOUISBURG ROAD AND PERRY CREEK ROAD
RALEIGH, NC

TREE CONSERVATION PLAN

Consultants

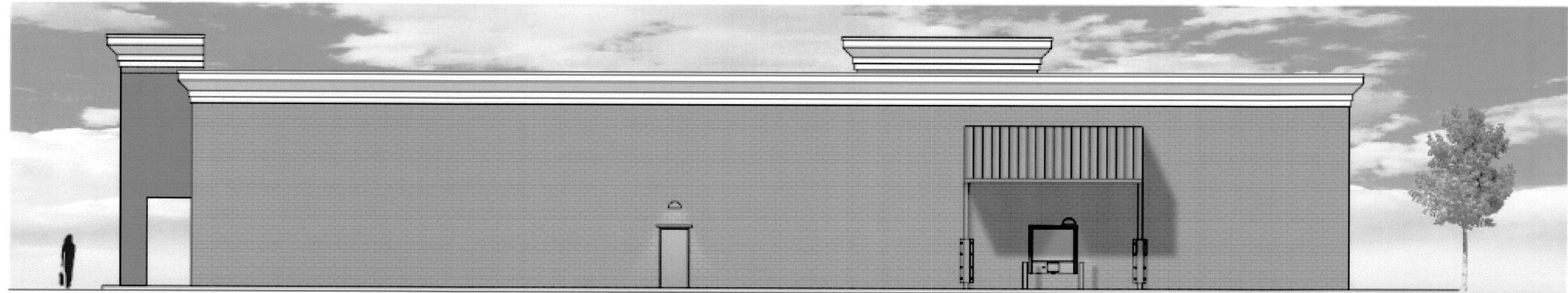


Professional Seals

Date Issued:	10.23.13
Scale:	1"=30'
Drawn by:	RBS
Checked by:	KJS

Revisions	No.	Description	Date	By

LA-1



ARCHITECT:

OWNER/DEVELOPER:

TRIBEK PROPERTIES, INC.
 ATTN. SCOTT C. BORTZ
 2820 SELWYN AVENUE
 SUITE 425
 CHARLOTTE, NC 28209
 PHONE: (704)714-2860
 FAX: (704)333-8485
 sbortz@tribek.com

SEAL:

PRELIMINARY
 DO NOT USE FOR
 CONSTRUCTION

PROJECT NAME:
Walgreens
 6970 PERRY CREEK ROAD
 RALEIGH, NC
 WAKE COUNTY
 SP- - - - -

REVISIONS:

LAYOUT COORD:

PLANNING MGR.

DRAWING BY:

TITLE: PRELIMINARY
 BUILDING ELEVATIONS

SHEET NUMBER:
 A1.0

DATE:
 OCTOBER 30, 2013