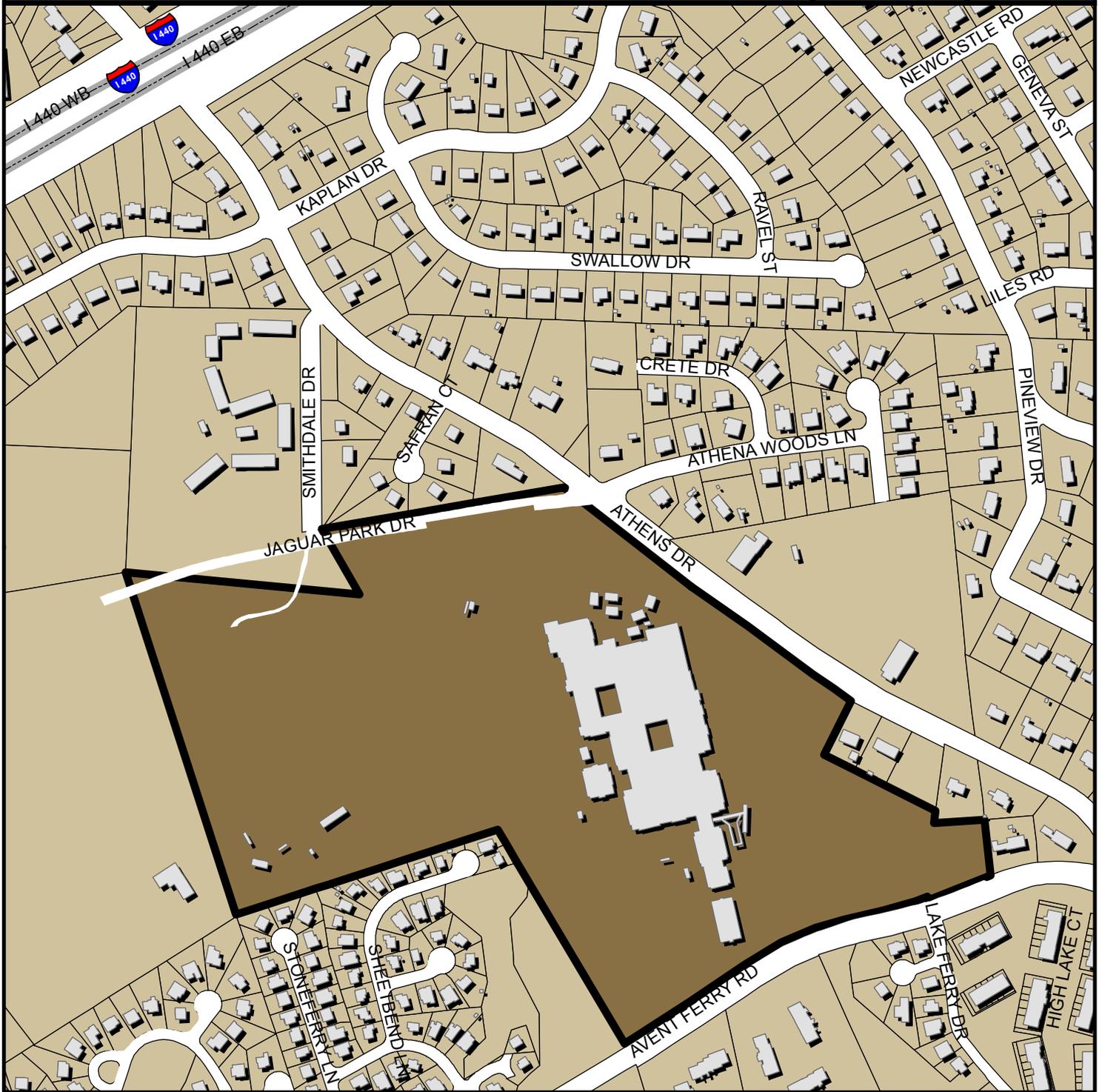


ATHENS DR HIGHSCHOOL NEW STADIUM SR-9-2014



0 150 300 600 900 1,200 Feet

Zoning: **R-10**

CAC: **West**

Drainage Basin: **Walnut Creek**

Acreage: **50.27**

Square Feet: **4,218**

Planner: **Stan Wingo**

Phone: **(919) 996-2642**

Applicant: **Anegram Studio, PA**

Phone: **(919) 649-5842**





Planning & Development

SK-9-11
GR 328183

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
Fax 919-516-2685

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input type="checkbox"/> Site Plans for Planning Commission <input checked="" type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing ** <input type="checkbox"/> Multifamily (Infill)**	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Cluster Subdivision** <input type="checkbox"/> Infill Subdivision** <input type="checkbox"/> Expedited Subdivision Review <input type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Subdivision	Transaction Number 307424 Assigned Project Coordinator Assigned Team Leader
* May require Planning Commission or City Council Approval ** Legacy Districts Only		
Has your project previously been through the Due Diligence process? If yes, provide the transaction #		
GENERAL INFORMATION		
Development Name <u>Athens Drive High School – New Stadium</u>		
Proposed Use <u>Stadium</u>		
Property Address(es) <u>1420 Athens Drive, Raleigh, NC 27606</u>		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. Recorded Deed 0783.15-54-8489	P.I.N. Recorded Deed	P.I.N. Recorded Deed
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Banks <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Industrial Building <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> Office <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input checked="" type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Single Family <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> Other: If other, please describe: <u>Stadium at School</u>		
PRELIMINARY ADMINISTRATIVE REVIEW	Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively <u>not</u> requiring Planning Commission or City Council approval. Existing use of site is for play fields. Proposed use of site is for play fields with grandstands and support facilities.	
PLANNING COMMISSION	Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval.	
CLIENT (Owner or Developer)	Company Wake County Public School System	Name (s) Mr. Steve Zetts
	Address 1429 Rock Quarry Road, Suite 116, Raleigh, NC 27610	
	Phone (919) 856-8281	Email szetts@wcpss.net
CONSULTANT (Contact Person for Plans)	Company Anegram Studio, P.A.	Name (s) Mr. K.C. Underwood, AIA
	Address P.O. Box 10488, Raleigh, NC 27605	
	Phone (919) 649-5842	Fax (919) 882-9223

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) R-10	Proposed building use(s) Stadium (School)
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross 304 s.f. (in field area)
Overlay District SRPOD	Proposed Building(s) sq. ft. gross 4,218
Total Site Acres 20.8 Ac Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 4,522
Off street parking Required Provided	Proposed height of building(s) 22'-6" Max. A.F.G.
COA (Certificate of Appropriateness) case #	FAR (floor area ratio percentage) 0.005 (0.5%)
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage 0.5% (site plans only)
CUD (Conditional Use District) case # Z-	

Stormwater Information

Existing Impervious Surface 187,542 square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 337,333 square feet	If Yes, please provide Alluvial Soils Flood Study FEMA Map Panel #
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030.

The design of this project will make the school site and streetscape much more pedestrian-friendly.

FOR SUBDIVISION, APARTMENT, TOWNHOUSE, CONDOMINIUM PROJECTS ONLY

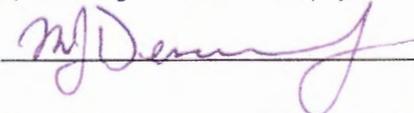
1. Total # Of Townhouse Lots Detached Attached	11. Total number of all lots
2. Total # Of Single Family Lots	12. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
3. Total # Of Apartment Or Condominium Units	If Yes, please answer the questions below: a) Total number of Townhouse Lots b) Total number of Single Family Lots c) Total number of Group Housing Units d) Total number of Open Space Lots e) Minimum Lot Size f) Total Number of Phases g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No h) Must provide open space quotient per City Code 10-3071 (5)
4. Total # Of Congregate Care Or Life Care Dwelling Units	
5. Total # Of Mobile Home Lots	
6. Total Number of Hotel Units	
7. Overall Total # Of Dwelling Units (1-6 Above)	
8. Bedroom Units 1br 2br 3br 4br or more	
9. Overall Unit(s)/Acre Densities Per Zoning District(s)	
10. Total number of Open Space (only) lots	

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate Anegram Studio, P.A. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed  M.J. Desormeaux, Jr. Date 5.21.14

Signed _____ Asst. Superintendent for Facilities, Date _____
WCPS, for and on behalf of the
Wake County Board of Education, Date _____

pursuant to duly delegated authority.

*Plotter did not plot best tried

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. Preliminary Development Plan Application completed and signed by the property owner	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Client must complete and print page 1 and 2 of the Preliminary Development Plan Application to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
4. I have referenced the Preliminary Development Plan Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
c) Proposed Site or Subdivision Plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
f) Proposed Tree Conservation Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
i) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
7. Plan size 18"x24" or 24"x36" nominal	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	

MATCHLINE: L-201

GENERAL SITE NOTES

- PAVEMENT DESIGN FOR AREAS INTERNAL TO SITE PER CITY OF RALEIGH STANDARDS AND PER DETAILS. MORE STRINGENT REQUIREMENTS TO PREVAIL. FINAL DESIGN SUBJECT TO SOIL ANALYSIS BY PROFESSIONAL GEOTECHNICAL ENGINEER.
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- LANE CLOSURE AND TRAFFIC CONTROL PLAN TO BE COORDINATED WITH TERRY PHINIZY (919.996.4035) PRIOR TO ANY CONSTRUCTION IN WADE AVENUE RIGHT-OF-WAY.
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PRELIMINARY
SITE PLAN

DHM DESIGN

LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN

218 Snow Avenue
Raleigh, NC 27603 | 919.805.3586

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p Post Office Box 10488, Raleigh, North Carolina 27605

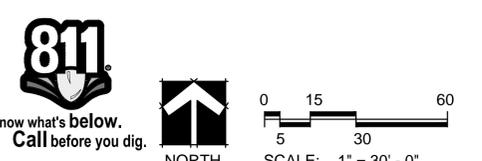
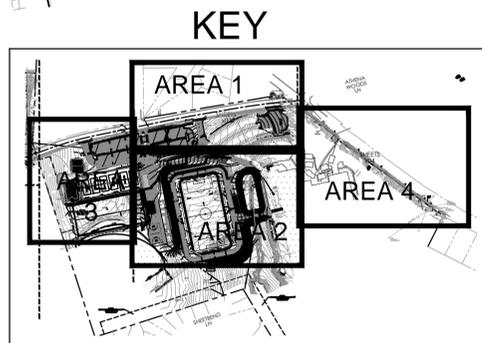
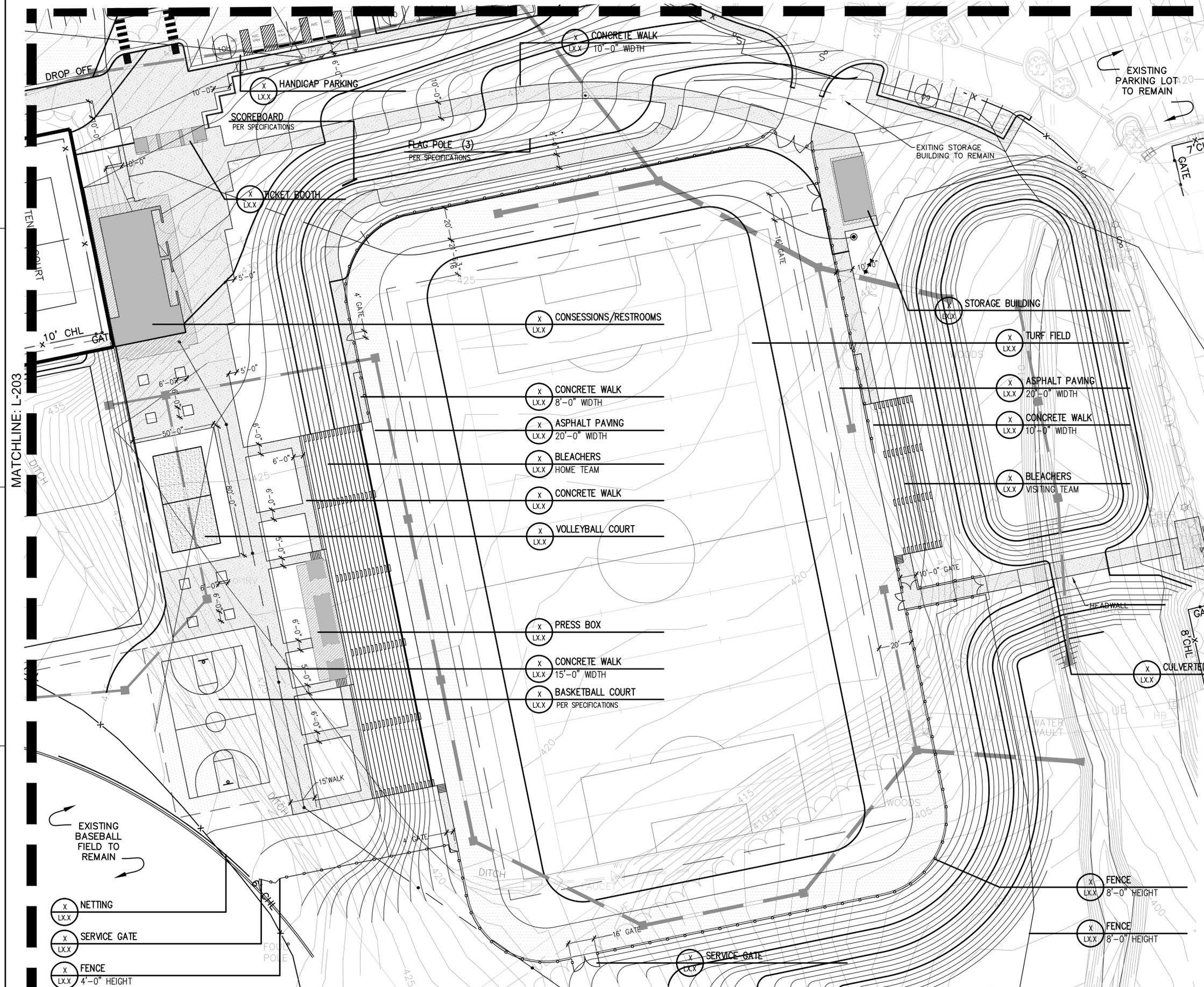
ATHENS DRIVE HS NEW STADIUM
SITE LAYOUT PLAN - AREA 2

DATE	01 MAY 2014
SCALE	AS SHOWN
PROJECT NO.	1200504
DRAWN BY	CHECKED
JMR	

DRAWING NO.

L-202

SHEET - OF -



MATCHLINE: L-203

- (X) LX.X NETTING
- (X) LX.X SERVICE GATE
- (X) LX.X FENCE 4'-0" HEIGHT

- (X) LX.X CONCRETE WALK 10'-0" WIDTH
- (X) LX.X HANDICAP PARKING
- (X) LX.X SCOREBOARD PER SPECIFICATIONS
- (X) LX.X FLAG POLE (3) PER SPECIFICATIONS
- (X) LX.X TICKET BOOTH
- (X) LX.X CONSESSIONS/RESTROOMS
- (X) LX.X CONCRETE WALK 8'-0" WIDTH
- (X) LX.X ASPHALT PAVING 20'-0" WIDTH
- (X) LX.X BLEACHERS HOME TEAM
- (X) LX.X CONCRETE WALK
- (X) LX.X VOLLEYBALL COURT
- (X) LX.X PRESS BOX
- (X) LX.X CONCRETE WALK 15'-0" WIDTH
- (X) LX.X BASKETBALL COURT PER SPECIFICATIONS

- (X) LX.X FENCE 8'-0" HEIGHT
- (X) LX.X FENCE 8'-0" HEIGHT

EXISTING PARKING LOT TO REMAIN

EXISTING STORAGE BUILDING TO REMAIN

DROP OFF

TENNIS COURT

10' CHL GATE

DITCH

EXISTING BASEBALL FIELD TO REMAIN

SCOREBOARD PER SPECIFICATIONS

FLAG POLE (3) PER SPECIFICATIONS

TICKET BOOTH

CONSESSIONS/RESTROOMS

CONCRETE WALK 8'-0" WIDTH

ASPHALT PAVING 20'-0" WIDTH

BLEACHERS HOME TEAM

CONCRETE WALK

VOLLEYBALL COURT

PRESS BOX

CONCRETE WALK 15'-0" WIDTH

BASKETBALL COURT PER SPECIFICATIONS

STORAGE BUILDING

TURF FIELD

ASPHALT PAVING 20'-0" WIDTH

CONCRETE WALK 10'-0" WIDTH

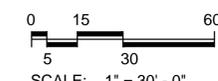
BLEACHERS VISITING TEAM

CULVERTED CROSSING

KEY

AREA 1

AREA 4



Know what's below.
Call before you dig.

NORTH

SCALE: 1" = 30' - 0"

MATCHLINE: L-205

MATCHLINE: L-206

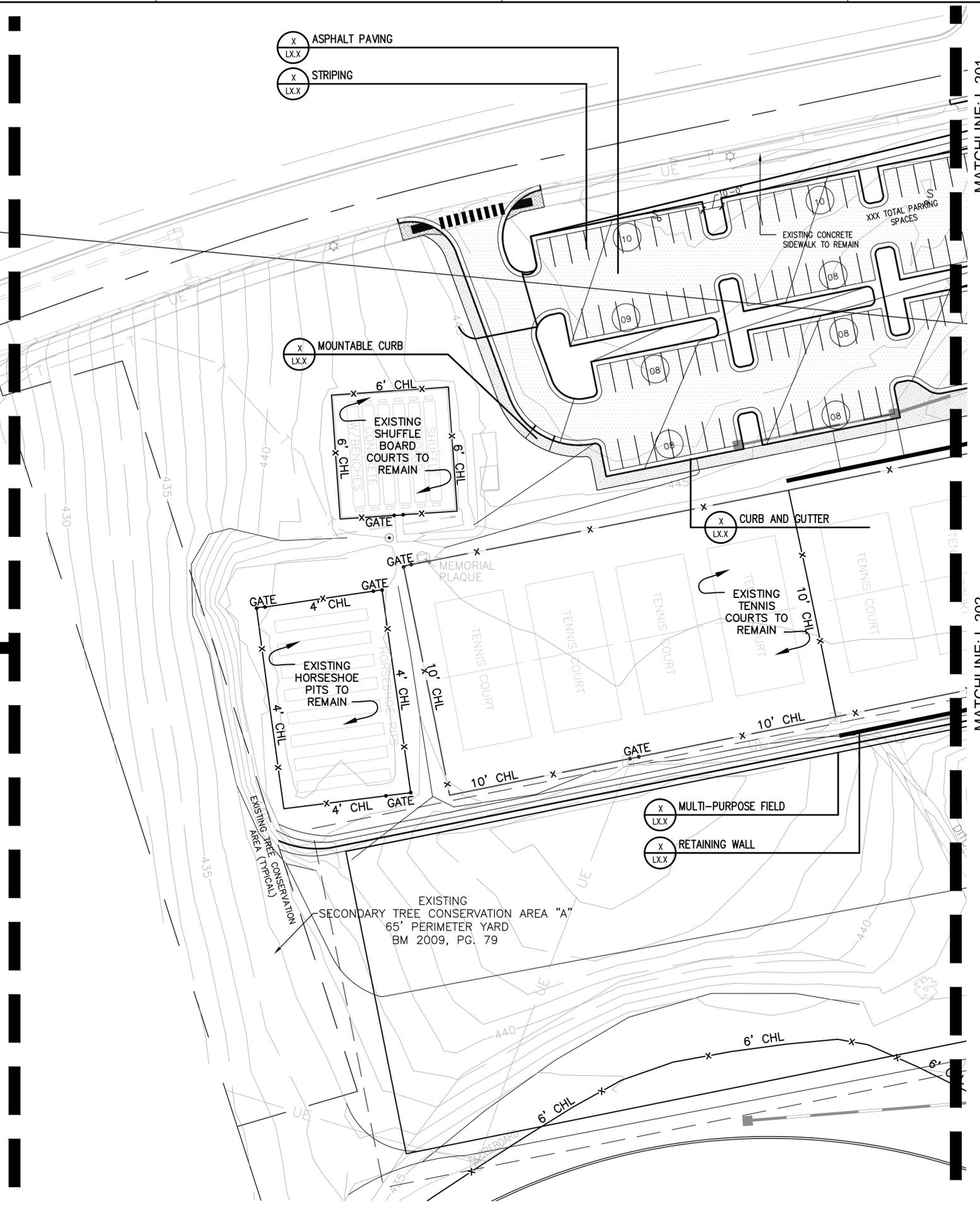
MATCHLINE: L-201

MATCHLINE: L-202

- (X) ASPHALT PAVING
LX.X
- (X) STRIPING
LX.X

- (X) MOUNTABLE CURB
LX.X

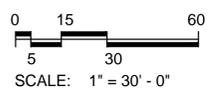
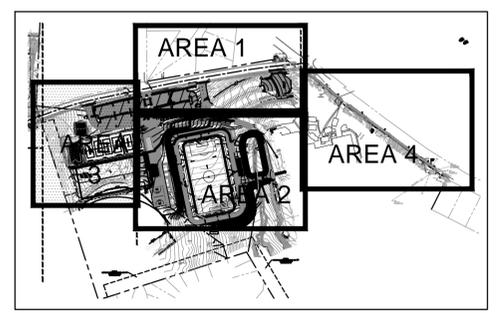
- (X) MULTI-PURPOSE FIELD
LX.X
- (X) RETAINING WALL
LX.X



GENERAL SITE NOTES

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KEY



PRELIMINARY SITE PLAN



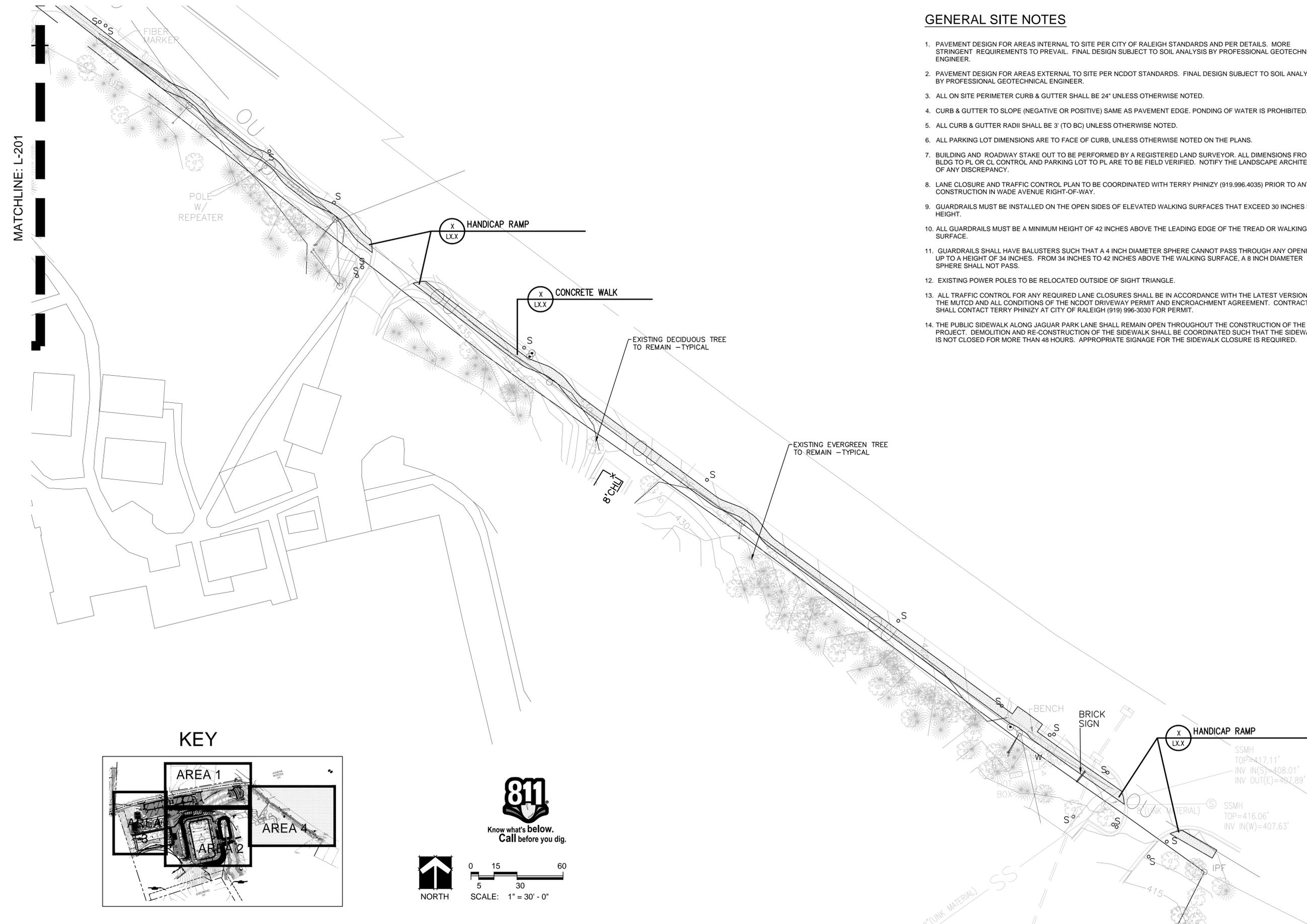
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Post Office Box 10488, Raleigh, North Carolina 27605

ATHENS DRIVE HS NEW STADIUM		DATE
SITE LAYOUT PLAN - AREA 3		MARK
DATE	REVISION	DATE

DATE	01 MAY 2014
SCALE	AS SHOWN
PROJECT NO.	1200504
DRAWN BY	CHECKED
JMR	JMR

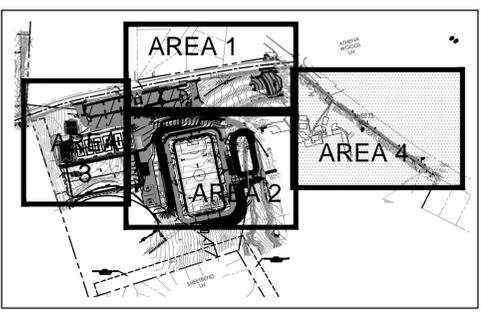
DRAWING NO.
L-203
SHEET - OF -



GENERAL SITE NOTES

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KEY



811
Know what's below.
Call before you dig.

NORTH

0 15 60
5 30
SCALE: 1" = 30' - 0"



PRELIMINARY SITE PLAN



LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN
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ATHENS DRIVE HS NEW STADIUM
SITE LAYOUT PLAN - AREA 4

DATE	REVISION	DATE

DATE	01 MAY 2014
SCALE	AS SHOWN
PROJECT NO.	1200504
DRAWN BY	CHECKED
JMR	

DRAWING NO.
L-204
SHEET - OF -



PRELIMINARY
SITE PLAN



LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN
218 Snow Avenue
Raleigh, NC 27603 | 919.805.3586

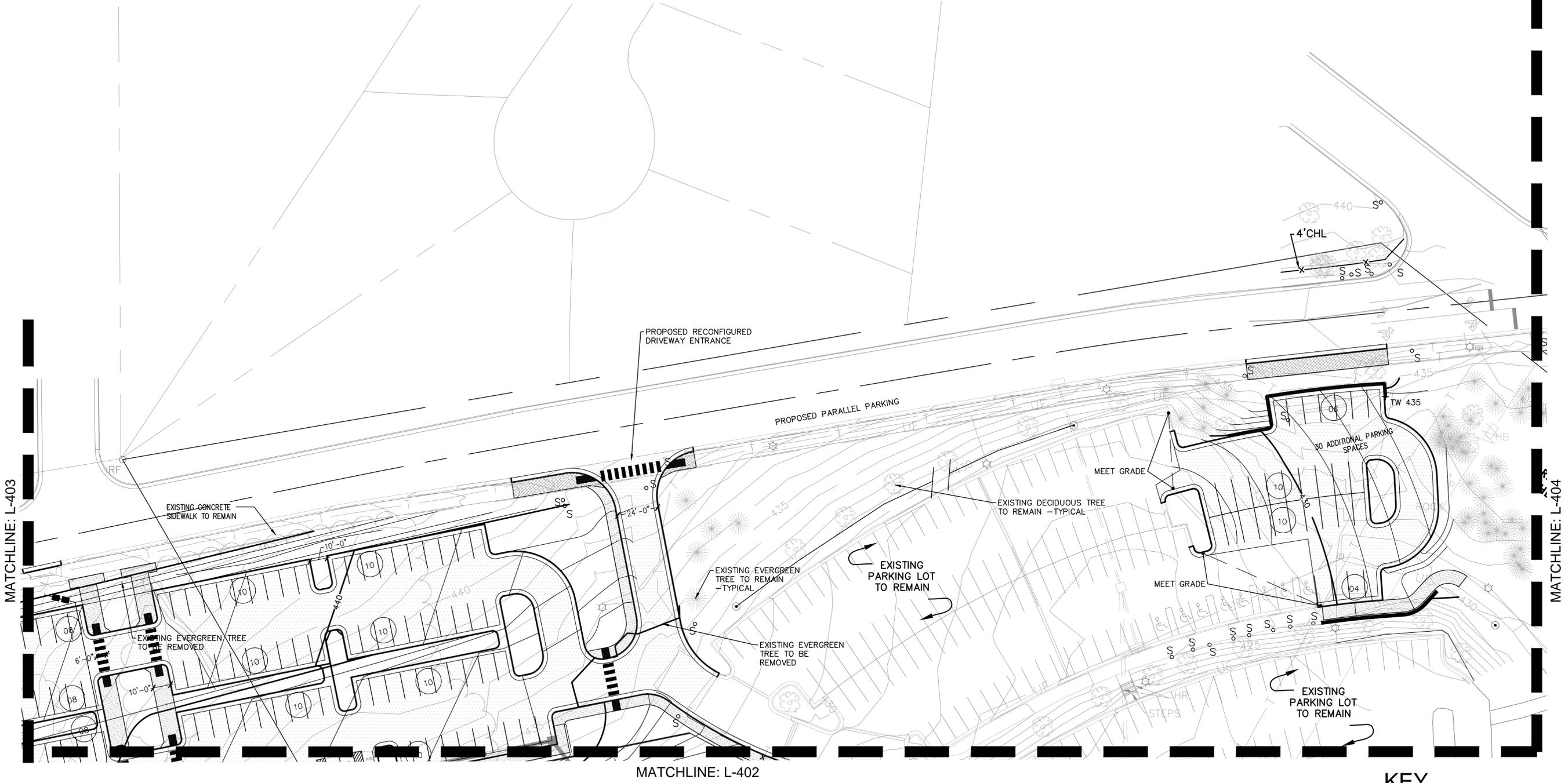
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www.aneagramstudio.com | 919.649.5842
P. Post Office Box 10488, Raleigh, North Carolina 27605

ATHENS DRIVE HS NEW STADIUM
GRADING PLAN - AREA 1

DATE	REVISION	MARK	DATE

DATE	01 MAY 2014
SCALE	AS SHOWN
PROJECT NO.	1200504
DRAWN BY	CHECKED
JMR	JMR

DRAWING NO.
L-401
SHEET — OF —



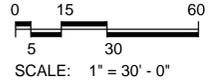
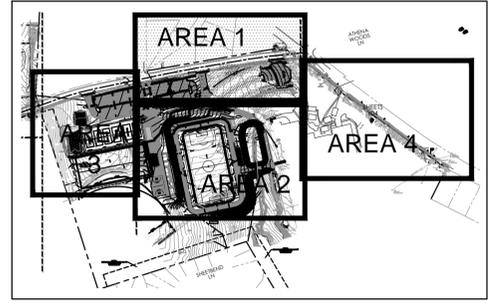
GRADING NOTES

1. ORIGINAL TOPOGRAPHIC INFORMATION SHOWN AS 'EXISTING' ON THIS PLAN HAS BEEN COMPILED FROM SURVEY DATA PROVIDED BY MCKIM AND CREED. CONTRACTOR TO FIELD VERIFY ALL INFORMATION AND REPORT ANY DISCREPANCIES.
2. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
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4. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL METHODS DURING CONSTRUCTION, AND THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE, IF ANY PERMANENT METHODS ARE REQUIRED.
6. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING.
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LEGEND

- HPS HIGH POINT OF SWALE
- FFE FINISH FLOOR ELEVATION
- FG FINISH GRADE
- GB GRADE BREAK
- LP LOW POINT
- HP HIGH POINT
- BW BOTTOM OF WALL
- TW TOP OF WALL
- SLOPE DIRECTION - POINTS DOWNWARD
- GRADE BREAK

KEY

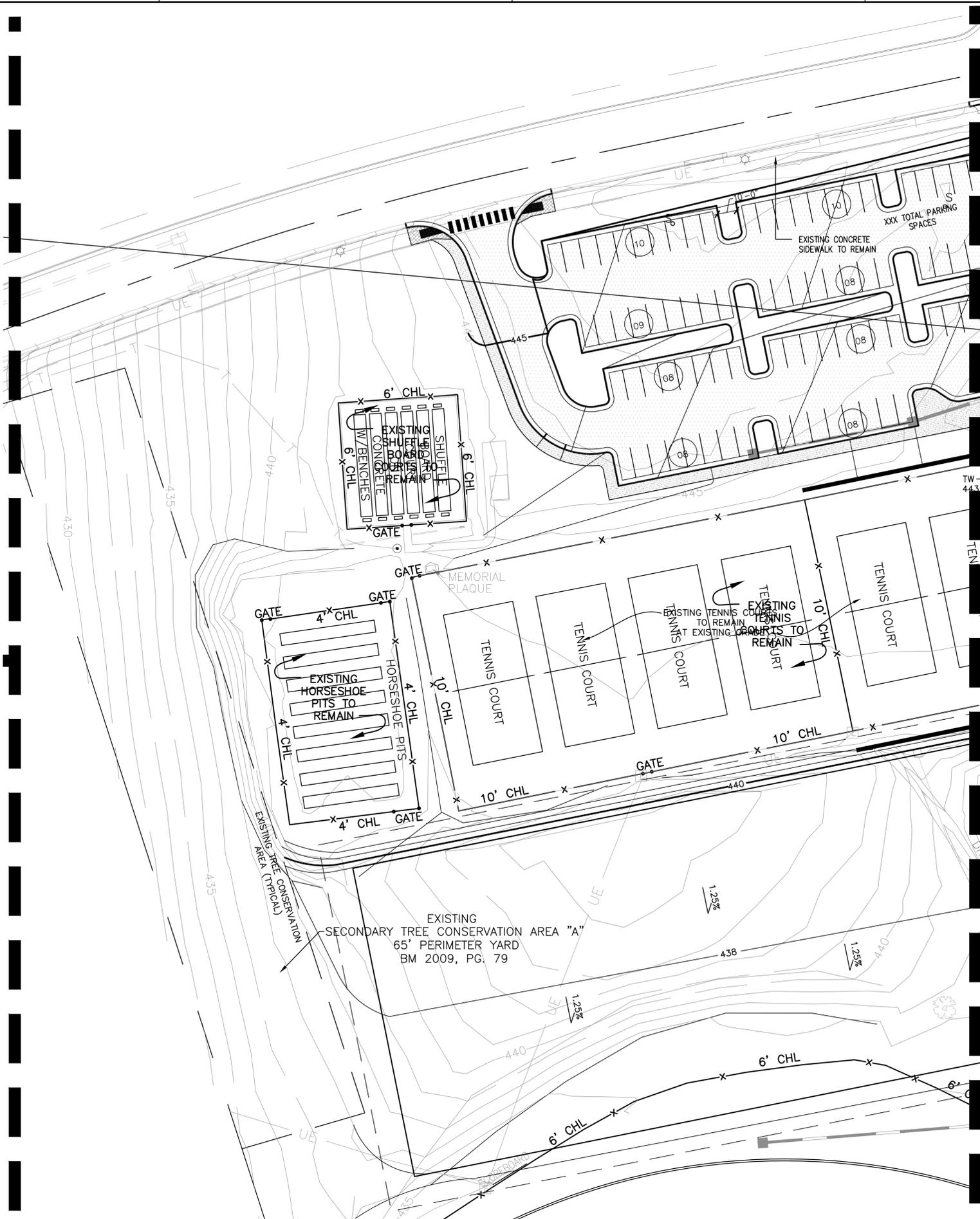


MATCHLINE: L-405

MATCHLINE: L-406

MATCHLINE: L-401

MATCHLINE: L-402



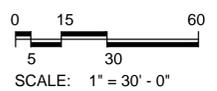
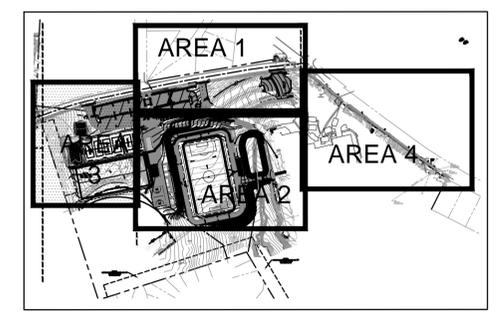
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LP	LOW POINT
HP	HIGH POINT
BW	BOTTOM OF WALL
TW	TOP OF WALL
↘	SLOPE DIRECTION - POINTS DOWNWARD
---	GRADE BREAK

KEY



PRELIMINARY
SITE PLAN



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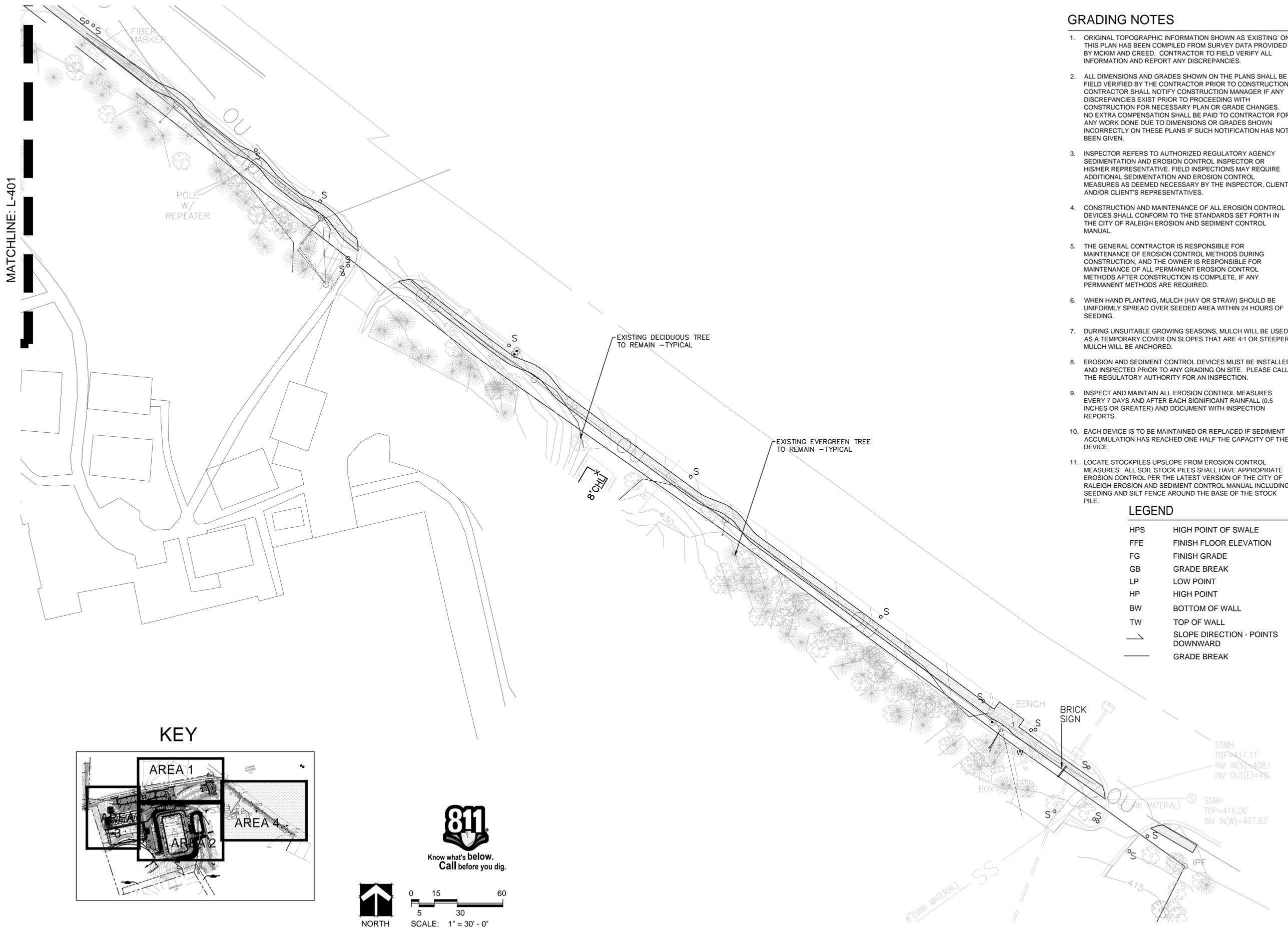
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ATHENS DRIVE HS NEW STADIUM	
GRADING PLAN - AREA 3	
DATE	01 MAY 2014
SCALE	AS SHOWN
PROJECT NO.	1200504
DRAWN BY	CHECKED
MARK	REVISION
DATE	

DATE	01 MAY 2014
SCALE	AS SHOWN
PROJECT NO.	1200504
DRAWN BY	CHECKED
MARK	REVISION
DATE	

DRAWING NO.
L-403

SHEET - OF -



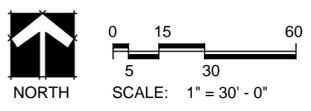
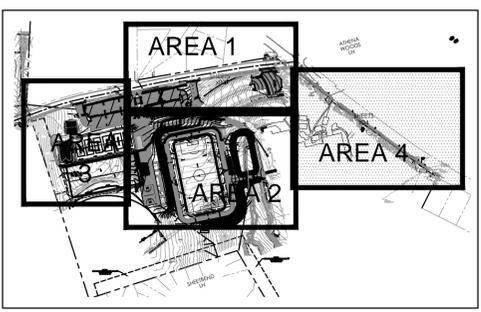
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KEY



PRELIMINARY SITE PLAN

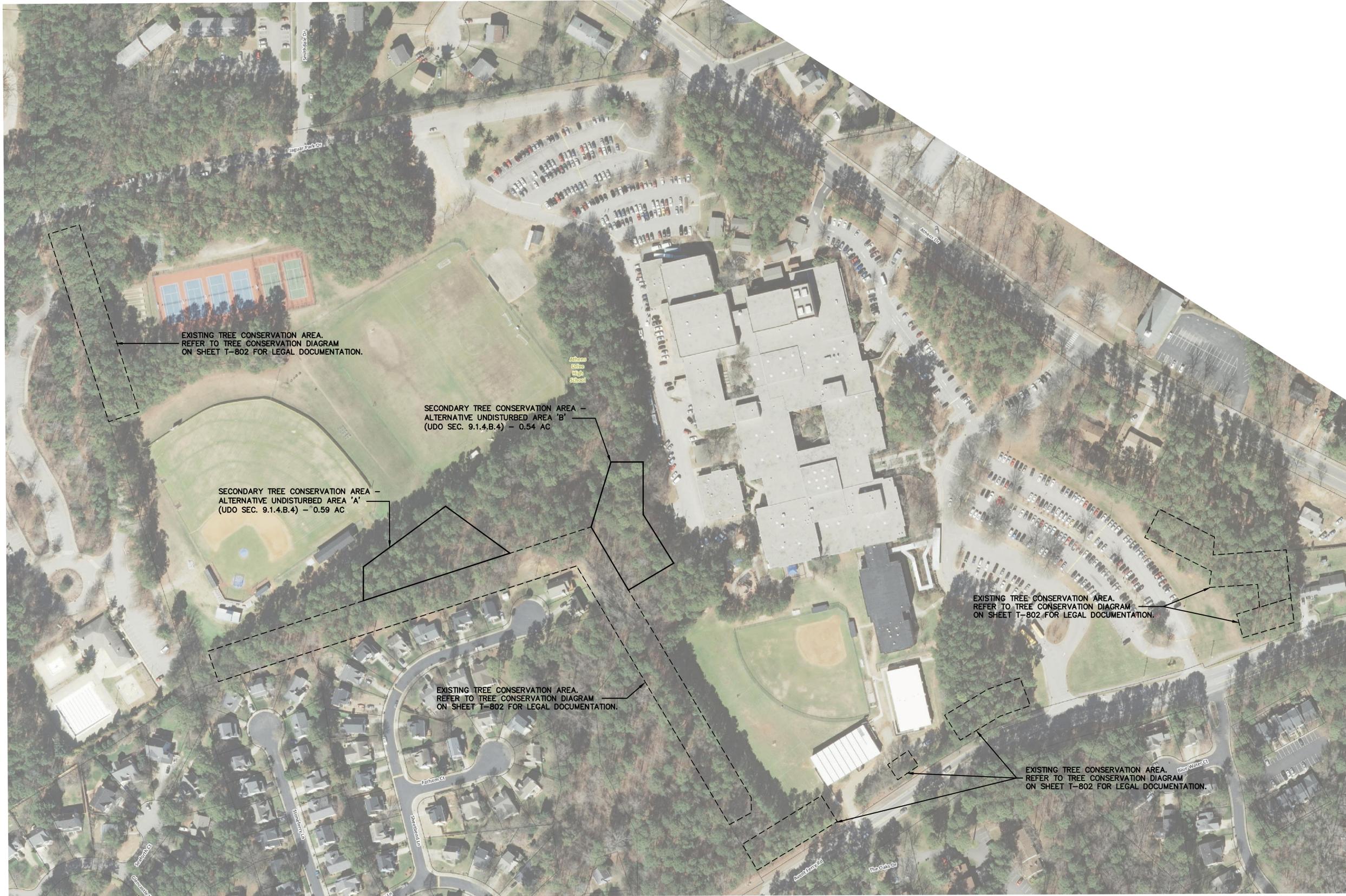
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ATHENS DRIVE HS NEW STADIUM		DATE
GRADING PLAN - AREA 4		REVISION
MARK	REVISION	DATE

DATE	01 MAY 2014
SCALE	AS SHOWN
PROJECT NO.	1200504
DRAWN BY	JMR
CHECKED	

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L-404
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PRELIMINARY
SITE PLAN

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ATHENS DRIVE HS NEW STADIUM		DATE
TREE CONSERVATION PLAN		DATE
MARK	REVISION	DATE

DATE	01 MAY 2014
SCALE	AS SHOWN
PROJECT NO.	1200504
DRAWN BY	CHECKED
JMR	

DRAWING NO.
L-801
SHEET — OF —

