



Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 Fax 919-516-2685

S-20-14

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY	
<input type="checkbox"/> Site Plans for Planning Commission <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing ** <input type="checkbox"/> Multifamily (Infill)**	<input checked="" type="checkbox"/> Subdivision* <input type="checkbox"/> Cluster Subdivision** <input type="checkbox"/> Infill Subdivision** <input type="checkbox"/> Expedited Subdivision Review <input type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Subdivision	Transaction Number 400761 Assigned Project Coordinator Shankle Assigned Team Leader 2 Rametta	
* May require Planning Commission or City Council Approval ** Legacy Districts Only			
Has your project previously been through the Due Diligence process? If yes, provide the transaction #			
GENERAL INFORMATION			
Development Name PINEBROOK HILLS			
Proposed Use Single Family Subdivision			
Property Address(es) 7520 Pinecrest Rd. & 5200 Landguard Dr.			
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
P.I.N. Recorded Deed 0787165213	P.I.N. Recorded Deed 0787165765	P.I.N. Recorded Deed	P.I.N. Recorded Deed
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Banks <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Industrial Building <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> Office <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Townhouse <input type="checkbox"/> Other: If other, please describe:			
PRELIMINARY ADMINISTRATIVE REVIEW	Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively <u>not</u> requiring Planning Commission or City Council approval. PROPOSED USE IS CONSISTENT WITH THE CURRENT ZONING.		
PLANNING COMMISSION	Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval.		
CLIENT (Owner or Developer)	Company Ashton Raleigh Residential, LLC		Name (s) Bob Mishler
	Address 5711 Six Forks Road, Suite 300, Raleigh, NC 27607		
	Phone 919-232-3695	Email bob.mishler@ashtonwoods.com	Fax
CONSULTANT (Contact Person for Plans)	Company Priest, Craven & Assoc., Inc.		Name (s) Bradley Bowling
	Address 3803-B Computer Drive, Ste. 104, Raleigh, NC 27609		
	Phone 919-781-0300	Email bbowling@priestcraven.com	Fax 919-782-1288

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

*** PIN 0787165765 IS INSIDE THE CITY ; PIN 0787165213 IS OUTSIDE.**

Zoning Information	Building Information
Zoning District(s) R-4	Proposed building use(s)
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross
Overlay District	Proposed Building(s) sq. ft. gross
Total Site Acres 26.46 Inside City Limits <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No *	Total sq. ft. gross (existing & proposed)
Off street parking Required Provided	Proposed height of building(s)
COA (Certificate of Appropriateness) case #	FAR (floor area ratio percentage)
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage (site plans only)
CUD (Conditional Use District) case # Z-	

Stormwater Information

Existing Impervious Surface 0.50 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 8.3 acres/square feet	If Yes, please provide
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030.
 Proposed subdivision is consistent with the current zoning and land use plan for this area.

FOR SUBDIVISION, APARTMENT, TOWNHOUSE, CONDOMINIUM PROJECTS ONLY

1. Total # Of Townhouse Lots Detached Attached	11. Total number of all lots 61 (SF and OS)
2. Total # Of Single Family Lots 57	12. Is your project a cluster unit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
3. Total # Of Apartment Or Condominium Units	If Yes, please answer the questions below:
4. Total # Of Congregate Care Or Life Care Dwelling Units	a) Total number of Townhouse Lots
5. Total # Of Mobile Home Lots	b) Total number of Single Family Lots
6. Total Number of Hotel Units	c) Total number of Group Housing Units
7. Overall Total # Of Dwelling Units (1-6 Above) 57	d) Total number of Open Space Lots
8. Bedroom Units 1br 2br 3br 4br or more 57	e) Minimum Lot Size
9. Overall Unit(s)/Acre Densities Per Zoning District(s) 2.15 units/ac.	f) Total Number of Phases
10. Total number of Open Space (only) lots 4 Lots	g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No
	h) Must provide open space quotient per City Code 10-3071 (5)

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.
 I hereby designate Bradley Bowling - Priest, Craven & Associates, Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.
 I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed Ray Cheek 6/20/14 Date
 Signed Joan Cheek 6/20/14 Date

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>		✓		
2. Preliminary Development Plan Application completed and signed by the property owner	<input checked="" type="checkbox"/>		✓		
3. Client must complete and print page 1 and 2 of the Preliminary Development Plan Application to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
4. I have referenced the Preliminary Development Plan Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
c) Proposed Site or Subdivision Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Tree Conservation Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
i) Transportation Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" =100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	<input checked="" type="checkbox"/>		✓		
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		

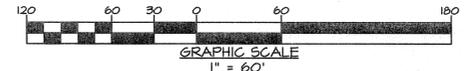
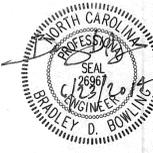
GENERAL NOTES:

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY PERFORMED BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A SURVEY PERFORMED BY THIS OFFICE.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH, N.C.DOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
- SITE SHOWN ON FLOOD INSURANCE RATE MAP #8120078100J EFFECTIVE 5-6-2006.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL, AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH ENGINEERING DEPARTMENT.
- WETLAND, CHANNEL BANK AND SUBSEQUENT NOISE RIVER BUFFER LOCATIONS BASED ON A FIELD VERIFICATION BY CENTRAL CAROLINA SOIL CONSULTING, LLC.
- LOCATIONS AND SIZES SHOWN FOR STORM WATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
- STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE LOCATION PURPOSES ONLY.
- THIS MAP IS FOR PRELIMINARY PURPOSES AND IS NOT INTENDED AS A FINAL DESIGN.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDENR.
- PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN.
- THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD T-20.01.
- ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (BOC) UNLESS OTHERWISE NOTED.
- RETAINING WALL LOCATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERRING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTION STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.



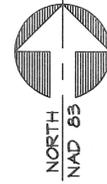
LEGEND

- SANITARY SEWER EASEMENT
- PRIVATE DRAINAGE EASEMENT (PDE)
- OPEN SPACE



<p>A SINGLE FAMILY RESIDENTIAL SUBDIVISION</p> <h1 style="margin: 0;">PINEBROOK HILLS</h1> <p>SPONSORED BY: ASHTON RALEIGH RESIDENTIAL, LLC RALEIGH, NORTH CAROLINA</p>	<p>SCALE: 1"=60'</p> <p>DATE: JUNE 23, 2014</p> <p>PROJECT: 2013-010.001</p>	<h2 style="margin: 0;">PRELIMINARY SITE LAYOUT & TRANSPORTATION PLAN</h2>	<p>REVISION: _____</p> <p>DATE: _____</p>	<h2 style="margin: 0;">PRIEST, CRAVEN & ASSOCIATES, INC.</h2> <p>LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS</p> <p>3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609. Phone 919/781-0300. Fax 919/782-1288. Email PCA@PriestCraven.com / Firm # C-0488</p>	<h1 style="font-size: 2em; margin: 0;">C03</h1>
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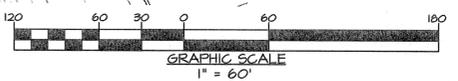


SYMBOL LEGEND

EXIST. UTILITIES	
(Symbol)	EXIST. S.S. MH
(Symbol)	EXIST. TRANSFORMER
(Symbol)	EXIST. POWER/TELEPHONE POLE
(Symbol)	EXIST. OVERHEAD POWER
(Symbol)	EXIST. OVERHEAD TELEPHONE
(Symbol)	EXIST. CABLE
(Symbol)	EXIST. FIBER OPTIC
(Symbol)	EXIST. FIBER OPTIC TELEVISION
(Symbol)	EXIST. WATER MAIN
WATER & SEWER	
(Symbol)	FIRE HYDRANT (WITH 6" SV)
(Symbol)	GATE VALVE
(Symbol)	BLON OFF AND G.V.
(Symbol)	WATER REDUCER
(Symbol)	SEWER MANHOLE
(Symbol)	SANITARY SEWER CLEANOUT
DRAINAGE	
(Symbol)	LANDSCAPE INLETS (2"HOPE TIED TO ROOF LEADER)
(Symbol)	FLARED END SECTION (WITH RIP RAP LEVEL SPREADER APRON)
(Symbol)	HEADWALL (WITH RIP RAP LEVEL SPREADER APRON)
(Symbol)	RIP RAP LEVEL SPREADER APRON
(Symbol)	COR. CATCH BASIN
(Symbol)	STORM MANHOLE
(Symbol)	GRATED INLET
(Symbol)	SANITARY SEWER EASEMENT
(Symbol)	PRIVATE DRAINAGE EASEMENT (PDE)
(Symbol)	TREE CONSERVATION AREA

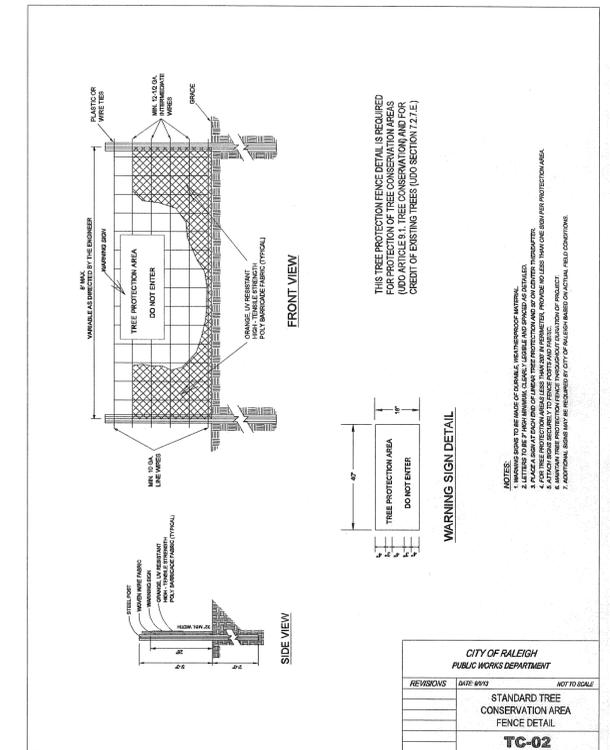
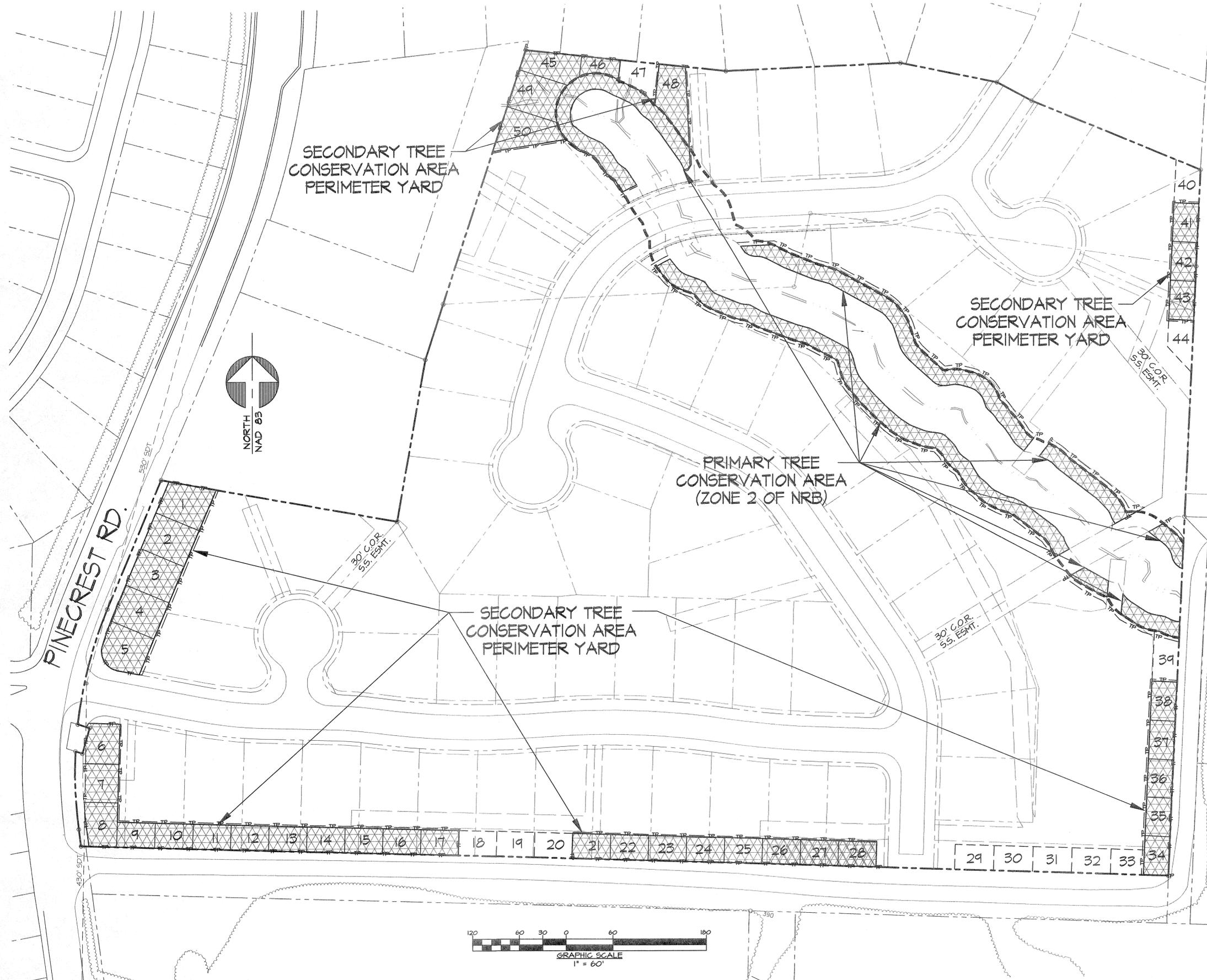
EXISTING UTILITIES NOTES:
 1. CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

STORM SEWER NOTES:
 1. ALL PRIVATE INLETS TO BE NCDOT BOXES AND NCDOT FRAMES, GRATES AND HOODS EXCEPT AS NOTED ON PLANS. CITY OF RALEIGH CURB INLETS TO BE USED IN PUBLIC STREETS WITHIN CITY OF RALEIGH PUBLIC R.O.M.
 2. ALL STORM SEWER 15" AND GREATER IS TO BE RGP.
 3. ALL STORM SEWER SIZES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE DURING CONSTRUCTION PLAN DESIGN.



<p>A SINGLE FAMILY RESIDENTIAL SUBDIVISION</p> <h1 style="margin:0;">PINEBROOK HILLS</h1> <p>SPONSORED BY: ASHTON RALEIGH RESIDENTIAL, LLC RALEIGH, NORTH CAROLINA</p>	<p>SCALE: 1"=60'</p> <p>DATE: JUNE 23, 2014</p> <p>PROJECT: 2013-010.001</p>	<h2 style="margin:0;">PRELIMINARY SITE GRADING PLAN</h2>	<p>REVISION: _____</p> <p>DATE: _____</p>	<h3 style="margin:0;">PRIEST, CRAVEN & ASSOCIATES, INC.</h3> <p>LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS</p> <p>3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609. Phone 919 / 781-0300. Fax 919 / 782-1288. Email PCA@PriestCraven.com / Firm #: C-0088</p>	<h1 style="font-size: 2em; margin:0;">C05</h1>
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Tree Conservation Plan Data Sheet
(Refer to Ordinance TC-7-04 And User's Manual for Instructions)

Project Name: Ashton Woods Homes - Cheely Tract Project
Parcel Numbers: 0771655765 and 0787165213
Total Site Acres: 26.5

	Number of Acres	Percent of Tract
(1) Primary Tree Conservation Areas		
(a1) SHOD 1 Yards		
(a2) SHOD 2 Yards		
(a3) SHOD 3 Yards		
(a4) SHOD 4 Yards		
(a5) Thoroughfare District Yards		
(a6) Conservation Management District		
(a7) Metro Park Overlay		
(a8) Conditional Use Zoning Tree Save Areas		
(a9) Natural Protective Yards Required by Re-zoning Or Other conditions		
(b) Champion Trees including their Critical Root Zones		
(c) Zone 2 of Neuse riparian buffers	0.89	3.4%
(d) Areas with slopes of 45% or more adjacent to or within floodways		
Subtotal of Primary Tree Conservation Areas:	0.89	3.4%
Greenway Easement: (voluntary inclusion of a portion of greenway)		
(2) Secondary Tree Conservation Areas		
(a) Major Thoroughfare: 50-foot Average Buffer		
(b) Minor Thoroughfare: 50-foot Average Buffer		
(c) 65-foot perimeter yard adjacent to non-vacant property	1.46	5.5%
(c) Alternate compliance area: 65-foot perimeter yard		
(d) 32-foot perimeter yard adjacent to vacant property	0.33	1.2%
(d) Alternate compliance area: 32-foot perimeter yard		
(e) Individual trees 10" dbh & larger within 65' of roadways or any non-vacant property		
(f) Individual trees 10" dbh & larger within 52' of any vacant property		
Subtotal of Secondary Tree Conservation Areas:	1.79	6.7%
TOTAL ALL TREE CONSERVATION AREAS:	2.68	10.1%

A SINGLE FAMILY RESIDENTIAL SUBDIVISION PINEBROOK HILLS SPONSORED BY: ASHTON RALEIGH RESIDENTIAL, LLC RALEIGH, NORTH CAROLINA	SCALE: 1"=60' DATE: JUNE 23, 2014 PROJECT: 2013-010.001	PRELIMINARY TREE CONSERVATION PLAN	REVISION: _____ DATE: _____	PRIEST, CRAVEN & ASSOCIATES, INC. LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS 3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488	COT
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