

COURTLAND SUBDIVISION S-22-2014



0 250 500 Feet

Zoning: **R-10**
CAC: **Mordecai**
Drainage Basin: **Pigeon House**
Acreage: **1.97**
Number of Lots: **9**

Planner: **Michael Walters**
Phone: **(919) 996-2636**
Applicant: **Chance &
Associates**
Phone: **(919) 779-7245**





Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 Fax 919-516-2685

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input type="checkbox"/> Site Plans for Planning Commission <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing ** <input type="checkbox"/> Multifamily (Infill)**	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Cluster Subdivision** <input type="checkbox"/> Infill Subdivision** <input type="checkbox"/> Expedited Subdivision Review <input checked="" type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Subdivision	Transaction Number <i>401274</i> Assigned Project Coordinator <i>ALBERT</i> Assigned Team Leader <i>W. WOODS</i> <i>S-22-14</i>
* May require Planning Commission or City Council Approval ** Legacy Districts Only		

Has your project previously been through the Due Diligence process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name **Courtland Subdivision**

Proposed Use **Single Family Residential**

Property Address(es) **1335 Courtland Drive, Raleigh, NC 27601**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. Recorded Deed	P.I.N. Recorded Deed	P.I.N. Recorded Deed	P.I.N. Recorded Deed
1704965009			

What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe:

PRELIMINARY ADMINISTRATIVE REVIEW
 Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively not requiring Planning Commission or City Council approval. **Plan is compliant with UDO and NCOD Standards**

PLANNING COMMISSION
 Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval. **N/A**

CLIENT (Owner or Developer)	Company Tephra Development, LLC	Name (s) Stuart Cullinan	
	Address 310 Heck Street, Raleigh, NC 27601		
	Phone 919-398-3927	Email stuart@fivehorizonsdevelopment.com	Fax

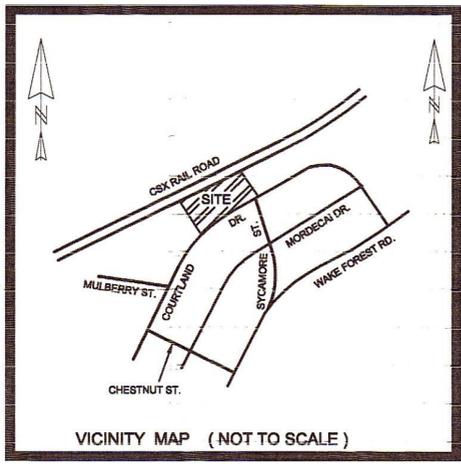
CONSULTANT (Contact Person for Plans)	Company Chance & Associates	Name (s) Stoney Chance	
	Address 500 Benson Road, Suite 207, Garner, NC 27529		
	Phone 919-779-7245	Email cstoney@bellsouth.net	Fax 919-779-3889

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) R-10	Proposed building use(s) N/A
If more than one district, provide the acreage of each N/A	Existing Building(s) sq. ft. gross N/A
Overlay District Mordecai District 1	Proposed Building(s) sq. ft. gross N/A
Total Site Acres 1.969 Inside City Limits X Yes No	Total sq. ft. gross (existing & proposed) N/A
Off street parking Required N/A Provided	Proposed height of building(s) N/A
COA (Certificate of Appropriateness) case # N/A	FAR (floor area ratio percentage) N/A
BOA (Board of Adjustment) case # A-N/A	Building Lot Coverage percentage N/A (site plans only)
CUD (Conditional Use District) case # Z-N/A	
Stormwater Information	
Existing Impervious Surface .58/25,298.82 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes X No
Proposed Impervious Surface N/A acres/square feet	If Yes, please provide Alluvial Soils Flood Study FEMA Map Panel #
Neuse River Buffer <input type="checkbox"/> Yes X No Wetlands <input type="checkbox"/> Yes X No	
CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)	
Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030. It is a low density residential development.	

FOR SUBDIVISION, APARTMENT, TOWNHOUSE, CONDOMINIUM PROJECTS ONLY		
1. Total # Of Townhouse Lots N/A Detached Attached	11. Total number of all lots 9	
2. Total # Of Single Family Lots 9	12. Is your project a cluster unit development? <input type="checkbox"/> Yes X No	
3. Total # Of Apartment Or Condominium Units N/A	If Yes, please answer the questions below: a) Total number of Townhouse Lots b) Total number of Single Family Lots c) Total number of Group Housing Units d) Total number of Open Space Lots e) Minimum Lot Size f) Total Number of Phases g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No h) Must provide open space quotient per City Code 10-3071 (5)	
4. Total # Of Congregate Care Or Life Care Dwelling Units N/A		
5. Total # Of Mobile Home Lots N/A		
6. Total Number of Hotel Units N/A		
7. Overall Total # Of Dwelling Units (1-6 Above) 9		
8. Bedroom Units 1br 2br 3br 4br or more N/A		
9. Overall Unit(s)/Acre Densities Per Zoning District(s) 4.57		
10. Total number of Open Space (only) lots N/A		
SIGNATURE BLOCK (Applicable to all developments)		
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.		
I hereby designate Stoney Chance _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.		
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.		
Signed Stuart Cullinan _____	Date June 30, 2014	
Signed  _____	Date June 30, 2014	

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	X		/		
2. Preliminary Development Plan Application completed and signed by the property owner	X		/		
3. Client must complete and print page 1 and 2 of the Preliminary Development Plan Application to the plan cover sheet (not applicable for infill recombination)	X	<input type="checkbox"/>	/		
4. I have referenced the Preliminary Development Plan Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	X		/		
5. Provide the following plan sheets:	X				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	X		/		
b) Existing Conditions Sheet	X	<input type="checkbox"/>	/		
c) Proposed Site or Subdivision Plan	X		/		
d) Proposed Grading and Stormwater Plan		X			/
e) Proposed Utility Plan, including Fire	X	<input type="checkbox"/>	/		
f) Proposed Tree Conservation Plan		X			/
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	X	<input type="checkbox"/>		/	
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input type="checkbox"/>	X			/
i) Transportation Plan	<input type="checkbox"/>	X			/
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	X		/		
7. Plan size 18"x24" or 24"x36"	X		/		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	X		/		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	X		/		
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	X		/		
11. Wake County School Form, if dwelling units are proposed	X	<input type="checkbox"/>	/		
12. Preliminary stormwater quantity and quality summary and calculations package		X			/
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester		X			/



D.B. 15067, PG. 2316

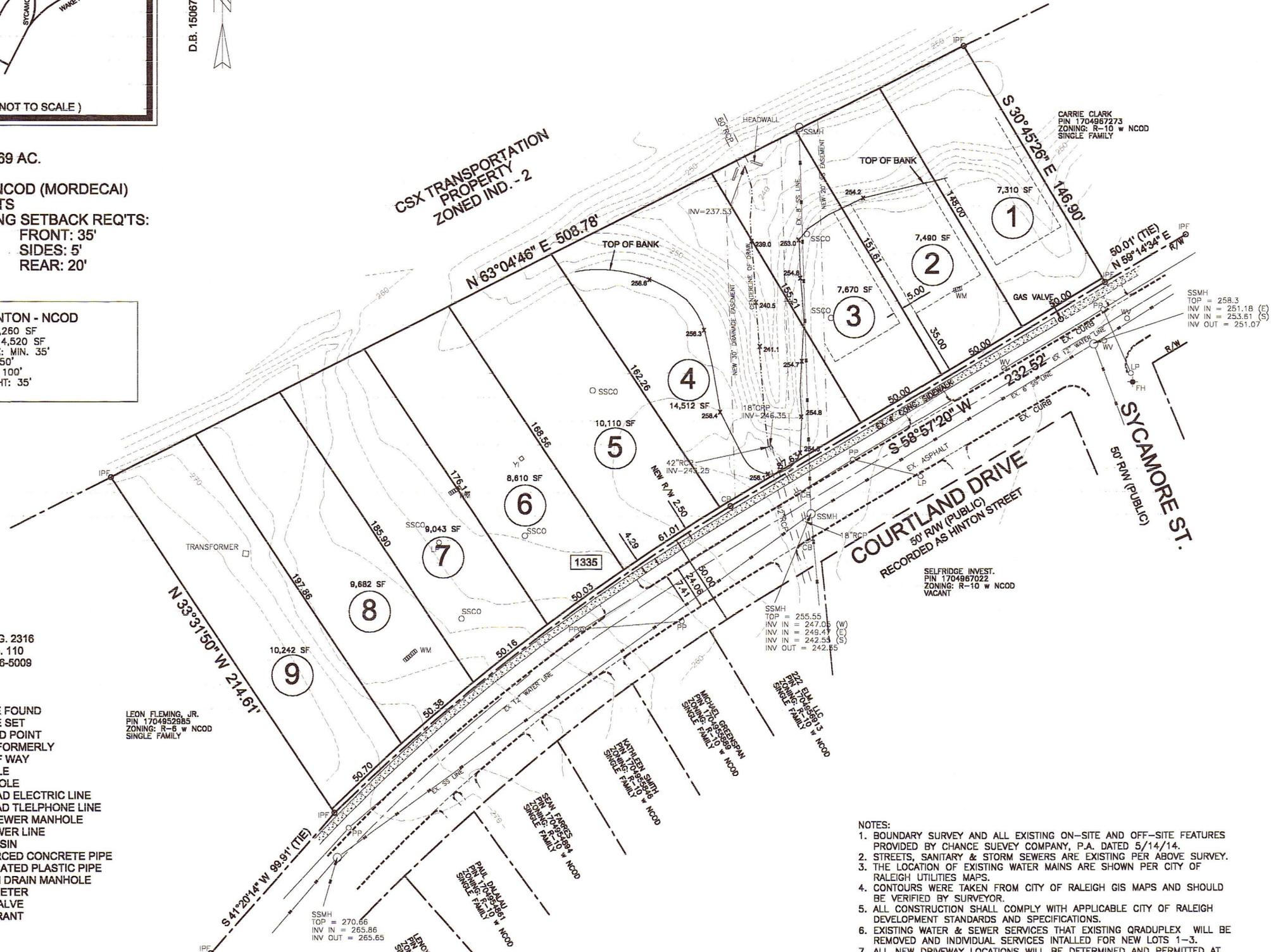
TOTAL AREA: 1.969 AC.
 TOTAL LOTS: 9
 ZONING: R-10 w/NCOD (MORDECAI)
 INSIDE CITY LIMITS
 MINIMUM BUILDING SETBACK REQ'TS:
 FRONT: 35'
 SIDES: 5'
 REAR: 20'

NEW BERN - EDENTON - NCOD
 MINIMUM LOT SIZE: 7,260 SF
 MAXIMUM LOT SIZE: 14,520 SF
 FRONT YARD SETBACK: MIN. 35'
 MINIMUM LOT WIDTH: 50'
 MAXIMUM LOT WIDTH: 100'
 MAXIMUM BLDG. HEIGHT: 35'

- REFERENCES:
1. D.B. 15067, PG. 2316
 2. M.B. 1920, PG. 110
 3. PIN 1704.12-96-5009

- LEGEND:
- IPF = IRON PIPE FOUND
 - IPS = IRON PIPE SET
 - CP = COMPUTED POINT
 - N/F = NOW OR FORMERLY
 - R/W = RIGHT OF WAY
 - LP = LIGHT POLE
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 - SDMH = STORM DRAIN MANHOLE
 - WM = WATER METER
 - WV = WATER VALVE
 - FH = FIRE HYDRANT

LEON FLEMING, JR.
 PIN 1704.952985
 ZONING: R-6 w/NCOD
 SINGLE FAMILY



CARRIE CLARK
 PIN 1704.987273
 ZONING: R-10 w/NCOD
 SINGLE FAMILY

SSMH
 TOP = 258.3
 INV IN = 251.18 (E)
 INV IN = 253.51 (S)
 INV OUT = 251.07

SSMH
 TOP = 255.55
 INV IN = 247.08
 INV IN = 249.41
 INV IN = 242.53 (S)
 INV OUT = 242.85

SELFRIE INVEST.
 PIN 1704.967022
 ZONING: R-10 w/NCOD
 VACANT

SCALE: 1" = 40'



CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CH BEARING
C1	267.29'	1150.00'	266.69	S 52°17'49"W

- NOTES:
1. BOUNDARY SURVEY AND ALL EXISTING ON-SITE AND OFF-SITE FEATURES PROVIDED BY CHANCE SUEVEY COMPANY, P.A. DATED 5/14/14.
 2. STREETS, SANITARY & STORM SEWERS ARE EXISTING PER ABOVE SURVEY.
 3. THE LOCATION OF EXISTING WATER MAINS ARE SHOWN PER CITY OF RALEIGH UTILITIES MAPS.
 4. CONTOURS WERE TAKEN FROM CITY OF RALEIGH GIS MAPS AND SHOULD BE VERIFIED BY SURVEYOR.
 5. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH DEVELOPMENT STANDARDS AND SPECIFICATIONS.
 6. EXISTING WATER & SEWER SERVICES THAT EXISTING QUADRUPLIX WILL BE REMOVED AND INDIVIDUAL SERVICES INSTALLED FOR NEW LOTS 1-3.
 7. ALL NEW DRIVEWAY LOCATIONS WILL BE DETERMINED AND PERMITTED AT SITE PLAN SUBMITTAL PER CITY OF RALEIGH STANDARDS.
 8. SOLID WASTE SERVICE WILL BE PROVIDED AT PUBLIC STREET BY INDIVIDUAL 96-GAL. STANDARD CITY OF RALEIGH RESIDENTIAL SOLID WASTE CART PER CITY OF RALEIGH WASTE DESIGN MANUAL.

STORMWATER EXEMPTION:
 PER SEC. 9.2.2, A. 4, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH STORMWATER REQUIREMENTS.

FILE: S-00-14
 TRANS.#: 000000

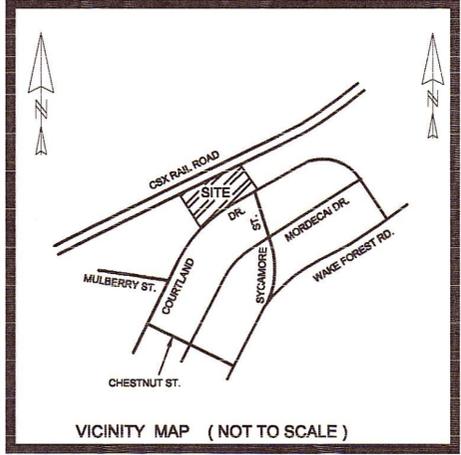
DATE:	JUNE 23, 2014
SCALE:	1" = 40'
DRAWN BY:	SC
CHECKED BY:	SC
FILE NAME:	Courtland Sub.dwg

TITLE: PRELIMINARY SUBDIVISION PLAN
 1335 COURTLAND DRIVE
 FOR
 STUART CULLINAN
 RALEIGH TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

SHEET: 3 OF 5

CHANCE & ASSOCIATES
 Land Planning Services
 500 Benson Road, Suite 207, Garner, North Carolina 27529
 Phone: (919) 779-7245
 Fax: (919) 779-3889

NOT RELEASED FOR CONSTRUCTION



D.B. 15067, PG. 2316

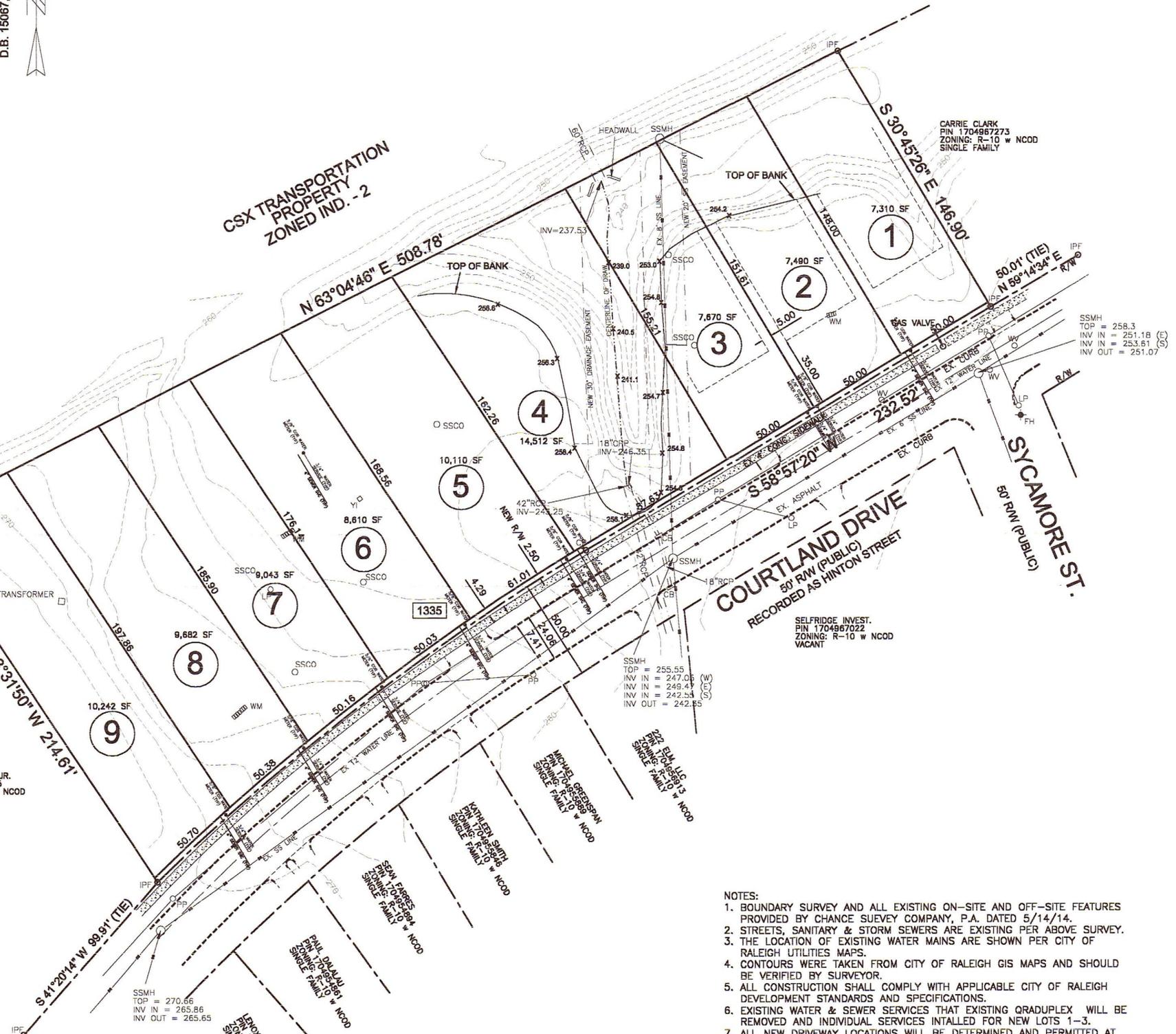
UTILITY NOTS:
 1. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 2. LOTS TO BE SERVED WITH 3/4" COPPER WATER SERVICE WITH A 5/8" METER.
 3. LOTS TO HAVE 4" PVC SEWER SERVICE LINES.
 4. WATER & SEWER SERVICES LOCATIONS MAY BE ON SITE PLAN DUE TO NEW TREE PLANTINGS.

TOTAL AREA: 1.969 AC.
 TOTAL LOTS: 9
 ZONING: R-10 w/NCOD (MORDECAI)
 INSIDE CITY LIMITS
 MINIMUM BUILDING SETBACK REQ'TS:
 FRONT: 35'
 SIDES: 5'
 REAR: 20'

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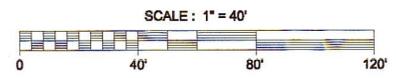
LEON FLEMING JR.
 PIN 1704952885
 ZONING: R-8 w NCOD
 SINGLE FAMILY



NOTES:
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FILE: S-00-14
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DATE:	JUNE 23, 2014
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FILE NAME:	Courtland Utilities.dwg

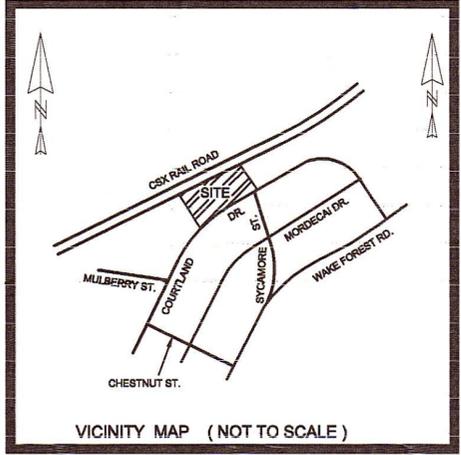
NO.	DATE	REVISIONS	BY

PRELIMINARY UTILITIES PLAN
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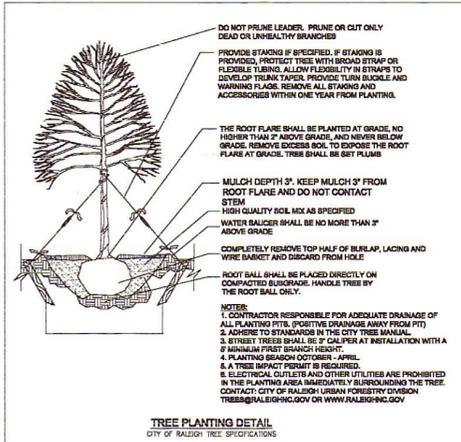
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D.B. 15067, PG. 2316



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NEW TREES PLANT LEGEND:

QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
25	CAROLINA BEAUTY	Lagerstroemia indica	1 1/2" - CAL. 6' to 8' HGT.

NOTE: 1. ALL PLANTS AND PLANTING PROCEDURES SHALL MEET OR EXCEED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR SIZE, QUALITY AND BEST INSTALLATION PRACTICES.

TREES SHALL BE PLANTED 20' OFF CENTER.

STREETSCAPE YARD:

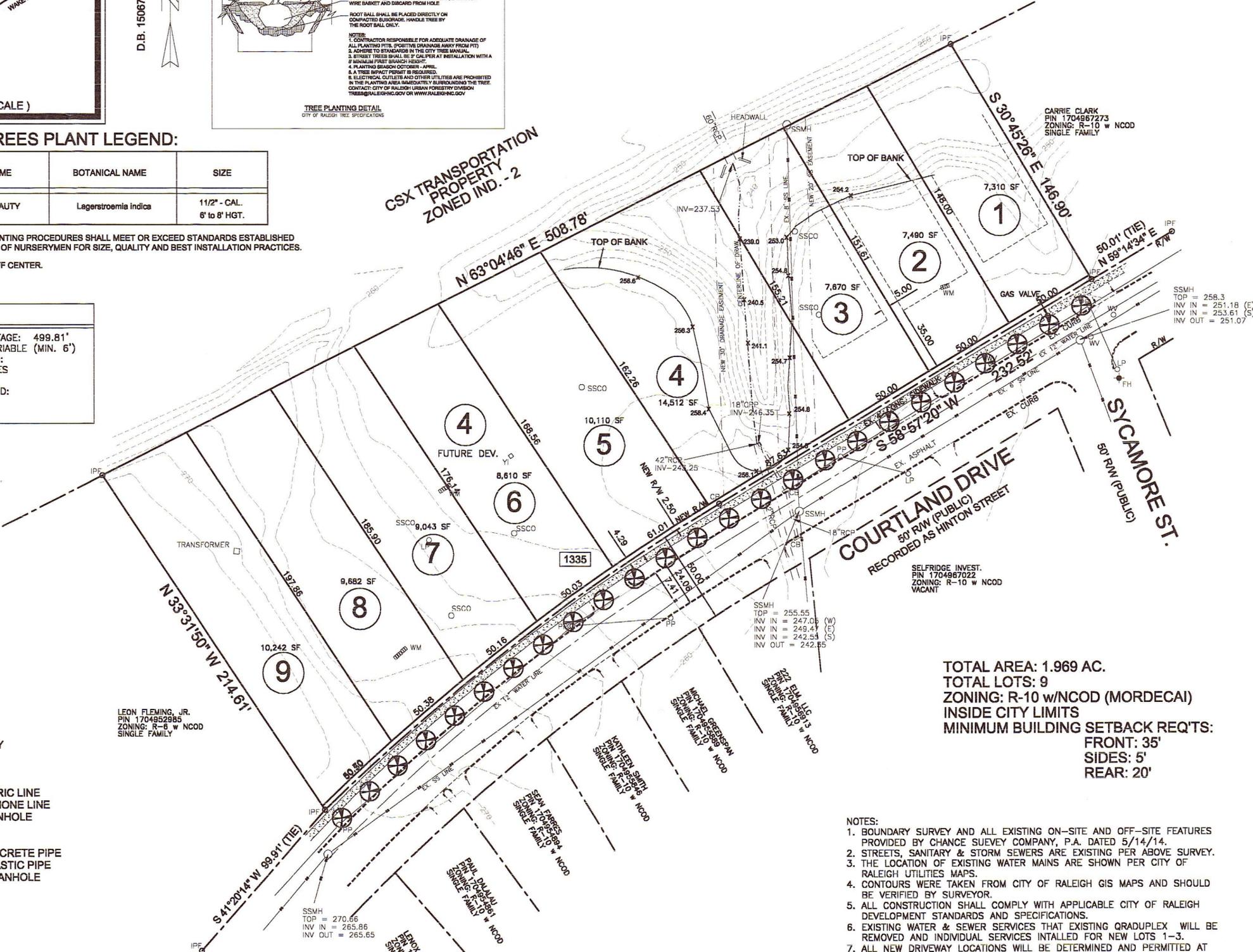
RESIDENTIAL STREET FRONTAGE: 499.81'
 STREETSCAPE WIDTH = VARIABLE (MIN. 6')
 STREETSCAPE TREES REQ'D:
 499.81' / 20' = 24.99 TREES

STREETSCAPE TREES PROV'D:
 TREES: 25

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 PIN 1704952985
 ZONING: R-6 w NCOD
 SINGLE FAMILY



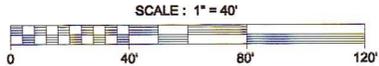
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NO.	REVISIONS	DATE	BY

PRELIMINARY STREETSCAPE PLAN
1335 COURTLAND DRIVE
 FOR
STUART CULLINAN
 RALEIGH TOWNSHIP - WAKE COUNTY - NORTH CAROLINA

SHEET: **5** OF: **5**

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