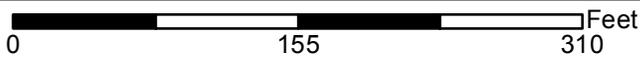
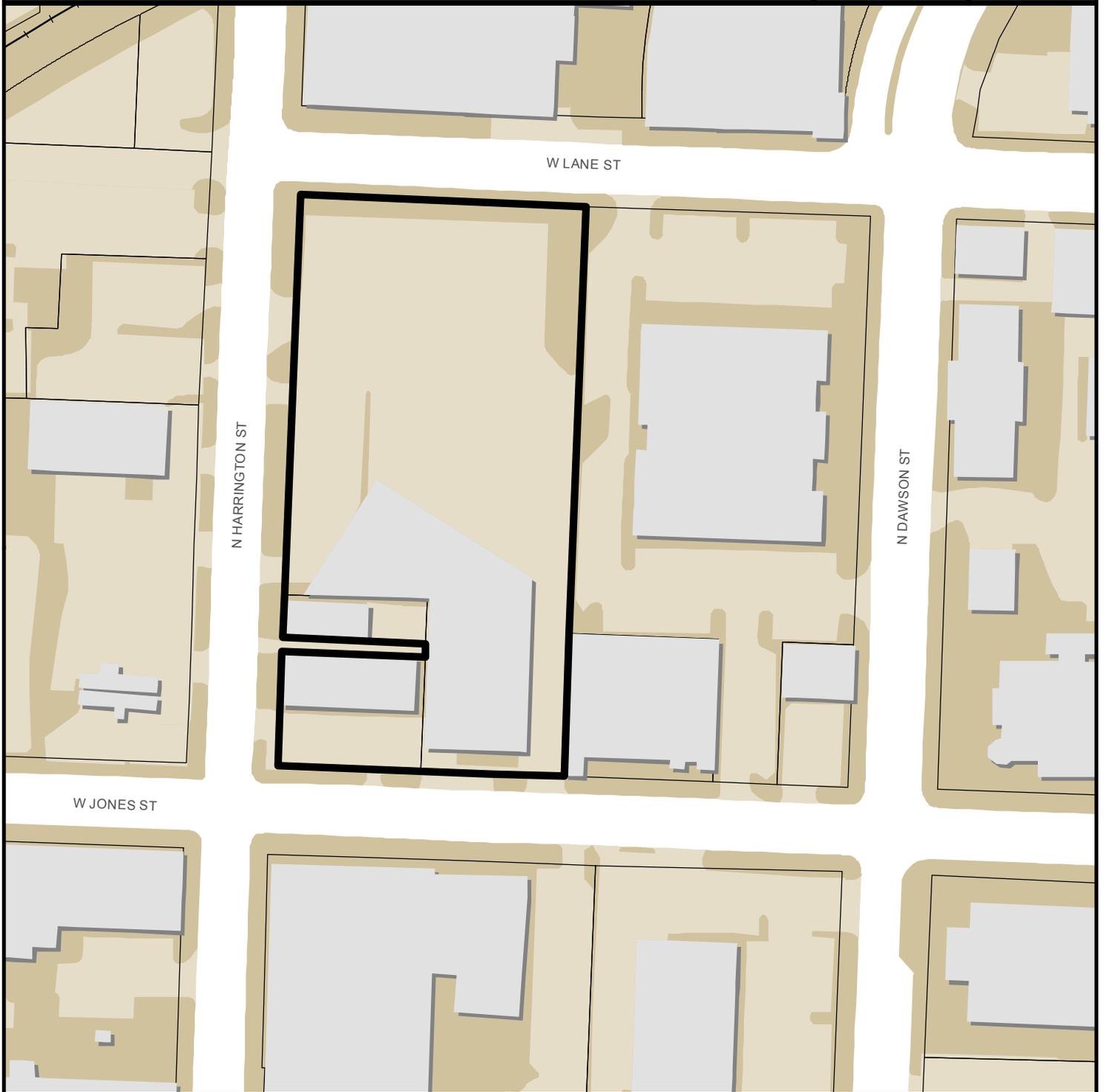


GREYHOUND APARTMENTS SP-53-2015



Zoning: **IND-2**
CAC: **North Central**
Drainage Basin: **Pigeon House**
Acreage: **1.79**
Square Feet: **270,000**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**
Applicant: **Banner Company
Apartments, LLC**





Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 Fax 919-516-2685

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Site Plans for Planning Commission <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing ** <input type="checkbox"/> Multifamily (Infill)**	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Cluster Subdivision** <input type="checkbox"/> Infill Subdivision** <input type="checkbox"/> Expedited Subdivision Review <input type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Subdivision	Transaction Number 439025 Assigned Project Coordinator CHIP SHANKLE Assigned Team Leader RAMETTA
* May require Planning Commission or City Council Approval ** Legacy Districts Only		SP-53-2015

Has your project previously been through the Due Diligence process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name Greyhound Apartments

Proposed Use Apartments

Property Address(es) 314 W. Jones Street, 208 N. Harrington Street, & 328 W. Jones Street, Raleigh, North Carolina 27603

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. Recorded Deed 1704-50-4286	P.I.N. Recorded Deed 1704-50-4124	P.I.N. Recorded Deed 1704-50-4007	P.I.N. Recorded Deed
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What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe:

PRELIMINARY ADMINISTRATIVE REVIEW	Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively <u>not</u> requiring Planning Commission or City Council approval.		
PLANNING COMMISSION	Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval. The site is zoned I-2 with DOD overlay and we are requesting a density greater than the base density of 40 DU/AC and the proposed building height exceeds 50'		
CLIENT (Owner or Developer)	Company Banner Apartments, LLC		Name (s) Jim Merkey
	Address 500 Skokie Boulevard, Suite 600, Northbrook, Illinois 60062		
	Phone 312-442-2744	Email jim.merkey@Bannerdevelopments.com	Fax N/A
CONSULTANT (Contact Person for Plans)	Company J Davis Architects, PPLC.		Name (s) Ken Thompson
	Address 510 Glenwood Avenue, Raleigh, NC 27603		
	Phone 919-835-1500	Email kent@jdavisarchitects.com	Fax 919-835-1510

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) Ind-2	Proposed building use(s) Apartments
If more than one district, provide the acreage of each N/A	Existing Building(s) sq. ft. gross 0 (existing to be demolished)
Overlay District DOD	Proposed Building(s) sq. ft. gross 270,000
Total Site Acres 1.79 AC Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 270,000
Off street parking Required 250 Provided 347	Proposed height of building(s) 90'
COA (Certificate of Appropriateness) case # N/A	FAR (floor area ratio percentage) 3.46
BOA (Board of Adjustment) case # A- N/A	Building Lot Coverage percentage 0.62 (site plans only)
CUD (Conditional Use District) case # Z- N/A	

Stormwater Information

Existing Impervious Surface 80,250 acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 80,061 acres/square feet	If Yes, please provide
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030. The proposed land use is Consistent with the Comprehensive Plan in that we are providing housing greater than 40 DU/AC within the CBD and providing compact development on a redevelopment site that reinforces the the urban pattern and is transit orientated by being with in a block of existing CAT bust stops and a 1/4 mile of a proposed rail stop.

FOR SUBDIVISION, APARTMENT, TOWNHOUSE, CONDOMINIUM PROJECTS ONLY

1. Total # Of Townhouse Lots 0 Detached 0 Attached 0	11. Total number of all lots 1
2. Total # Of Single Family Lots 0	12. Is your project a cluster unit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
3. Total # Of Apartment Or Condominium Units 250	If Yes, please answer the questions below:
4. Total # Of Congregate Care Or Life Care Dwelling Units 0	a) Total number of Townhouse Lots
5. Total # Of Mobile Home Lots 0	b) Total number of Single Family Lots
6. Total Number of Hotel Units 0	c) Total number of Group Housing Units
7. Overall Total # Of Dwelling Units (1-6 Above) 250	d) Total number of Open Space Lots
8. Bedroom Units 1br 141 2br 109 3br 4br or more	e) Minimum Lot Size
9. Overall Unit(s)/Acre Densities Per Zoning District(s) 140 DU/AC	f) Total Number of Phases
10. Total number of Open Space (only) lots 0	g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No
	h) Must provide open space quotient per City Code 10-3071 (5)

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

I hereby designate Kenneth Thompson to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed James R. Mahony **BANNER DEVELOPMENT** Date 7/09/2015
 Signed _____ Date _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input type="checkbox"/>				
2. Preliminary Development Plan Application completed and signed by the property owner	<input checked="" type="checkbox"/>		✓		
3. Client must complete and print page 1 and 2 of the Preliminary Development Plan Application to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
4. I have referenced the Preliminary Development Plan Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>		✓		
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
c) Proposed Site or Subdivision Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Tree Conservation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
i) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	<input checked="" type="checkbox"/>		✓		
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓

