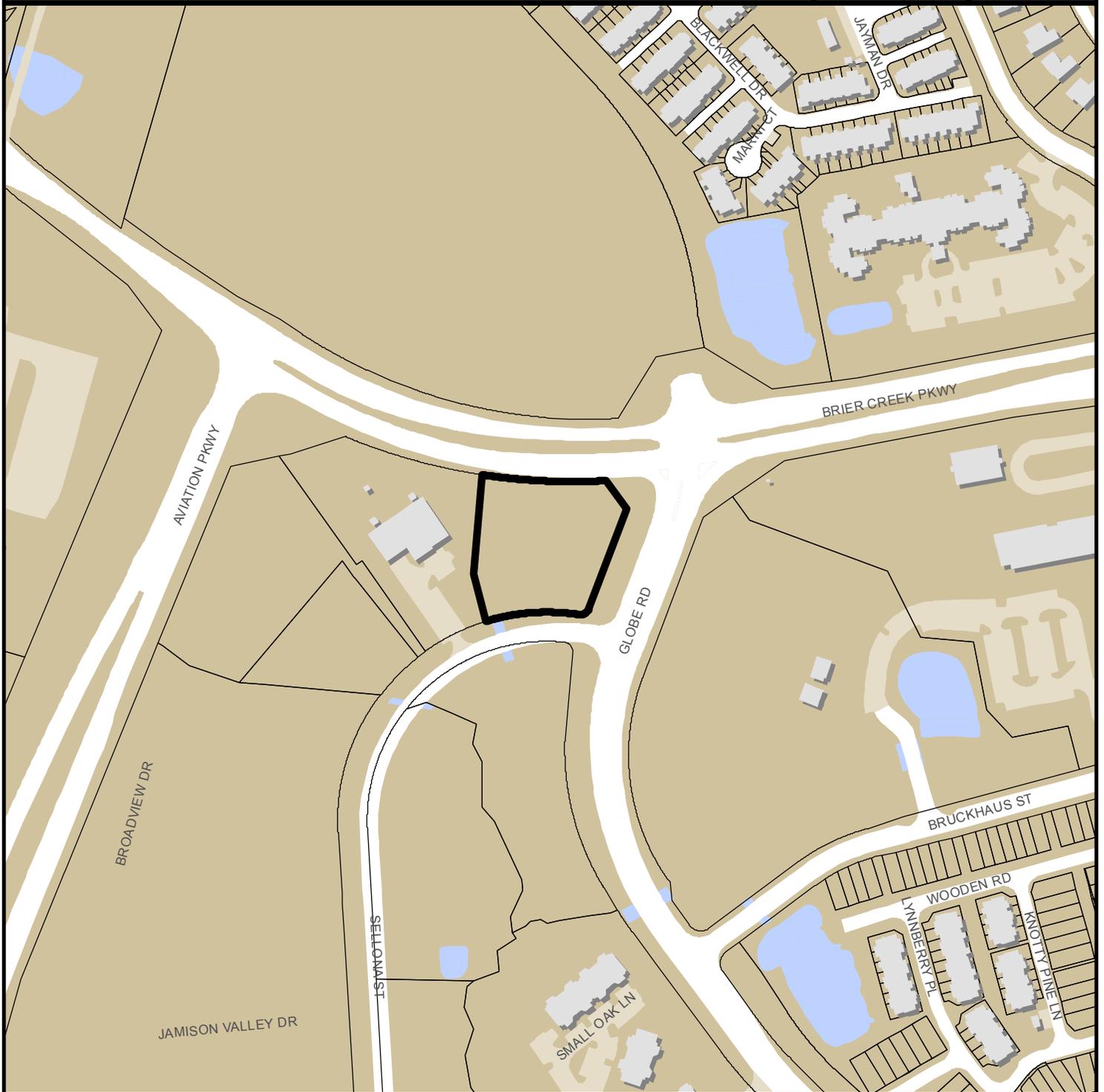


# HANDEE HUGOS #98 SP-72-2015



0 300 600 Feet

Zoning: **TD CUD**  
CAC: **Northwest**  
Drainage Basin: **Little Briar**  
Acreage: **1.71**  
Square Feet: **4,750**

Planner: **Meade Bradshaw**  
Phone: **(919) 996-2664**  
Applicant: **Stan Wingo**  
Phone: **(919) 848-6121**





# Planning & Development

Development Services  
 Customer Service Center  
 One Exchange Plaza  
 1 Exchange Plaza, Suite 400  
 Raleigh, North Carolina 27601  
 Phone 919-996-2495  
 Fax 919-516-2685

## Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document. *SP-72-15*

Preliminary Approvals		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Site Plans for Planning Commission <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing ** <input type="checkbox"/> Multifamily (Infill)**	<input type="checkbox"/> Subdivision* <input type="checkbox"/> Cluster Subdivision** <input type="checkbox"/> Infill Subdivision** <input type="checkbox"/> Expedited Subdivision Review <input type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Subdivision	Transaction Number <i>447383</i> Assigned Project Coordinator  Assigned Team Leader  <i>Bradshaw</i>
* May require Planning Commission or City Council Approval      ** Legacy Districts Only		

Has your project previously been through the Due Diligence process? If yes, provide the transaction #

### GENERAL INFORMATION

Development Name <b>Handee Hugos #98</b>			
Proposed Use <b>Gas Station with Quick Serve Restaurant</b>			
Property Address(es) <b>9910 Sellona Street</b>			
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
P.I.N. Recorded Deed <b>0758636088</b>	P.I.N. Recorded Deed	P.I.N. Recorded Deed	P.I.N. Recorded Deed
<b>What is your project type?</b> <input type="checkbox"/> Apartment <input type="checkbox"/> Banks <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Industrial Building <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> Office <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input checked="" type="checkbox"/> Retail <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Single Family <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Townhouse <input type="checkbox"/> Other: If other, please describe:			
<b>PRELIMINARY ADMINISTRATIVE REVIEW</b>	Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively <u>not</u> requiring Planning Commission or City Council approval.		
<b>PLANNING COMMISSION</b>	Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval. <b>Proximity to residential uses.</b>		
<b>CLIENT (Owner or Developer)</b>	Company <b>Bunn Brantley Enterprises</b>		Name (s) <b>Bob Brantley</b>
	Address <b>389 Instrument Drive, Rocky Mount, NC 27804</b>		
	Phone <b>252-977-9111</b>	Email <b>bob@bunnbrantley.com</b>	Fax
<b>CONSULTANT (Contact Person for Plans)</b>	Company <b>Commercial Site Design</b>		Name (s) <b>Stan Wingo</b>
	Address <b>8312 Creedmoor Road, Raleigh, NC 27613</b>		
	Phone <b>919-848-6121</b>	Email <b>wingo@csitedesign.com</b>	Fax

**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information	Building Information
Zoning District(s) TD CUD	Proposed building use(s) Gas Station w/QSR
If more than one district, provide the acreage of each N/A	Existing Building(s) sq. ft. gross 0
Overlay District N/A	Proposed Building(s) sq. ft. gross 4750
Total Site Acres 1.71 Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 4750
Off street parking Required 24 Provided 27	Proposed height of building(s) 20'
COA (Certificate of Appropriateness) case # N/A	FAR (floor area ratio percentage) 6.4%
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage 42% (site plans only)
CUD (Conditional Use District) case # Z- 65-96	

**Stormwater Information**

Existing Impervious Surface acres/square feet 0	Flood Hazard Area <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Impervious Surface acres/square feet <sup>72/31,327</sup>	<b>If Yes, please provide</b>
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input type="checkbox"/> No	Alluvial Soils Y Flood Study Y FEMA Map Panel # 37200758003

**CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)**

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030.

The proposed use is consistent with the Comprehensive Plan. The property is located within a City Growth Center on both the Urban Form Map as well as the Growth Framework Map in the Comprehensive Plan.

**FOR SUBDIVISION, APARTMENT, TOWNHOUSE, CONDOMINIUM PROJECTS ONLY**

1. Total # Of Townhouse Lots Detached Attached	11. Total number of all lots
2. Total # Of Single Family Lots	12. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
3. Total # Of Apartment Or Condominium Units	<b>If Yes, please answer the questions below:</b>
4. Total # Of Congregate Care Or Life Care Dwelling Units	a) Total number of Townhouse Lots
5. Total # Of Mobile Home Lots	b) Total number of Single Family Lots
6. Total Number of Hotel Units	c) Total number of Group Housing Units
7. Overall Total # Of Dwelling Units (1-6 Above)	d) Total number of Open Space Lots
8. Bedroom Units 1br 2br 3br 4br or more	e) Minimum Lot Size
9. Overall Unit(s)/Acre Densities Per Zoning District(s)	f) Total Number of Phases
10. Total number of Open Space (only) lots	g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No
	h) Must provide open space quotient per City Code 10-3071 (5)

**SIGNATURE BLOCK (Applicable to all developments)**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

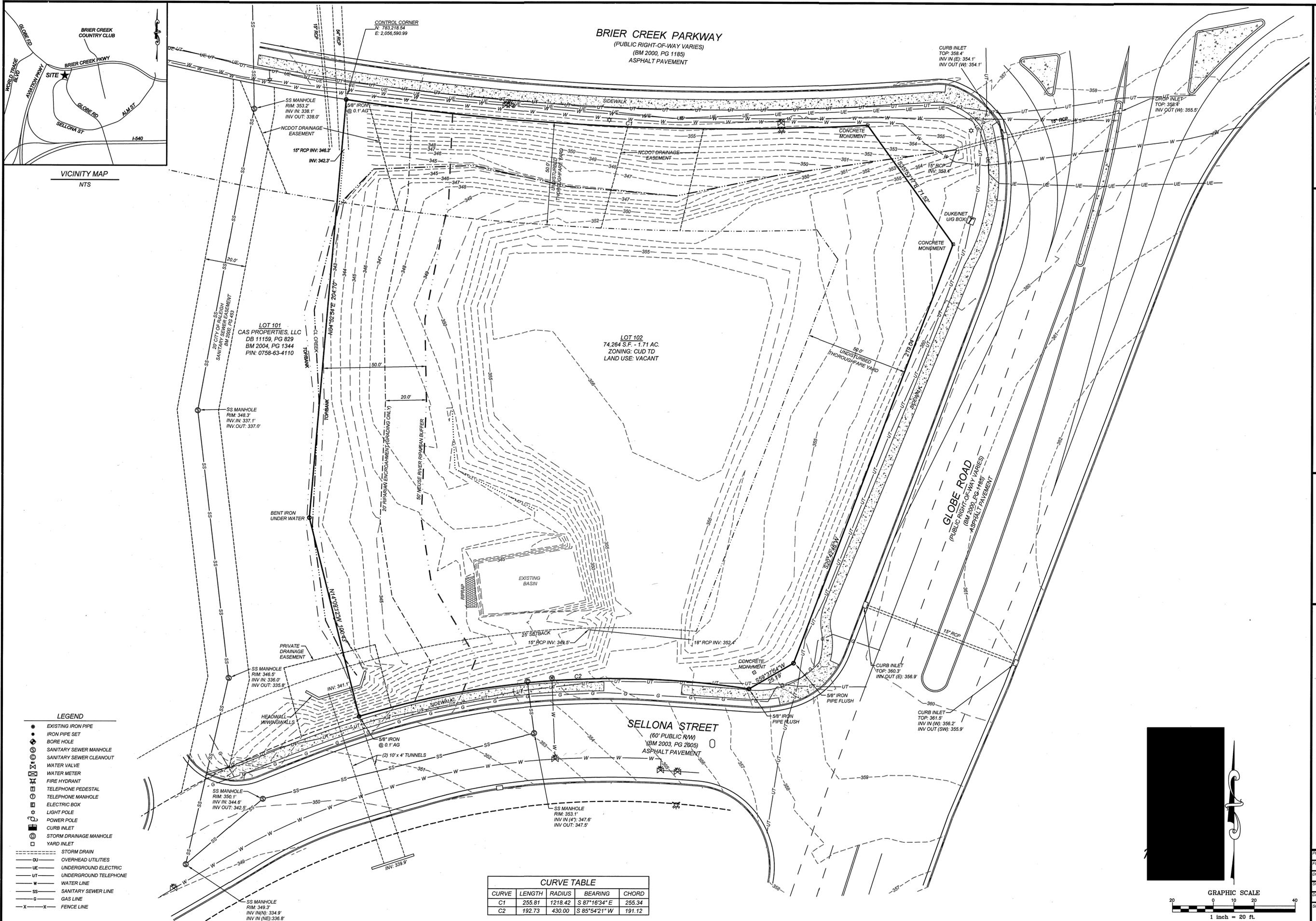
I hereby designate STAN WINGO/Commercial Site Design to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed [Signature] Date 9-16-15

Signed \_\_\_\_\_ Date \_\_\_\_\_

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF				
	YES	N/A	YES	NO	N/A
<b>General Requirements</b>					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>				
2. <b>Preliminary Development Plan Application</b> completed and signed by the property owner	<input checked="" type="checkbox"/>				
3. Client must complete and print page 1 and 2 of the <b>Preliminary Development Plan Application</b> to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
4. I have referenced the <b>Preliminary Development Plan Checklist</b> and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>				
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>				
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
c) Proposed Site or Subdivision Plan	<input checked="" type="checkbox"/>				
d) Proposed Grading and Stormwater Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
f) Proposed Tree Conservation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
i) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" =100', etc.), and date of preparation. For re-submittals only – include all revision dates	<input checked="" type="checkbox"/>				
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>				
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>				
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>				
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>				
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input type="checkbox"/>	<input checked="" type="checkbox"/>			



VICINITY MAP  
NTS

**BRIER CREEK PARKWAY**  
(PUBLIC RIGHT-OF-WAY VARIES)  
(BM 2000, PG 1185)  
ASPHALT PAVEMENT

**GLOBE ROAD**  
(PUBLIC RIGHT-OF-WAY VARIES)  
(BM 2000, PG 1185)  
ASPHALT PAVEMENT

**SELLONA STREET**  
(60' PUBLIC R/W)  
YBM 2003, PG 2005  
ASPHALT PAVEMENT

**LOT 101**  
CAS PROPERTIES, LLC  
DB 11159, PG 829  
BM 2004, PG 1344  
PIN: 0758-63-4110

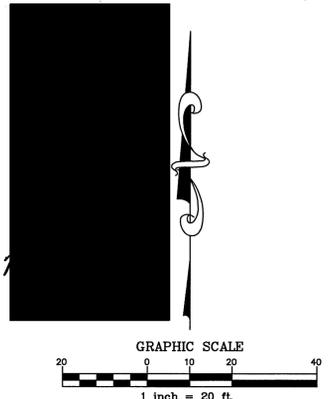
**LOT 102**  
74,264 S.F. - 1.71 AC.  
ZONING: CUD TD  
LAND USE: VACANT

**LEGEND**

- EXISTING IRON PIPE
- IRON PIPE SET
- BORE HOLE
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER CLEANOUT
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ FIRE HYDRANT
- ⊕ TELEPHONE PEDESTAL
- ⊕ TELEPHONE MANHOLE
- ⊕ ELECTRIC BOX
- ⊕ LIGHT POLE
- ⊕ POWER POLE
- ⊕ CURB INLET
- ⊕ STORM DRAIN MANHOLE
- ⊕ YARD INLET
- STORM DRAIN
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- WATER LINE
- SANITARY SEWER LINE
- GAS LINE
- FENCE LINE

**CURVE TABLE**

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	255.81	1218.42	S 87°16'34" E	255.34
C2	192.73	430.00	S 85°54'21" W	191.12



**REVISIONS**

NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

872 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27617

(919) 946-4021, FAX: (919) 946-2741  
WWW.CSITDESIGN.COM

**CLIENT:**  
BOB BRANTLEY  
388 INSTRUMENT DRIVE  
ROCKY MOUNT, N.C. 27804  
PHONE: 252-977-9111

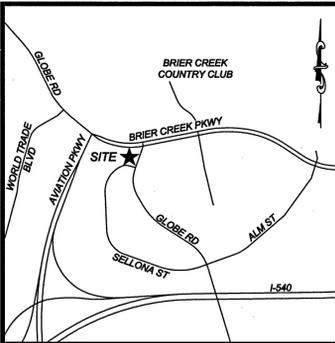
**HANDEE HUGO'S #98**  
9910 SELLONA STREET  
RALEIGH, NORTH CAROLINA

**EXISTING CONDITIONS PLAN**

PROJECT NO. **BBE-1502**  
FILENAME: **BBE1502-DP**  
DRAWN BY: **JWR**  
SCALE: **1" = 20'**  
DATE: **08-31-15**  
SHEET NO. **C-1**

X:\BBE - Birm Brantley Enterprises, Inc\1502 - Brier Creek\CAD\BBE1502.dwg, 9/17/2015 4:52:47 PM, JWR

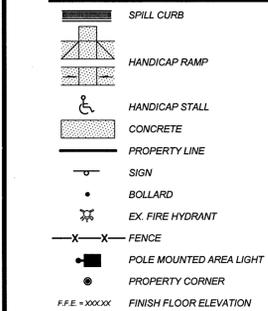
**BRIER CREEK PARKWAY**  
(PUBLIC RIGHT-OF-WAY VARIES)  
(BM 2000, PG 1185)  
ASPHALT PAVEMENT



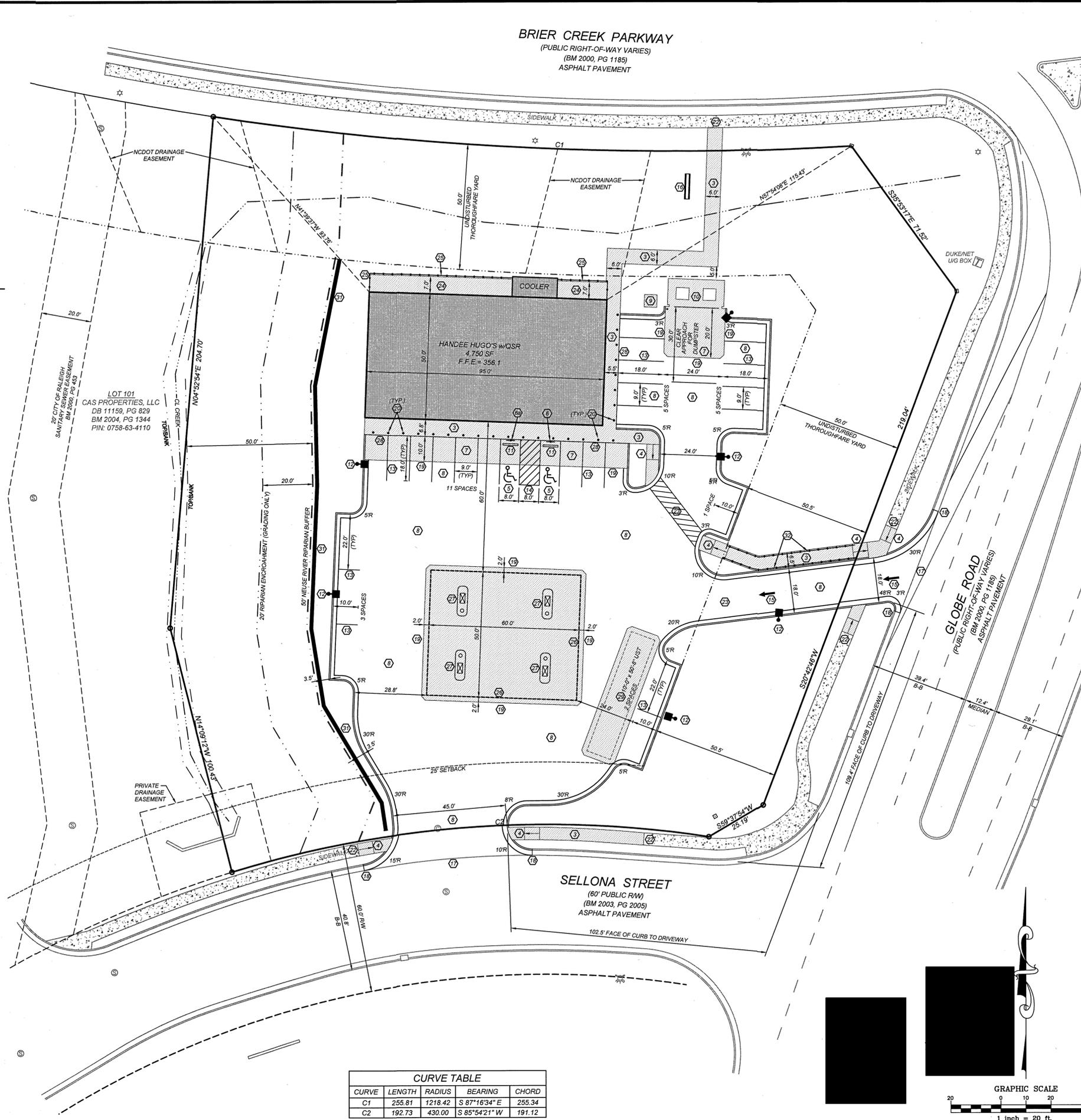
**SITE KEYNOTES:**

- 1 CONSTRUCT 2.0' CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- 2 CONSTRUCT 2.0' CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- 3 CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- 4 CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
- 5 HANDICAP PARKING STALL
- 6 INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- 6A INSTALL VAN ACCESSIBLE HANDICAP PARKING SIGN PER DETAIL SHEET
- 7 CONCRETE PAVEMENT PER DETAIL SHEET
- 8 ASPHALT PAVEMENT PER DETAIL SHEET
- 9 TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
- 10 CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, MATERIALS TO MATCH BUILDING, SEE DETAIL SHEET
- 11 CONCRETE WHEEL STOP PER DETAIL SHEET
- 12 POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- 13 PAINT 4" WIDE STRIPE, WHITE
- 14 PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
- 15 PAINT TRAFFIC ARROWS PER DETAIL SHEET
- 16 SITE IDENTIFICATION SIGN
- 17 CONCRETE VALLEY GUTTER PER DETAIL SHEET
- 18 MATCH EXISTING CURB & GUTTER
- 19 ASPHALT/CONCRETE TRANSITION PER DETAIL
- 20 INSTALL STEEL PIPE BOLLARD, 6" O.C. PER DETAIL SHEET
- 21 MATCH EXISTING ASPHALT PAVEMENT
- 22 MATCH EXISTING CONCRETE SIDEWALK
- 23 PAINT CROSSWALK PER DETAIL SHEET
- 24 CONCRETE PAD FOR HVAC UNITS AND COMPRESSORS
- 25 6 FEET HIGH OPAQUE FENCE
- 26 CANOPY
- 27 MPD
- 28 SIDEWALK TO BE FLUSH WITH PAVEMENT AT BUILDING
- 29 UNDERGROUND STORAGE TANK (UST) PIT
- 30 CONCRETE PAD 2 FEET BEYOND CANOPY
- 31 SEGMENTAL BLOCK RETAINING WALL
- 32 HANDRAIL ON EACH SIDE OF CONCRETE WALK
- 33 NOSE DOWN CURB

**SITE LEGEND**



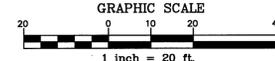
CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	255.81	1218.42	S 87°16'34" E	255.34
C2	192.73	430.00	S 85°54'21" W	191.12



**GENERAL NOTES:**

- 1 THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY OTHERS
- 2 THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 3 ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- 4 ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- 5 PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK, MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- 6 THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- 7 CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- 8 ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
- 9 CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL, INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- 10 ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- 11 DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- 12 THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- 13 THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- 14 GENERAL CONTRACTOR WILL ERRECT AND ILLUMINATE A SITE IDENTIFICATION SIGN PER OWNER'S SPECIFICATION, COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE
- 15 FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
- 16 CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
- 17 ALL RADI DIMENSIONS ARE TO FACE OF CURB.
- 18 ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
- 19 ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- 20 ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDING AND MULCHED WITHIN SEVEN (7) DAYS.
- 21 THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL, ON HIS INITIATIVE AND AT HIS EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA 811 AT 800-632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- 22 ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
- 23 COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 90% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
- 24 THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 25 BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
- 26 ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- 27 THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
- 28 ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 29 CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
- 30 ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
- 31 ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
- 32 ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- 33 IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR
- 34 CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

**FLOOD INFORMATION**



NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

872 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27613

(919) 846-4021, FAX: (919) 848-9741  
WWW.CSDESIGN.COM

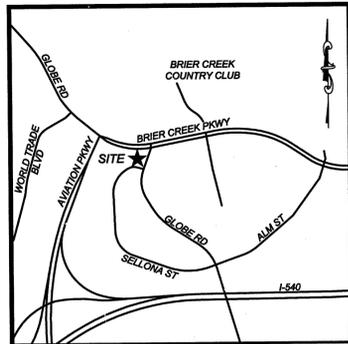
CLIENT:  
BOB BRANTLEY  
388 INSTRUMENT DRIVE  
ROCKY MOUNT, NC 27854  
PHONE: 252-877-9111

**HANDEE HUGO'S #98**  
9910 SELLONA STREET  
RALEIGH, NORTH CAROLINA

**SITE PLAN**

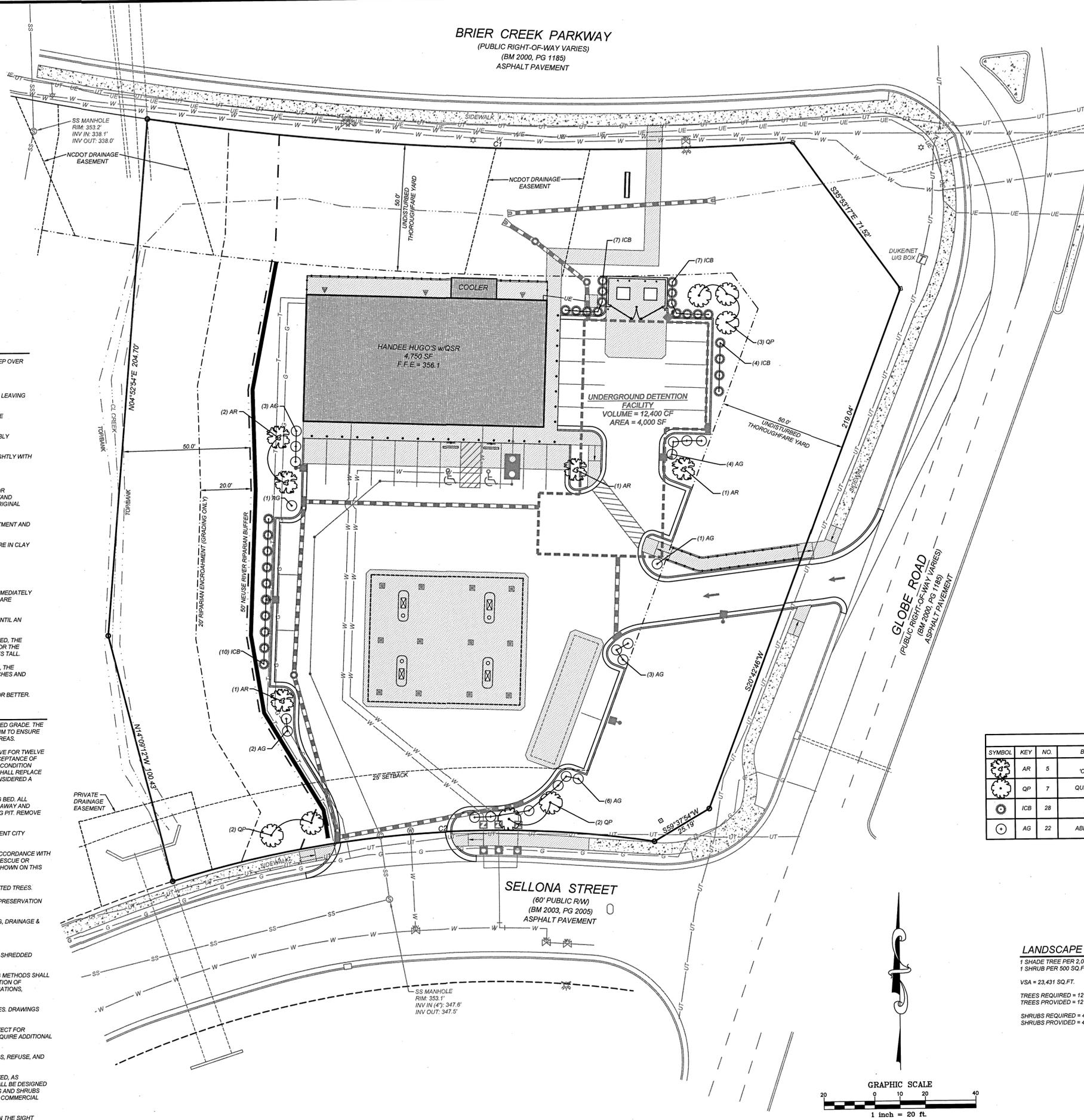
PROJECT NO: **BBE-1502**  
FILENAME: **BBE1502-SP**  
DRAWN BY: **JWR**  
SCALE: **1" = 20'**  
DATE: **08-31-15**  
SHEET NO: **C-2**

X:\BBE - Bun Brantley Enterprises, Inc\1502 - Raleigh @ Briar Creek\CAD\BBE1502-SP.dwg, 9/18/2015 8:26:40 AM, jwr



VICINITY MAP  
NTS

**BRIER CREEK PARKWAY**  
(PUBLIC RIGHT-OF-WAY VARIES)  
(BM 2000, PG 1185)  
ASPHALT PAVEMENT

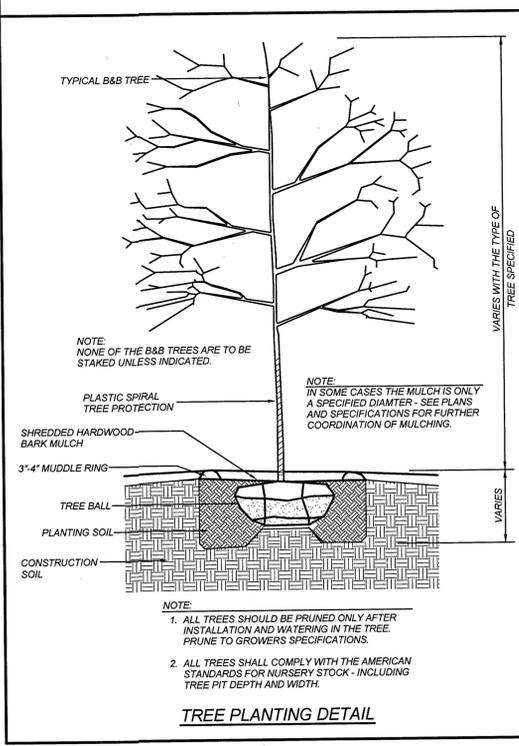
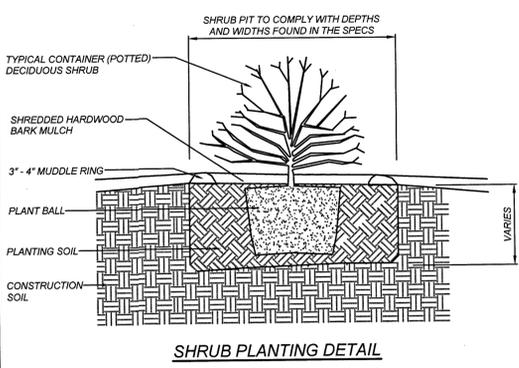


- TURF NOTES:**
- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
  - RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
  - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
  - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
  - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
  - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
  - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
  - INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
  - CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- \*APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS) FERTILIZER - 1,000 LBS/ACRE - 10-10-10 SUPERPHOSPHATE - 500 LBS/ACRE 20% ANALYSIS MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW ANCHOR - ASPHALT EMULSION @ 300 GALS/ACRE
- SOD PREPARATION:  
FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-5 ABOVE. IMMEDIATELY WATER SOD UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED.
  - ONCE AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL THE GRASS REACHES A HEIGHT OF 4 INCHES TALL.
  - AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AND TURN OVER THE LAWN MAINTENANCE TO THE OWNER.
  - AN ACCEPTABLE STAND OF GRASS SHALL BE 92% COVERAGE OR BETTER.

- LANDSCAPE NOTES:**
- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
  - PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
  - ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
  - ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
  - ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH "REBEL II" HYBRID TALL FESCUE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.
  - SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
  - TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
  - COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
  - VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
  - MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODDED, WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF 3"-4".
  - THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
  - SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
  - ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
  - TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
  - THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.

NOTE: IN SOME CASES THE MULCH IS ONLY A SPECIFIED DIAMETER. SEE PLANS AND SPECIFICATIONS FOR FURTHER COORDINATION OF MULCHING.

NOTE: PRUNE SHRUB AS RECOMMENDED BY GROWER ONLY AFTER THE PLANT HAS BEEN WATERED INTO THE PLANTING SOIL.



**PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)**

SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
AR	5		ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	2"	8'	B & B	X
QP	7		QUERCUS PALUSTRIS	PIN OAK	2"	8'	B & B	X
ICB	28		ILEX CORNUTA BUFORDII NANA	DWARF BUFORD HOLLY	-	18"	CONT.	X
AG	22		ABELIA GRANDIFLORA	GLOSSY ABELIA	-	18"	CONT.	X

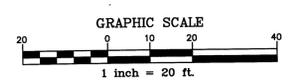
**LANDSCAPE CALCULATIONS (CODE SECTION 10-2082.6)**

1 SHADE TREE PER 2,000 SQ. FT. VSA &  
1 SHRUB PER 500 SQ. FT. VSA (60% EVERGREEN)

VSA = 23,431 SQ. FT.

TREES REQUIRED = 12 TREES  
TREES PROVIDED = 12 TREES

SHRUBS REQUIRED = 47 SHRUBS  
SHRUBS PROVIDED = 49 SHRUBS



**REVISIONS**

NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**

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9910 SELLONA STREET  
RALEIGH, NORTH CAROLINA

**LANDSCAPE PLAN**

PROJECT NO: **BBE-1502**  
FILENAME: **BBE1502-LS**  
DRAWN BY: **JWR**  
SCALE: **1" = 20'**  
DATE: **08-31-15**  
SHEET NO: **C-5**