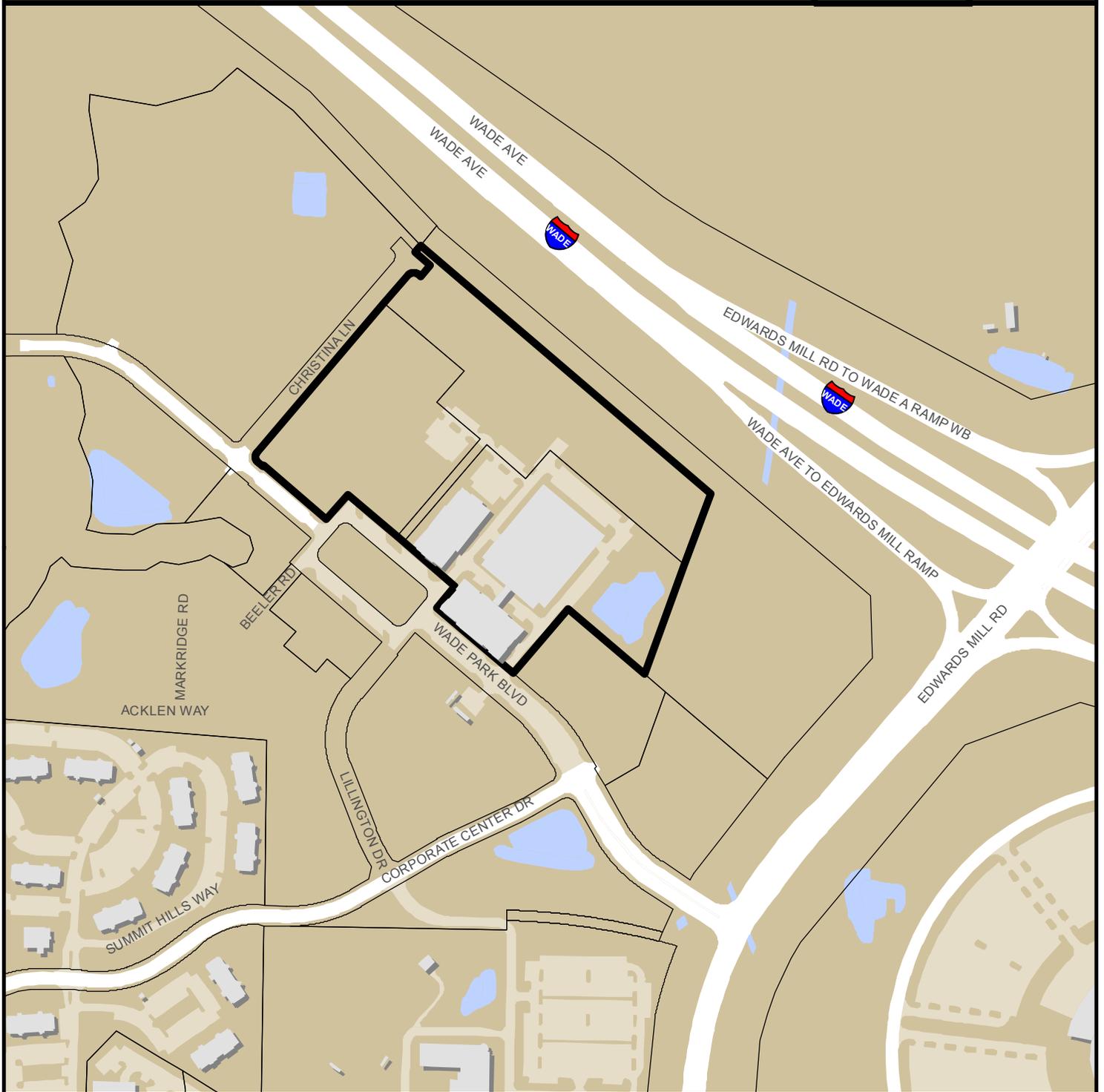


WADE PARK IV SR-10-2016



0 300 600 1,200 Feet

Zoning: **OX-12-CU**

CAC: **West**

Drainage Basin: **Richland Creek**

Acreage: **12.01**

Square Feet: **106,938**

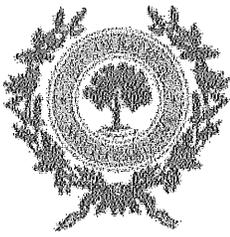
Planner: **Michael Walters**

Phone: **(919) 996-2636**

Applicant: **Dominion Realty
Partnership**

Phone: **(919) 848-3336**





Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza, Suite 400
 Raleigh, NC 27601
 Phone 919-996-2495
 Fax 919-516-2685

Administrative Site Review Application For UDO Districts Only

When submitting plans, please check appropriate building type and include the Plan Checklist document.

SP-10-16

Building Type		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number 462532 Assigned Project Coordinator Chop Assigned Team Leader WATERS

Has your project previously been through the Due Diligence process? If yes, provide the transaction # No.

GENERAL INFORMATION

Development Name	Wade Park IV		
Zoning District	PD/OX-12-CU (Z-17-15)		
Proposed Use	Office Building		
Property Address(es)	5444, 5438 Wade Park Boulevard and 1531 Christina Lane, Raleigh, NC		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:	0784-09-5397, 0784-09-1303		
P.I.N. Recorded Deed D.B. 15983, PG. 01497	P.I.N. Recorded Deed D.B. 15983, PG. 01596	P.I.N. Recorded Deed	P.I.N. Recorded Deed
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Banks <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Industrial Building <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input checked="" type="checkbox"/> Office <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Single Family <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Townhouse <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: If other, please describe: Office/Lab Space			
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. Construct 4 story office building and associated parking.		
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE		
CLIENT/DEVELOPER/ OWNER	Dominion Realty Partners, LLC		Name (s) Andy Andrews
	Address 555 Fayetteville St., Suite 210, Raleigh, NC		
	Phone (919) 845-3306	Email aandrews@drp-llc.com	Fax (919) 845-9297
CONSULTANT (Contact Person for Plans)	Company Piedmont Land Design, LLP		Name (s) Ron Hendricks
	Address 8522-204 Six Forks Road, Raleigh, NC 27615		
	Phone (919) 845-7600	Email ronh@piedmontlanddesign.com	Fax (919) 845-7703

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) PD/OX-12-CU (Z-17-15)	Proposed building use(s) Office
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross 106,938
Overlay District	Proposed Building(s) sq. ft. gross 106,938
Total Site Acres 12.01 ac Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 213,876
Off street parking Required 1,352 Provided 1,352	Proposed height of building(s) 57' above FFE Stories 4
COA (Certificate of Appropriateness) case #	FAR (floor area ratio percentage) 0.41
BOA (Board of Adjustment) case # A-	Building Lot Coverage percentage 0.10 (site plans only)
CUD (Conditional Use District) case # Z-17-15	Height of 1 st Floor 14.75'
Stormwater Information	
Existing Impervious Surface 3.66 acres	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 6.35 acres	If Yes, please provide
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

FOR RESIDENTIAL DEVELOPMENTS

1. Total # Of Apartment, Condominium or Residential Units	7. Open Space (only) or Amenity
2. Total # Of Congregate Care Or Life Care Dwelling Units	8. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
3. Total Number of Hotel Units	
4. Overall Total # Of Dwelling Units (1-6 Above)	
5. Bedroom Units 1br 2br 3br 4br or more	
6. Infill Development 2.2.7	

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Piedmont Land Desin, LLP to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

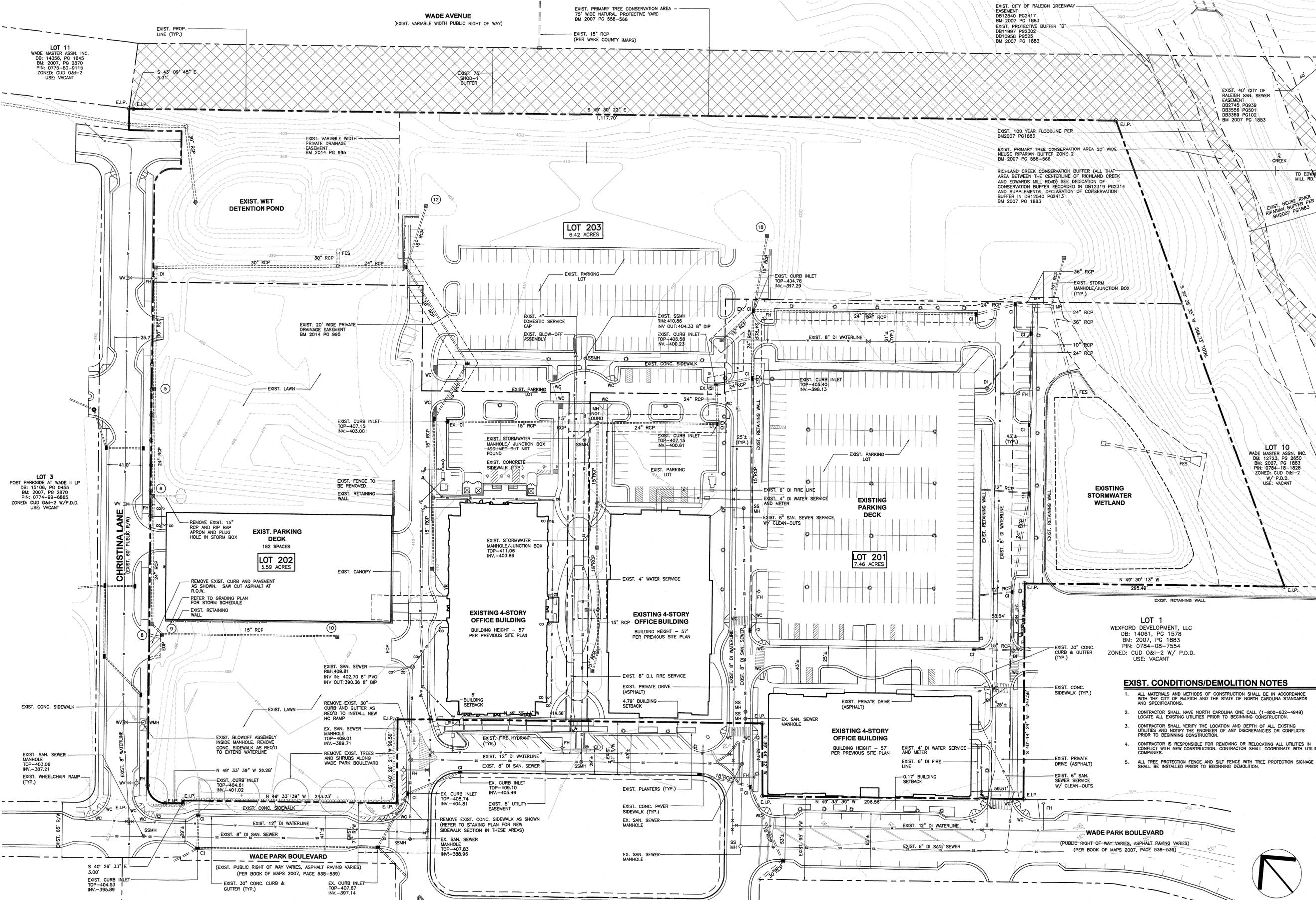
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed _____ Date _____

Signed  Date 2.15.16

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>				
2. Site Review completed and signed by the property owner	<input checked="" type="checkbox"/>				
3. Client must complete and print page 1 and 2 of the Site Review to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
4. I have referenced the Site Review and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>				
5. Provide the following plan sheets:	<input type="checkbox"/>				

a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>				
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
c) Proposed Site Plan	<input checked="" type="checkbox"/>				
d) Proposed Grading and Stormwater Plan; Approach to Stormwater	<input checked="" type="checkbox"/>				
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
f) Proposed Tree Conservation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
g) Proposed Landscaping Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
h) Building elevations that show maximum height of buildings to be removed	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
i) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" =100', etc.), and date of preparation. <u>For re-submittals – include all revision dates</u>	<input checked="" type="checkbox"/>				
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>				
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>				
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>				
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>				
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input type="checkbox"/>	<input checked="" type="checkbox"/>			



PRELIMINARY
 NOT FOR CONSTRUCTION

**WADE PARK IV
 OFFICE BUILDING**
 5444 WADE PARK AVENUE
 RALEIGH, NORTH CAROLINA

ISSUED: 16 FEB 2016

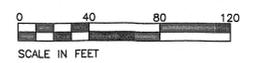
REVISIONS:

EXIST. CONDITIONS/DEMOLITION NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES.
5. ALL TREE PROTECTION FENCE AND SILT FENCE WITH TREE PROTECTION SIGNAGE SHALL BE INSTALLED PRIOR TO BEGINNING DEMOLITION.



NORTH



DRAWN BY: MGD
 CHECKED BY: RPH

PROJECT: **WPOP2**

**EXISTING
 CONDITIONS
 PLAN**

DWG. NO. **SR 2**

KEY	PLANT LIST		QUAN.	CAL.	HT.	ROOT	REMARKS
	BOTANICAL NAME	COMMON NAME					
TREES							
CB	<i>Carpinus betulus</i> 'Fastigiata'	European Hornbeam	14	3"	8'	B&B	VISA TREE
QN	<i>Quercus shumbr.</i>	Nuttall Oak	8	3"	8'	B&B	STREET TREE
QP	<i>Quercus phellos</i>	Willow Oak	22	3"	8'	B&B	STREET TREE
UP	<i>Ulmus parvifolia</i> 'Emer. II'	Chinese Lacebark Elm	4	3"	8'	B&B	STREET/VISA TREE
SHRUBS							
BM	<i>Buxus microphylla</i> var. japonica 'Wintergreen'	Wintergreen boxwood	48	3	18"		VISA SHRUB
CC	<i>Ilex cornuta</i> 'Cornuta'	Cornuta Holly	130	3	18"		VISA SHRUB
CH	<i>Ilex cornuta</i> 'Nedspoint'	Nedspoint Holly	72	3	18"		SCREEN SHRUB ALONG CHRISTINA LANE
EB	<i>Ilex x 'Emily Bruner'</i>	Emily Bruner Holly	112	7	36"		FOUNDATION SHRUB
GROUND COVER							
LM	<i>Liriope muscari</i> 'Variegata'	Liriope	96	1	12"		18" O.C.

SYMBOLS: B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER; O.C. = ON-CENTER; GAL = GALLON

LANDSCAPE REQUIREMENTS

- STREET YARD REQUIREMENTS**
- NEW PUBLIC STREET TREES SHALL BE 40' O.C.
- 11 STREET TREES REQUIRED/PROVIDED
- VEHICLE PARKING LOT LANDSCAPING**
- 56,313 SF OF NEW VSA
 MINIMUM 1 SHADE TREE/2,000 SF REQUIRED
 56,313 SF /2,000 = 28 TREES REQUIRED/PROVIDED
- 56,313 SF OF NEW VSA
 1 SHRUB/500 SF REQUIRED
 56,313 SF /500 = 113 SHRUBS REQUIRED/PROVIDED

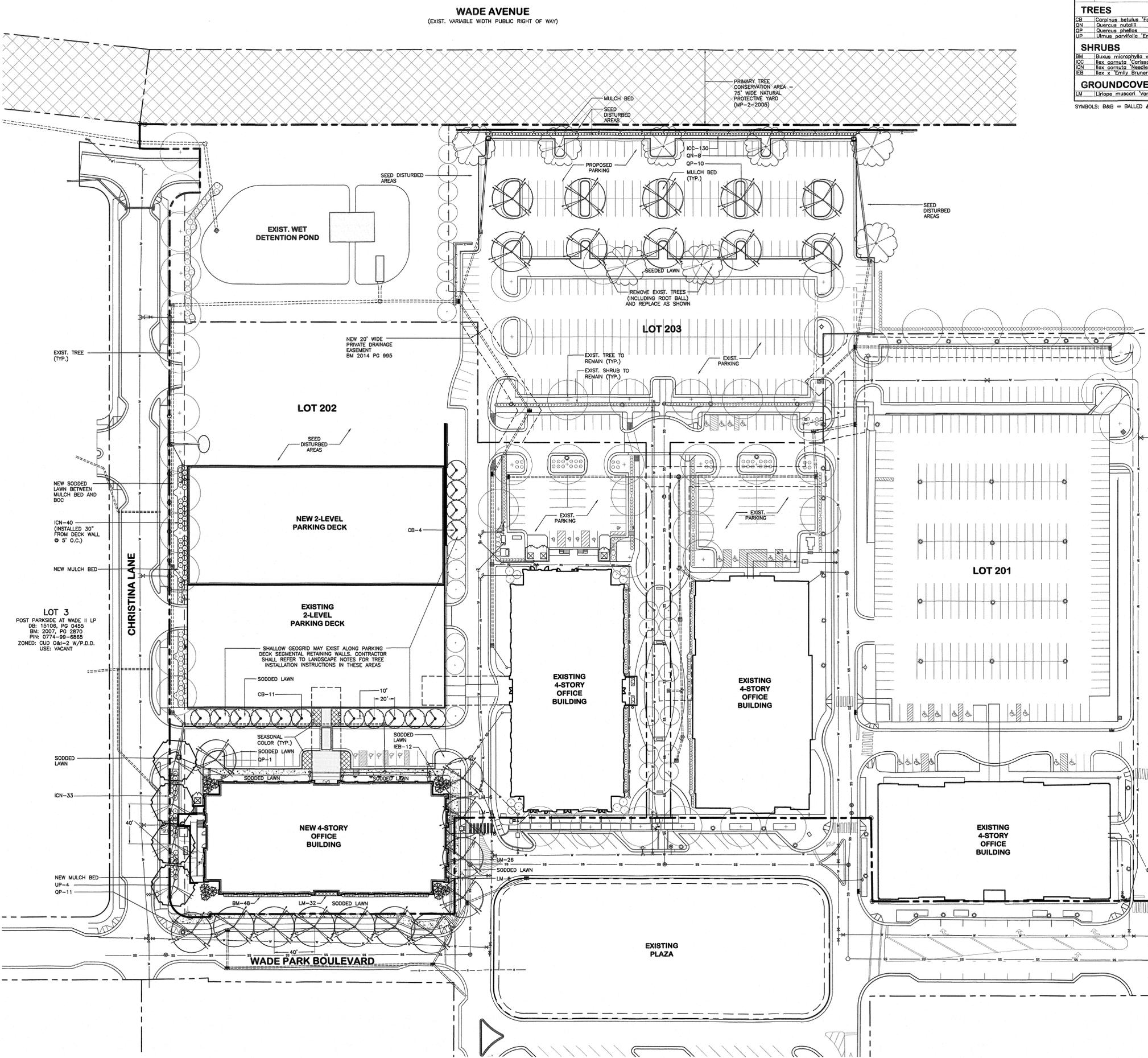
LAWN NOTES:

SODDED LAWN AREAS AROUND BUILDING:
 (REFER TO PLAN FOR LOCATION)
 SOD SHALL BE TIFGRAND HYBRID BERMUDA

SEEDING SHALL BE AT THE FOLLOWING RATE:
 PER 1000 S.F. OF LAWN AREA:
 3 LBS. TURF TYPE FESCUE "TYPE A"
 3 LBS. TURF TYPE FESCUE "TYPE B"
 (TWO DIFFERENT FESCUES TO BE SELECTED FROM VARIETIES RECOMMENDED FOR PROJECT AREA)
 1 LB. KENTUCKY BLUE GRASS

LANDSCAPE NOTES

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (OR AS INDICATED IN THE LANDSCAPE SPECIFICATIONS) BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL NEW TREES ARE TO BE COMPLETELY COVERED WITH HARDWOOD SHREDDED MULCH TO A MINIMUM DEPTH OF FOUR (4) INCHES BY (5) FIVE FOOT DIAMETER.
- CONTRACTOR SHALL SEED ON-SITE DISTURBED AREAS THAT ARE NOT SCHEDULED TO BE PLANTED WITH TREES, SHRUBS, GROUND COVER OR SOD. WATER AS NEEDED FROM A SOURCE APPROVED BY THE CITY OF RALEIGH/WAKE COUNTY TO ENSURE THAT SEED GERMINATES AND ESTABLISHES. ADDITIONAL SEEDING MAY BE REQUIRED IN BARE AREAS IF ORIGINAL SEED DOES NOT ESTABLISH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT SEEDED AREAS ARE FULLY COVERED WITH MATURE GRASSES ONE YEAR AFTER INITIAL DISTRIBUTION OF SEED.
- SEASONAL COLOR AREAS SHOWN ON PLANS SHALL CONSIST OF ANNUAL FLOWERING PLANTS THAT WILL PROVIDE SEASONAL VARIETY AND COLOR. PLANT SELECTIONS SHALL BE SUITED TO SITE CONDITIONS AND CAPABLE OF THRIVING IN AREAS SHOWN ON PLANS.
- NEW TRASH RECEPTACLE AND BENCHES SHALL MATCH THE SIZE, COLOR, MATERIAL, AND STYLE OF THE EXISTING FURNITURE LOCATED IN THE PLAZA BETWEEN WADE PARK BOULEVARD.
- SHALLOW GEGRID MAY EXIST ALONG PARKING DECK SEGMENTAL RETAINING WALLS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE TREE INSTALLATION WITH THE RETAINING WALL DESIGNER FOR THIS PROJECT PRIOR TO TREE INSTALLATION TO AVOID COMPROMISING THE STRUCTURAL INTEGRITY OF THE WALLS.



PRELIMINARY
 NOT FOR CONSTRUCTION

WADE PARK IV
 OFFICE BUILDING
 5444 WADE PARK AVENUE
 RALEIGH, NORTH CAROLINA

ISSUED: 16 FEB 2016

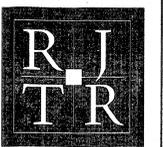
REVISIONS:

DRAWN BY: MGD
 CHECKED BY: RPH

PROJECT: WPOP1

LANDSCAPE
 PLAN

DWG. NO. SR 6



RULE JOY TRAMMELL RUBIO LLC
 ARCHITECTURE INTERIOR DESIGN
 300 Galleria Parkway, Suite 740 Atlanta, Georgia 30339
 770-661-1492 (phone) 770-661-1493 (fax)
 www.rjtr.com

PRINTED

DATE	ISSUE/REVISION
08-21-15	OWNER REVIEW
02-03-16	SITE PLAN SUBMITTAL

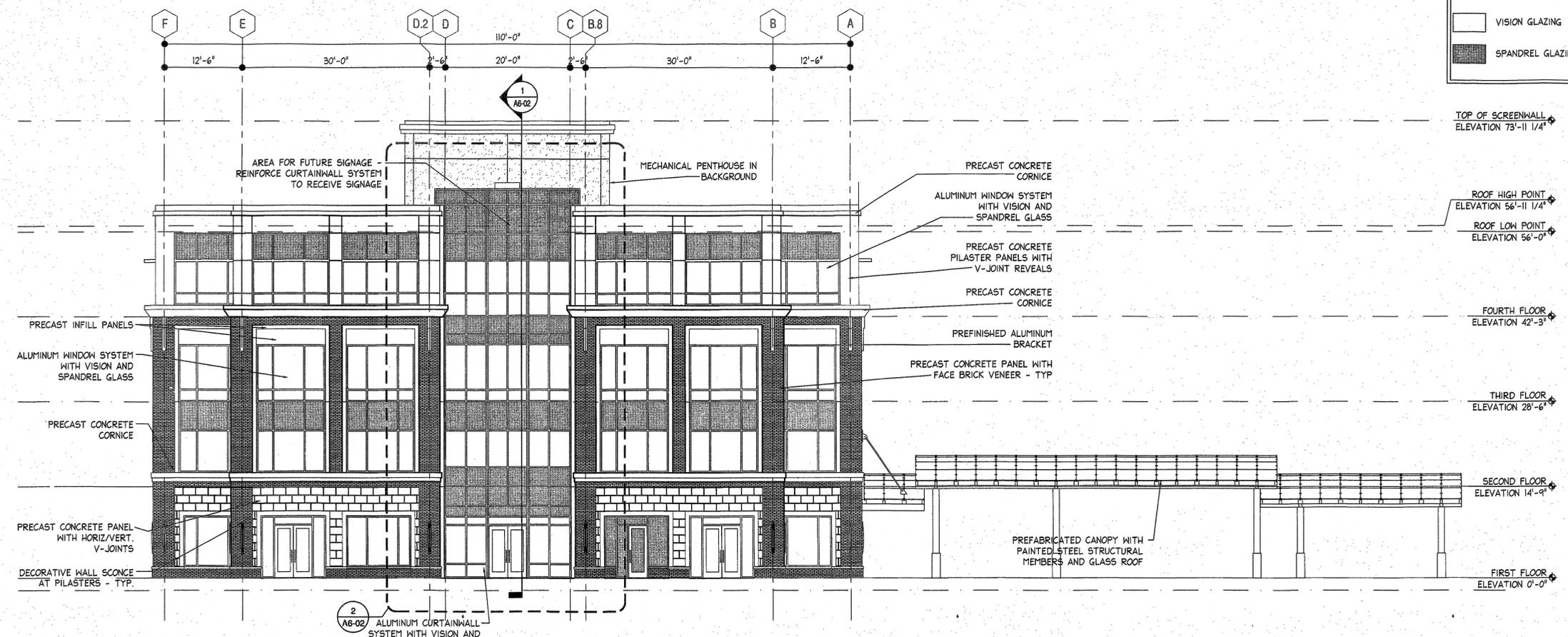


WADE PARK IV OFFICE BLDG.
 5420 WADE PARK BOULEVARD
 RALEIGH, NORTH CAROLINA

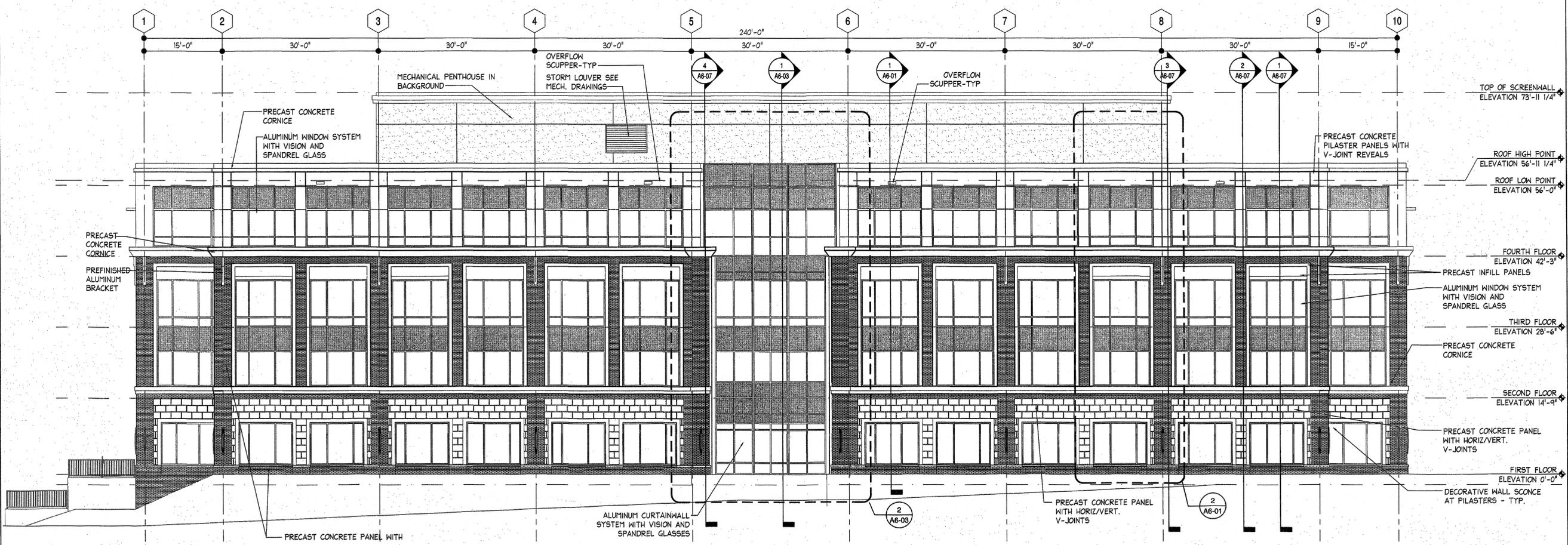
COMMISSION NO: 13-093.00
 DRAWING NO: **A5-01**

GLAZING LEGEND:

	VISION GLAZING
	SPANDREL GLAZING



2 EAST ELEVATION
 Scale: 1/8"=1'-0"



1 SOUTH ELEVATION
 Scale: 1/8"=1'-0"

L:\13-093 Wade IV Office Building\DRAWINGS\A5-01.dwg, 2/2/2016 4:20:30 PM, bshimons, 1:1

NOT ISSUED FOR CONSTRUCTION

WR02