

TACO BELL AT BATTLE BRIDGE SR-11-2016



0 300 600 Feet

Zoning: **NX-3 CU**
CAC: **Southeast**

Drainage Basin: **Neuse**
Acreage: **0.96**
Square Feet: **2,101**

Planner: **Michael Walters**
Phone: **(919) 996-2636**

Applicant: **Luihin Four Inc.**
Phone: **(919) 439-0878**





Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza, Suite 400
 Raleigh, NC 27601
 Phone 919-996-2495
 Fax 919-516-2685

SR-11-2016

Administrative Site Review Application For UDO Districts Only

When submitting plans, please check appropriate building type and include the Plan Checklist document.

Building Type		FOR OFFICE USE ONLY
<input checked="" type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number 462975 Assigned Project Coordinator Chip Assigned Team Leader M. Walters
Has your project previously been through the Due Diligence process? If yes, provide the transaction #		
GENERAL INFORMATION		
Development Name : Taco Bell		
Zoning District NX-3-CU		
Proposed Use : Restaurant with Drive-Through		
Property Address(es) : 6300 Battle Bridge Road		
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. Recorded Deed 1731483738	P.I.N. Recorded Deed	P.I.N. Recorded Deed
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Banks <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Industrial Building <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> Office <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Single Family <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Townhouse <input type="checkbox"/> Cottage Court <input checked="" type="checkbox"/> Other: If other, please describe: Restaurant with drive-through		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. Construction of restaurant with drive-through and associated parking lot.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE N/A	
CLIENT/DEVELOPER/ OWNER	Company Luihn Four, Inc.	Name (s) Mike Palmer
	Address 2950 Gateway Centre Blvd., Morrisville, NC 27560	
	Phone 919-439-0878	Email mike.palmer@luihnfood.com
CONSULTANT (Contact Person for Plans)	Company Commercial Site Design	Name (s) Chris Clayton
	Address 8312 Creedmoor Road	
	Phone 919-848-6121	Email clayton@csitedesign.com

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information		Building Information	
Zoning District(s) : NX-3-CU		Proposed building use(s) : Restaurant with drive-through	
If more than one district, provide the acreage of each N/A		Existing Building(s) sq. ft. gross : 0 sf	
Overlay District : N/A		Proposed Building(s) sq. ft. gross : 2,101 sf	
Total Site Acres 0.96 Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Total sq. ft. gross (existing & proposed) : 2,101 sf	
Off street parking Required 14 Provided 44		Proposed height of building(s) 18'-10" Stories 1	
COA (Certificate of Appropriateness) case #		FAR (floor area ratio percentage) 0.05	
BOA (Board of Adjustment) case # A-		Building Lot Coverage percentage 0.05 (site plans only)	
CUD (Conditional Use District) case # Z- 14-04		Height of 1 st Floor : 18'-10"	
Stormwater Information			
Existing Impervious Surface acres/square feet		Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Proposed Impervious Surface acres/square feet		If Yes, please provide	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Alluvial Soils Flood Study FEMA Map Panel #	

FOR RESIDENTIAL DEVELOPMENTS

1. Total # Of Apartment, Condominium or Residential Units	7. Open Space (only) or Amenity
2. Total # Of Congregate Care Or Life Care Dwelling Units	8. Is your project a cluster unit development? <input type="checkbox"/> Yes <input type="checkbox"/> No
3. Total Number of Hotel Units	
4. Overall Total # Of Dwelling Units (1-6 Above)	
5. Bedroom Units 1br 2br 3br 4br or more	
6. Infill Development 2.2.7	

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Chris S. Clayton - Commercial Site Design, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read and acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed *Michael Palmer* Date 1.29.16

Signed *Michael Palmer - Director of Facilities* Date

Lohn Food Systems / Lohn Food, Inc.

TO BE COMPLETED BY APPLICANT

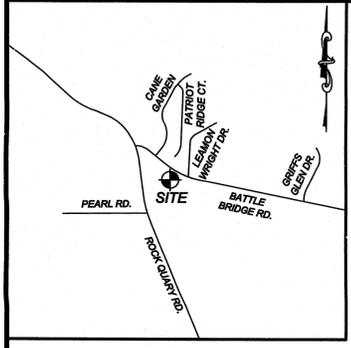
TO BE COMPLETED BY CITY STAFF

General Requirements	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. Site Review completed and signed by the property owner	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Client must complete and print page 1 and 2 of the Site Review to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
4. I have referenced the Site Review and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				

a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>				
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	✓		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading and Stormwater Plan; Approach to Stormwater	<input checked="" type="checkbox"/>		✓		
e) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Tree Conservation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
g) Proposed Landscaping Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
h) Building elevations that show maximum height of buildings to be removed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
i) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals – include all revision dates</u>	<input checked="" type="checkbox"/>		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
12. Preliminary stormwater quantity and quality summary and calculations package	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input type="checkbox"/>	<input checked="" type="checkbox"/>			

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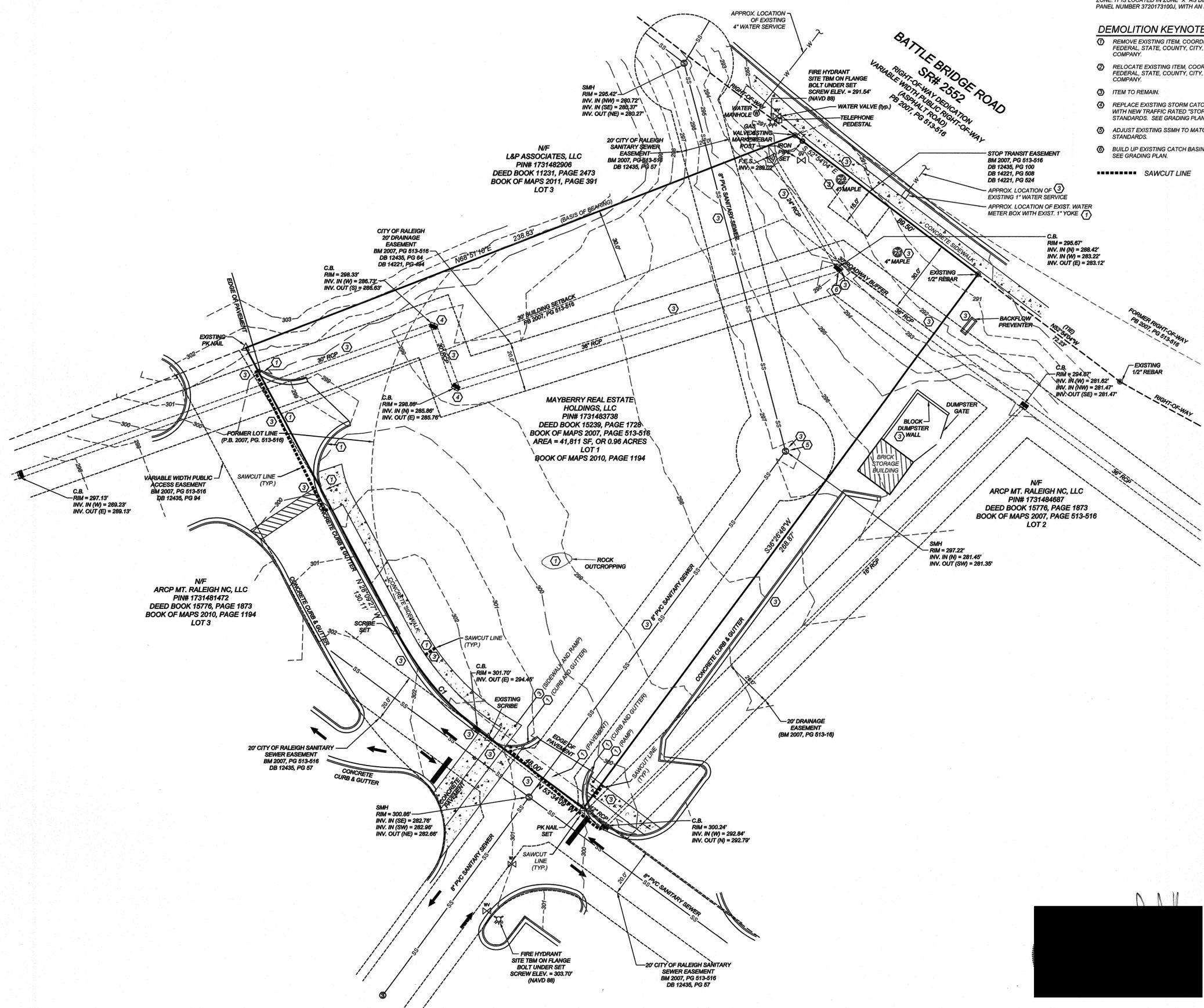
Per Kim Bauldry elevations will be submitted in next review. due to typo on question (H)



VICINITY MAP
NTS

FLOOD INFORMATION
SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720173100J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

- DEMOLITION KEYNOTES:**
- REMOVE EXISTING ITEM, COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
 - RELOCATE EXISTING ITEM, COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
 - ITEM TO REMAIN.
 - REPLACE EXISTING STORM CATCH BASIN WITH DRAINAGE MANHOLE WITH NEW TRAFFIC RATED "STORM" MANHOLE COVER PER CITY STANDARDS. SEE GRADING PLAN.
 - ADJUST EXISTING SSMH TO MATCH FINISHED GRADE PER CITY STANDARDS.
 - BUILD UP EXISTING CATCH BASIN TO MATCH FINISHED GRADE. SEE GRADING PLAN.
- SAWCUT LINE



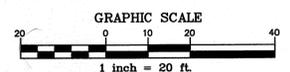
- LEGEND**
- EXISTING IRON PIPE
 - IRON PIPE SET
 - BORE HOLE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - TELEPHONE PEDESTAL
 - TELEPHONE MANHOLE
 - ELECTRIC BOX
 - LIGHT POLE
 - POWER POLE
 - CURB INLET
 - STORM DRAINAGE MANHOLE
 - YARD INLET
 - STORM DRAIN
 - OVERHEAD UTILITIES
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE
 - WATER LINE
 - SANITARY SEWER LINE
 - GAS LINE
 - FENCE LINE

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	57.65'	130.00'	29.31'	57.18'	N40°51'45"W	25°24'33"

LINE TABLE

LINE	BEARING	LENGTH
L1	S 51°58'04"E	3.83'



REVISIONS

NO.	DATE	DESCRIPTION	BY

COMMERCIAL SITE DESIGN

892 CREECHCROK ROAD
RALEIGH, NORTH CAROLINA 27683

(919) 848-0121, FAX: (919) 848-3741
WWW.CSDESIGN.COM

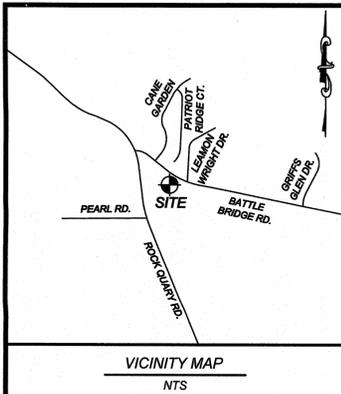
CLIENT/OWNER:
LUMH FOOD SYSTEMS - BOULEVARD
MORRISVILLE, NORTH CAROLINA 27660
PHONE: (819) 865-0658
FAX: (819) 865-2661

TACO BELL
6300 BATTLE BRIDGE ROAD
RALEIGH, NORTH CAROLINA

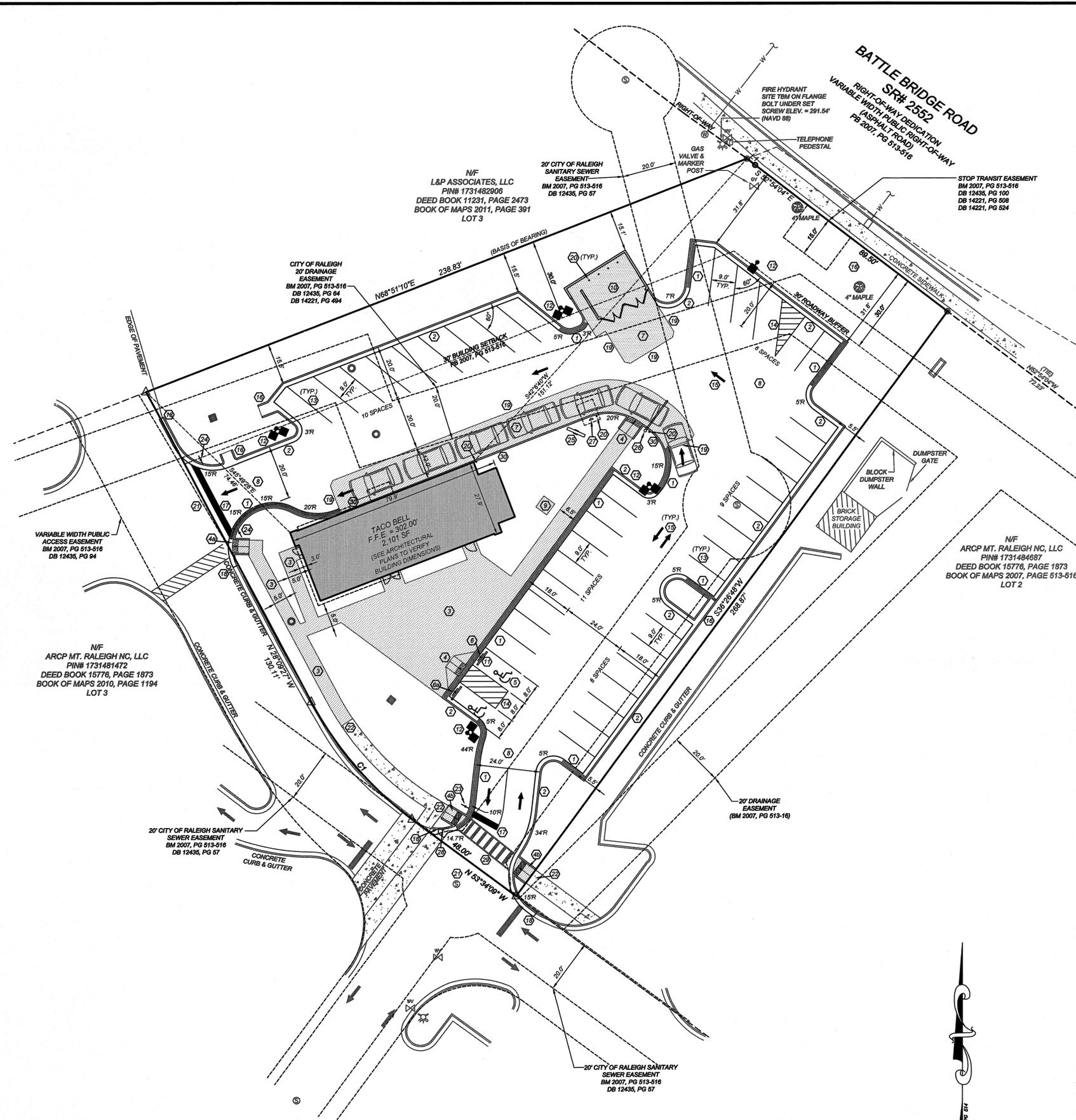
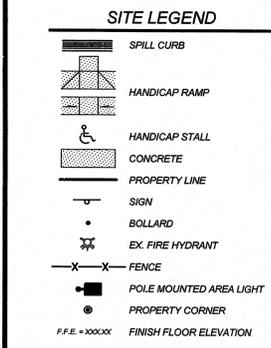
EXISTING CONDITIONS AND DEMOLITION PLAN

PROJECT NO: LUH-1507
FILENAME: LUH1507-EX
DRAWN BY: JR
SCALE: 1" = 20'
DATE: 01-05-16
SHEET NO: **C-1**

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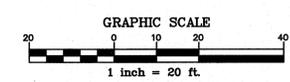


- SITE KEYNOTES:**
- CONSTRUCT 2.0' CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
 - CONSTRUCT 2.0' CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
 - CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET (2% MAXIMUM CROSS-SLOPE, 5% MAXIMUM LONGITUDINAL SLOPE)
 - CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
 - TYPE N-2 HANDICAP RAMP PER CITY OF RALEIGH STANDARD DETAIL T-20.01.2
 - TYPE N-1 HANDICAP RAMP PER CITY OF RALEIGH STANDARD DETAIL T-20.01.2
 - HANDICAP PARKING STALL
 - INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
 - INSTALL "VAN ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL SHEET
 - CONCRETE PAVEMENT PER DETAIL SHEET
 - ASPHALT PAVEMENT PER DETAIL SHEET
 - TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECS. (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
 - CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES. SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
 - CONCRETE WHEEL STOP PER DETAIL SHEET
 - POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
 - PAINT 4" WIDE STRIPE, WHITE
 - PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
 - PAINT TRAFFIC ARROWS PER DETAIL SHEET
 - CONCRETE FLUME PER DETAIL SHEET
 - PAINT 24" STOP BAR PER MUTCD AND DOT STANDARDS
 - MATCH EXISTING CURB & GUTTER
 - ASPHALT/CONCRETE TRANSITION PER DETAIL
 - INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
 - MATCH EXISTING ASPHALT PAVEMENT
 - MATCH EXISTING CONCRETE SIDEWALK
 - INSTALL "STOP" SIGN PER MUTCD AND DOT STANDARDS
 - INSTALL "STOP" SIGN AND "DO NOT ENTER" SIGN PER MUTCD AND DOT STANDARDS
 - MENU BOARD, CONTRACTOR SHALL COORDINATE WITH OWNER
 - CLEARANCE BAR, CONTRACTOR SHALL COORDINATE WITH OWNER
 - SPEAKER AND CANOPY, CONTRACTOR SHALL COORDINATE WITH OWNER
 - NOSE DOWN CURB PER DETAIL SHEET
 - PAINT CROSSWALK PER DETAIL SHEET (2% MAXIMUM CROSS-SLOPE, 5% MAXIMUM LONGITUDINAL SLOPE)
 - INSTALL 6" CONCRETE HEADER CURB PER DETAIL SHEET



CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	57.65'	130.00'	29.31'	57.18'	N40°51'45"W	25°24'33"

LINE	BEARING	LENGTH
L1	S 51°58'04" E	3.63'



- GENERAL NOTES:**
- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121 FAX: (919) 848-3741
 - THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
 - ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
 - PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
 - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
 - CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
 - ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
 - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
 - DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
 - THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
 - THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
 - GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION, COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE UNLESS NOTED DIFFERENT ON PLAN.
 - FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
 - CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
 - ALL RADII DIMENSIONS ARE TO FACE OF CURB.
 - ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
 - ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
 - ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDING AND MULCHED WITHIN SEVEN (7) DAYS.
 - THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 800-832-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
 - ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
 - COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 90% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
 - THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
 - BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
 - ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
 - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
 - ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
 - ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
 - ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
 - ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
 - IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
 - CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

NO.	DATE	DESCRIPTION

COMMERCIAL SITE DESIGN
 (919) 848-6121 FAX: (919) 848-3741
 WWW.CSDESIGN.COM

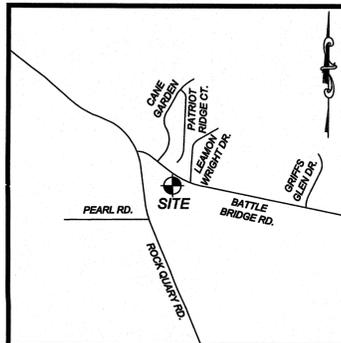
CLIENT/OWNER:
 LUHH FOOD SYSTEMS
 2980 GATEWAY CENTRE BOULEVARD
 MORRISVILLE, NORTH CAROLINA 27560
 PHONE: (919) 894-6688
 FAX: (919) 894-8887

TACO BELL
 6300 BATTLE BRIDGE ROAD
 RALEIGH, NORTH CAROLINA

SITE PLAN

PROJECT NO: LUH-1507
 FILENAME: LUH1507-SP
 DRAWN BY: JR
 SCALE: 1" = 20'
 DATE: 01-05-16
 SHEET NO: C-2

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LANDSCAPE CALCULATIONS:

STREET PROTECTIVE YARD - BATTLE BRIDGE ROAD:

REQUIRED (TYPE C3):
30 SHRUBS PER 100 LF = 90 / 100 x 30 = 27 SHRUBS

PROVIDED:
2 EXISTING MAPLES
27 CARISSA HOLLY

PARKING LOT:

TOTAL PERIMETER LENGTH ABUTTING PARKING AREAS / DRIVE AISLES = 380 LF

PERIMETER PLANTINGS REQUIRED:
30 SHRUBS PER 100 LF = 380 LF / 100 x 30 = 114 SHRUBS

PROVIDED:
67 CARISSA HOLLY
47 HELLERI HOLLY

VEHICULAR SURFACE AREA: 20,879 SF

REQUIRED TREES:
1 SHADE TREE PER 2,000 SF = 20,879 / 2,000 = 11 TREES

PROVIDED:
4 RED MAPLES
7 WILLOW OAKS

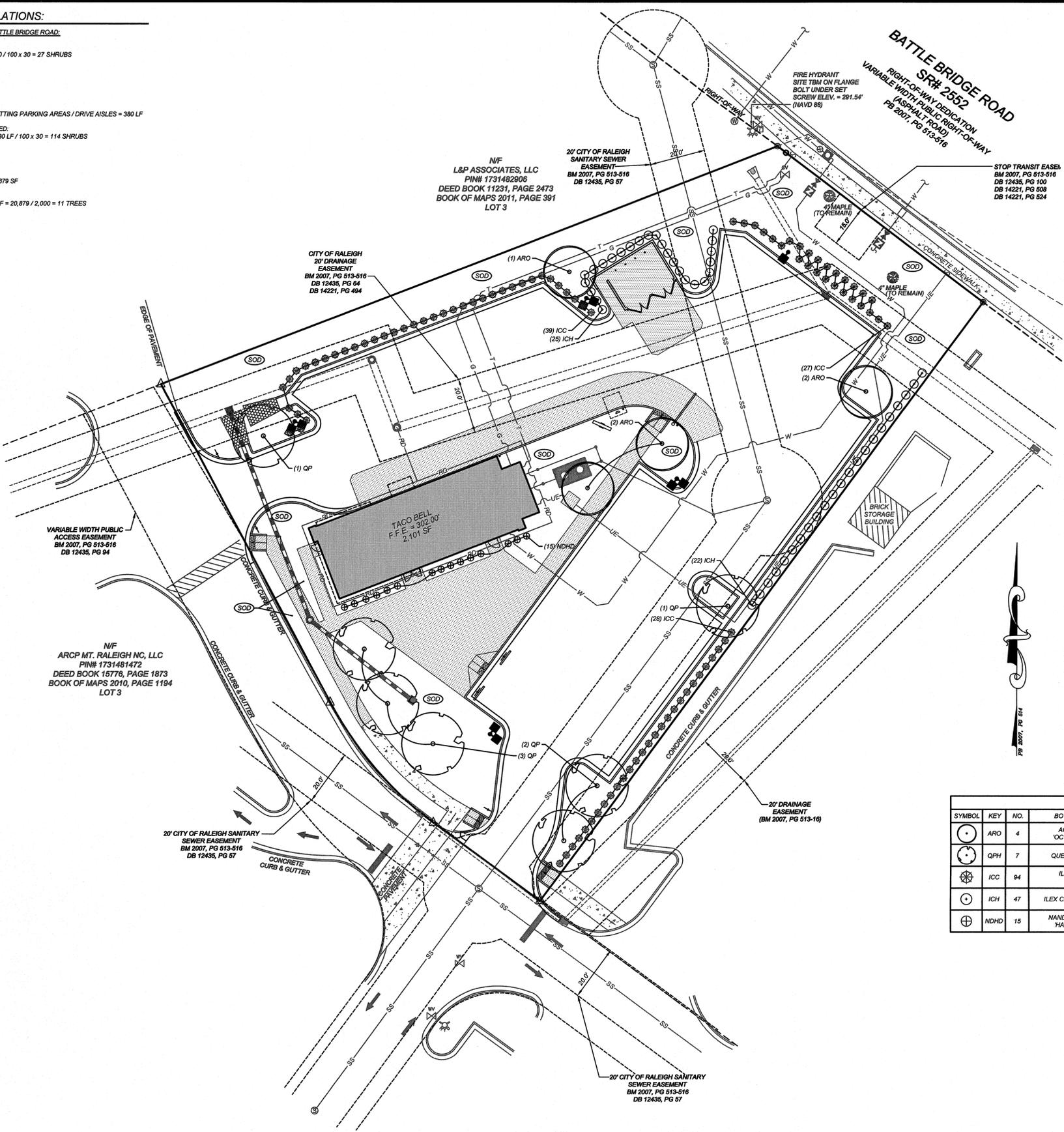
VICINITY MAP
NTS

TURF NOTES:

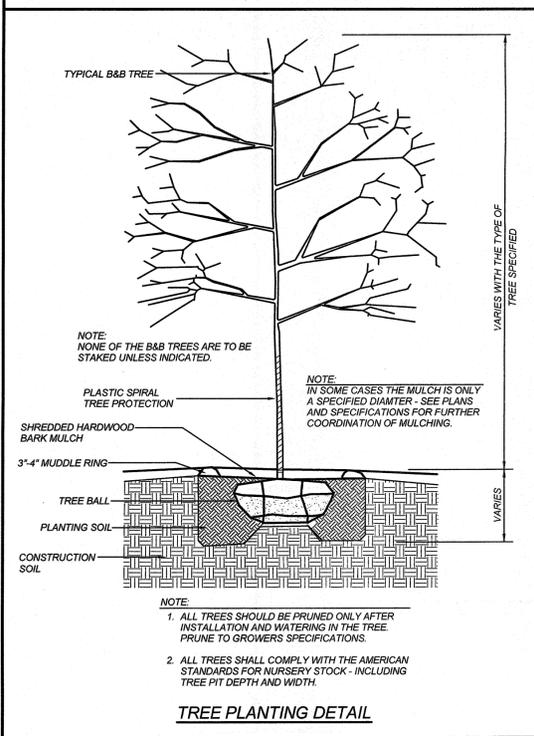
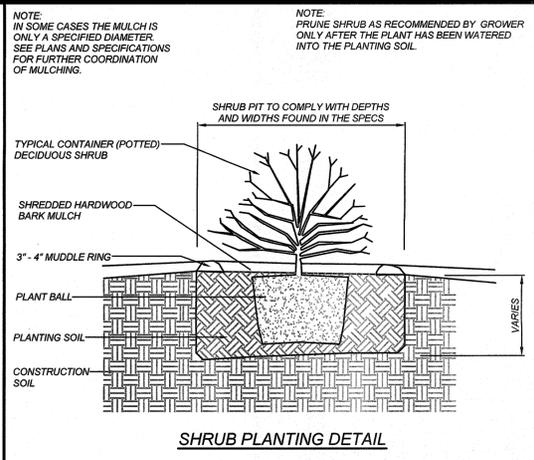
- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
 - RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
 - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
 - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
 - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
 - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
 - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
 - INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
 - CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- *APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER - 1,000 LBS/ACRE - 10-10-10
SUPERPHOSPHATE - 500 LBS/ACRE 20% ANALYSIS
MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW
ANCHOR - ASPHALT EMULSION @ 300 GALS/ACRE
- SOD PREPARATION:
FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-5 ABOVE, IMMEDIATELY WATER SOD UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED.
 - ONCE AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL THE GRASS REACHES A HEIGHT OF 4 INCHES TALL.
 - AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AND TURN OVER THE LAWN MAINTENANCE TO THE OWNER.
 - AN ACCEPTABLE STAND OF GRASS SHALL BE 92% COVERAGE OR BETTER.

LANDSCAPE NOTES:

- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED, ALL STRAPPING AND THE TOP 2" OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
- ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH "REBEL" HYBRID TALL FESCUE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
- MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODDED, WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF 3"-4".
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL, PRIOR TO INSTALLATION. SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
- THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.

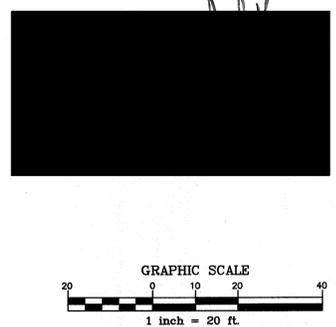


CURVE TABLE						LINE TABLE		
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	LINE	BEARING	LENGTH
C1	57.65'	130.00'	29.31'	57.18'	N40°51'45"W	L1	S 51°58'04"E	3.83'



PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)

SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
ARO	4		ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	3"	10' MIN	B & B	
QPH	7		QUERCUS PHELLOS	WILLOW OAK	3"	10' MIN	B & B	
ICC	94		ILEX CORNUTA "CARISSA"	CARISSA HOLLY	-	18" MIN	CONT.	STREET SHRUB / PARKING LOT SHRUB
ICH	47		ILEX CRENATA "HELLERI"	HELLERI HOLLY	-	18" MIN	CONT.	PARKING LOT SHRUB
NDHD	15		NANDINA DOMESTICA "HARBOR DWARF"	HARBOR DWARF MANDINA	-	18" MIN	CONT.	BUILDING SHRUB



NO.	DATE	DESCRIPTION	BY

COMMERCIAL SITE DESIGN

972 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27603

(919) 848-0121 FAX: (919) 848-3741
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CLIENT OWNER:
LUHN FOOD SYSTEMS
2650 GATEWAY CENTRE BOULEVARD
MORRISVILLE NORTH CAROLINA 27560
PHONE: (919) 848-0686
FAX: (919) 848-2867

TACO BELL
6300 BATTLE BRIDGE ROAD
RALEIGH, NORTH CAROLINA

LANDSCAPE PLAN

PROJECT NO: LUH-1507
FILENAME: LUH1507-LS
DRAWN BY: JR
SCALE: 1" = 20'
DATE: 01-05-16
SHEET NO: C-10