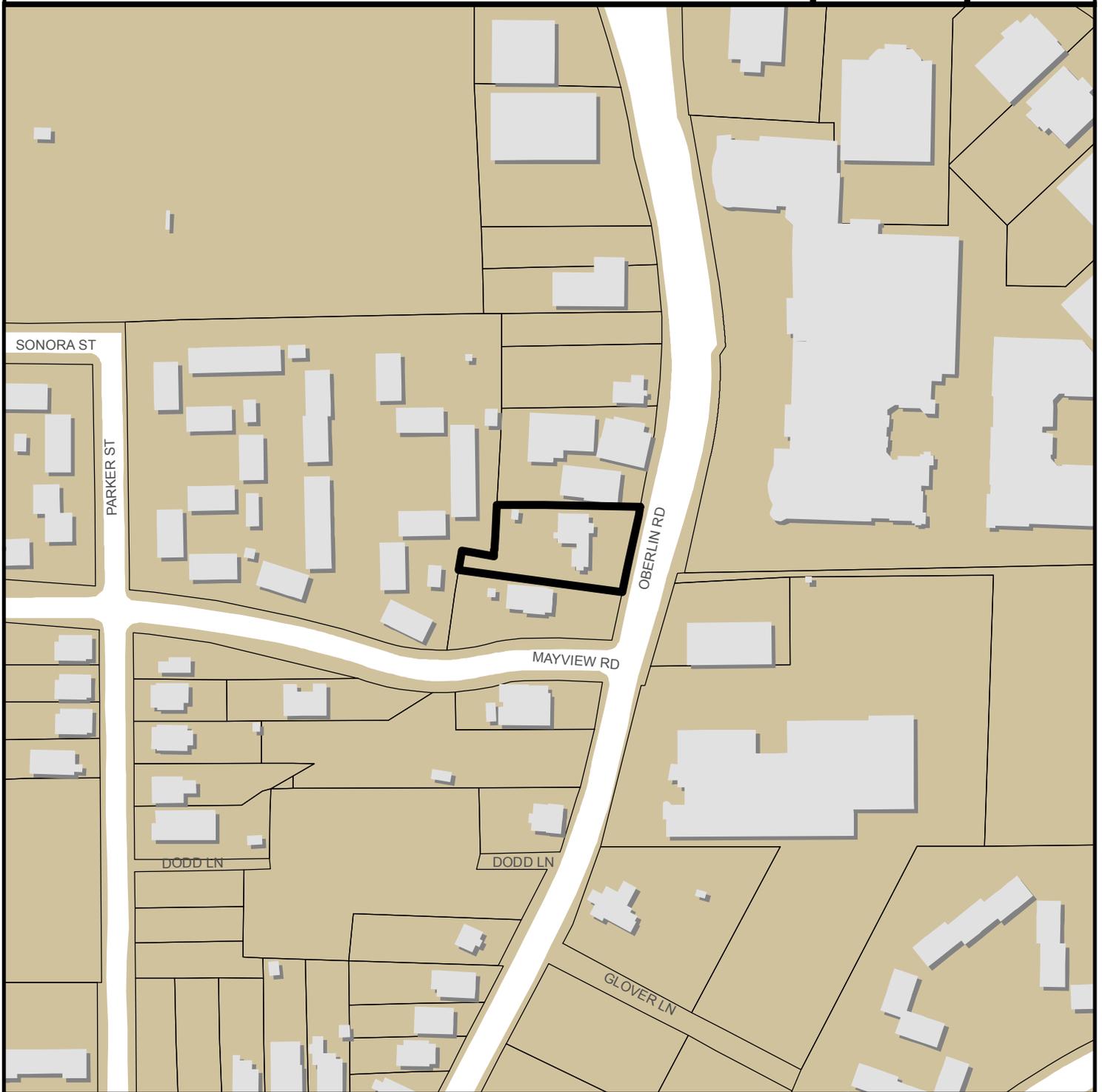


OBERLIN ROAD OFFICE BUILDING SR-67-2016



0 245 490 Feet

Zoning: **OX-3-PL-CU, NCOD**
CAC: **Wade**

Drainage Basin: **Beaver- Southwest**
Acreage: **0.36**
Sq. Ft./units: **2,469/1**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**

Applicant: **JR Huntley Homes**
Phone: **(919) 782-2939**



Administrative Site Review Application (for UDO Districts only)



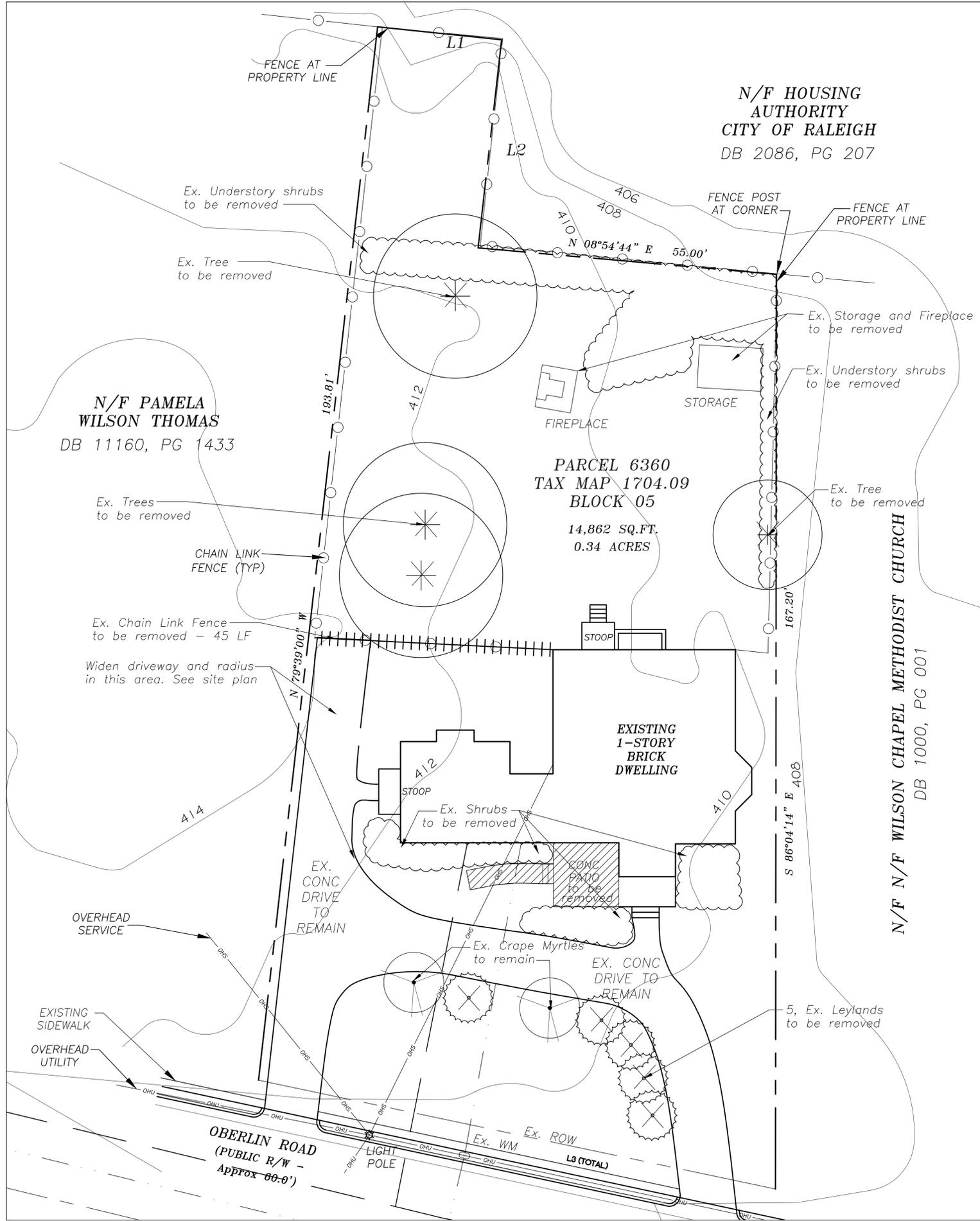
**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | eFax 919-996-1831
Litchford Satellite Office | 8320 -- 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number 485425 Assigned Project Coordinator SHANKLE Assigned Team Leader RAMETTA
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # No		
GENERAL INFORMATION SR-67-16		
Development Name Oberlin Road Office Building		
Zoning District OX-3-PL-CU	Overlay District (if applicable) NCOD & SRPOD	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use office building		
Property Address(es) 1019 Oberlin Road		Major Street Locator: Oberlin Road & Wade Ave
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. 1704-05-6360	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input checked="" type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: If other, please describe:		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Change of use from residential to office. Addition of 8 parking spaces, sidewalk, street trees, landscape, ROW dedication, and transit easement.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE None required	
CLIENT/DEVELOPER/OWNER	Company J. R. Huntley Homes, LLC	Name (s) Justin Huntley
	Address 514 Daniels Street # 311	
	Phone 919.782.2939	Email justin@jrhuntleyhomes.com
CONSULTANT (Contact Person for Plans)	Company Coaly Design, PC	Name (s) Kimberly Wicker
	Address 537 E. Martin Street Raleigh 27601	
	Phone 919-539-0012	Email kimberly@coalydesign.com

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) OX-3-PL-CU	Proposed building use(s) Office
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 2,469
Overlay District NCOD & SRPOD	Proposed Building(s) sq. ft. gross N/A
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) N/A
Off street parking: Required 6 Provided 10	Proposed height of building(s) 18'9"
COA (Certificate of Appropriateness) case #	# of stories 1
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st Floor 8'4"
CUD (Conditional Use District) case # Z- 4-16	
Stormwater Information	
Existing Impervious Surface 5,378.5 SF acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 4,619.3 SF acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate <u>Kimberly J Wicker, RLA</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed <u></u>	Date <u>8/23/16</u>
Printed Name <u>Justin R Huntley</u>	
Signed _____	Date _____
Printed Name _____	

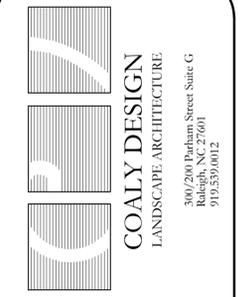
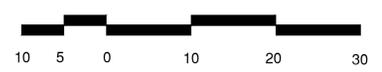


Existing Conditions Notes:

1. Contractor shall be responsible to immediately fix any active utilities damaged during construction at contractor's expense. The owner will pay to move or repair any utilities encountered during construction which are not identified on construction documents or site survey.
2. All material generated by the demolition will be hauled from the site and disposed of per local ordinances.
3. Saw-cut concrete and asphalt pavement, sidewalk or curb and gutter before excavation where construction plans show tie-ins.
4. Oberlin Road shall remain open and unobstructed to traffic at all times.
5. Contractor is responsible for traffic control during construction, as needed.
6. Repair or replace any adjacent concrete curbing and/or sidewalk damaged as part of demolition process.
7. Survey by Turning Point Surveying, PLLC.
8. Existing contours obtained from Wake County GIS data.

 Ex. Pavement, shrubs, and concrete to be removed

**EXISTING CONDITIONS /
DEMOLITION PLAN**

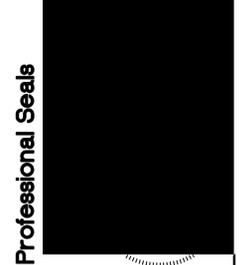


**OBERLIN ROAD
OFFICE BUILDING**

**1019 OBERLIN ROAD
RALEIGH, NC**

Ex. Conditions

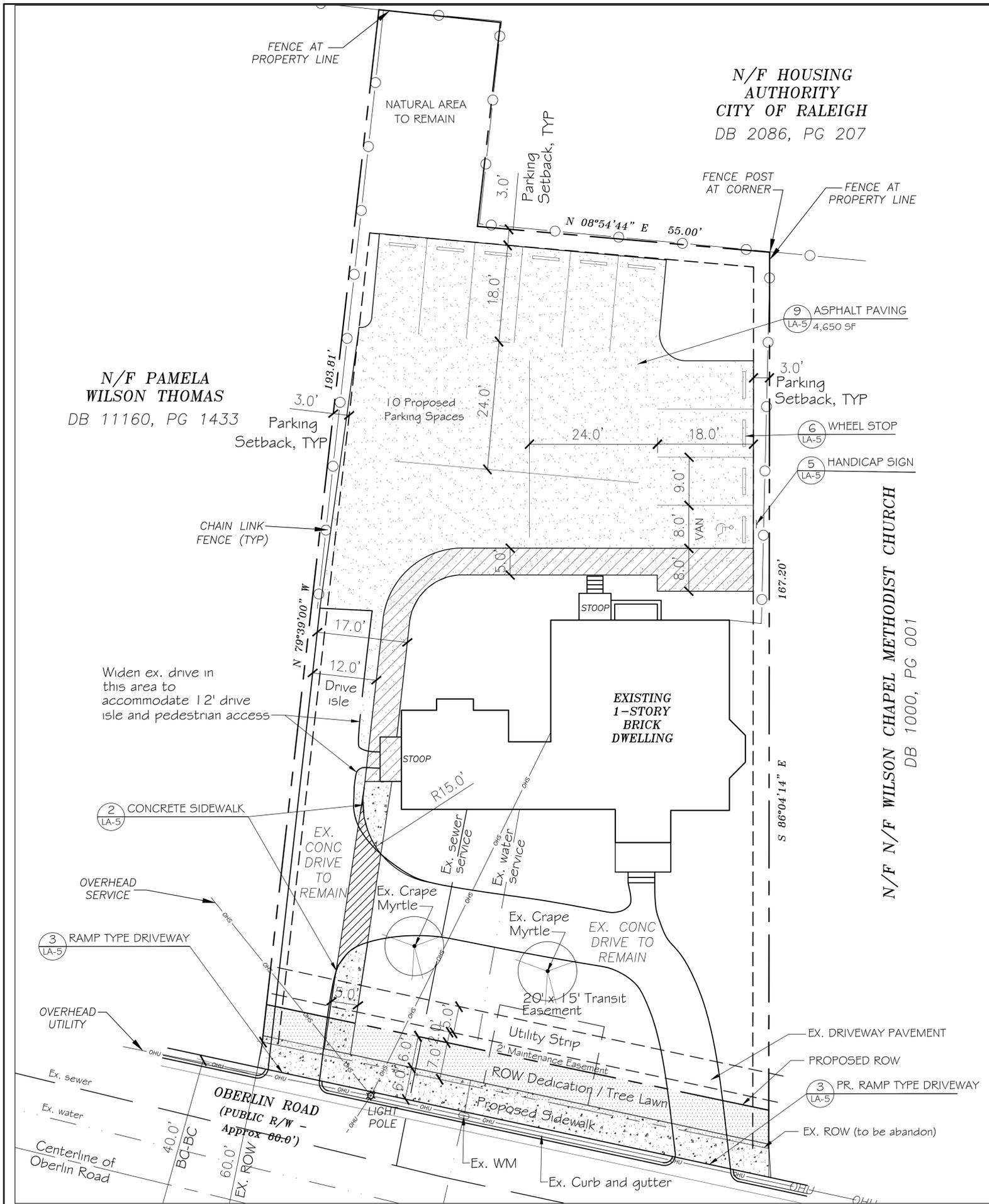
Consultants



Date Issued:	8.17.16
Scale:	1"=10'
Drawn by:	RBS
Checked by:	KJW

Revisions	
No.	Description

LA-1

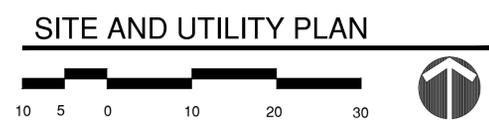
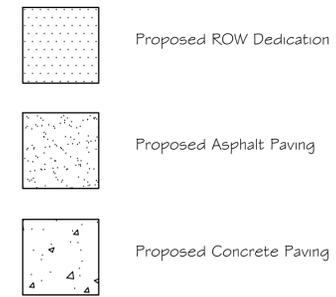


Development name: Oberlin Road Office
 Street address: 1019 Oberlin Road
 Wake County Property Identification number: 1704-05-6360
 Zoning District: OX-3-PL-CU, NCOD and SRPOD
 Total Site Acres: .34 or 14,810.4 SF
 Existing Building Use: Vacant
 Proposed Building Use: Office
 Proposed Off-street parking:
 Required: 1/400 sf for office use; 2,469 SF of office
 Total Parking Spaces Required: 6 (including 1 handicap (van accessible))
 Total Parking Spaces Provided: 10 (including 1 handicap (van accessible))

Owner/Developer:
 Name(s): JR Huntley Homes, LLC
 Address: 4002 Barrett Drive, #204
 Raleigh, NC 27609
 Person to contact regarding staff comments or questions about the plans:
 Name: Kimberly Wicker, RLA Coaly Design
 Address: 537 E. Martin Street, Raleigh, NC 27601
 Telephone: (919) 539-0012
 E-mail address: kimberly@coalydesign.com

Site Plan Notes

- The current use of the parcel is vacant. The parcel was approved for rezoning in May of this year. Current zoning is OX-3-PL-CU, NCOD, and SRPOD. The proposed use is office.
- All dimensions are to edge of pavement, property line, or parking striping, unless otherwise noted.
- All details shall be constructed in strict compliance with these drawings and the City of Raleigh standards.
- No sight triangle obstruction or partial obstruction such as a wall, fence, foliage, berming, parked vehicles or sign, between the heights of twenty-four (24) inches and eight (8) feet above the curb line elevation, or the nearest traveled way if no curbing exists, shall be placed within a sight triangle of a public street, private street, or driveway contained either on the property or on an adjoining property.
- Please contact Landscape Architect with any field changes or deviations in plans prior to construction.
- All proposed asphalt/concrete to meet existing flush.
- Ramp type driveway detail proposed for the two existing driveway access points along Oberlin Road. Sidewalk to be installed with the installation of the drive for the length of the property per dimensions on site plan.
- Proposed ROW recorded map will be provided.
- There is no parking lot lighting proposed.
- New curb and gutter to match existing on Oberlin Road.
- Per UDO Sec. 9.2.2.A.2 this project is exempt from Active Stormwater Control Measures.
 Existing impervious surface: 5,378.5 SF
 Proposed impervious surface: 4,619.3 SF
 Total impervious surface post development improvements: 9,800.6 SF



COALY DESIGN
LANDSCAPE ARCHITECTURE
300/200 Parham Street Suite G
Raleigh, NC 27601
919.539.0012

OBERLIN ROAD OFFICE BUILDING

1019 OBERLIN ROAD
RALEIGH, NC

SITE PLAN

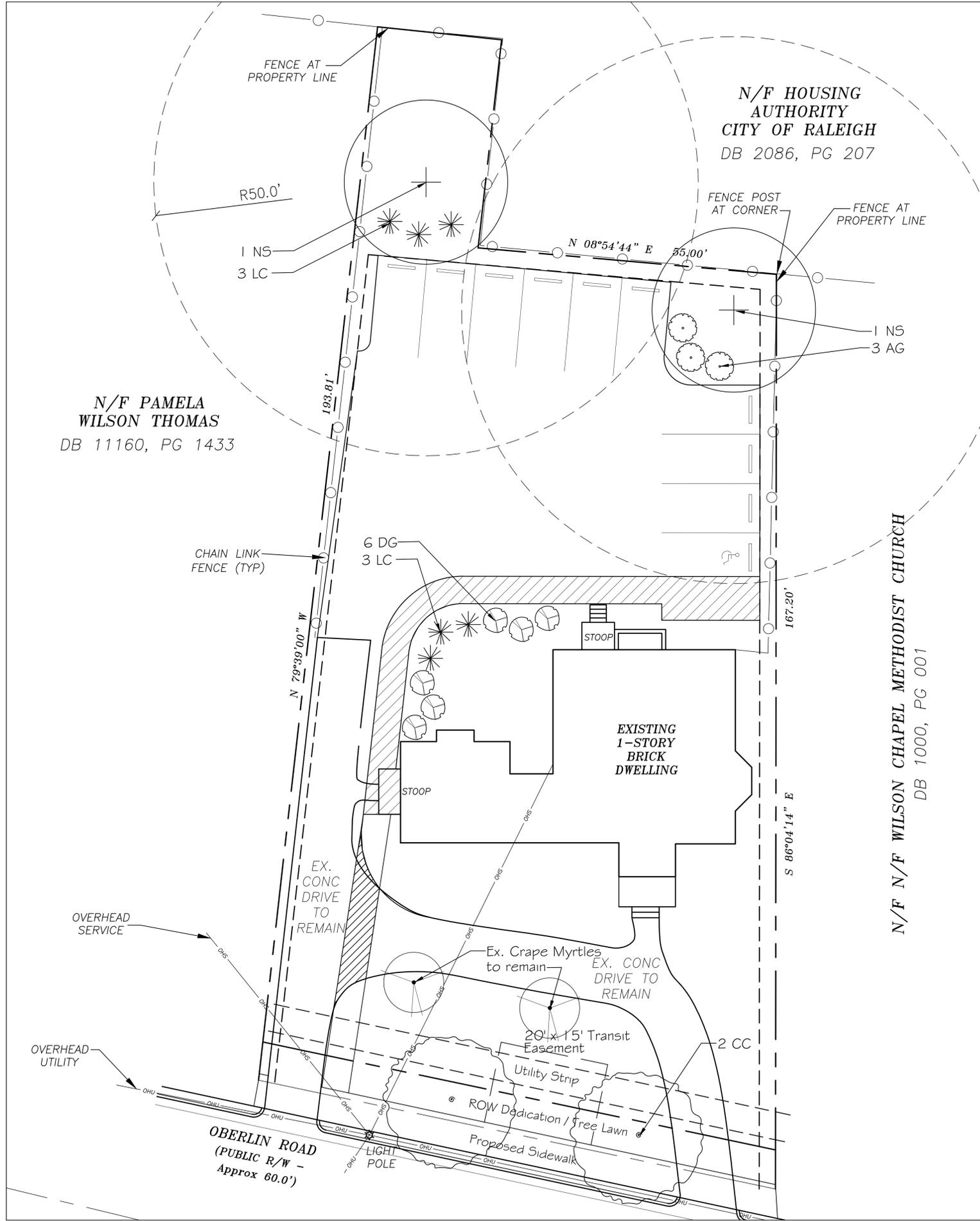
Consultants

Professional Seals

Date Issued:	8.17.16	Scale	1"=10'	By	RBS	Checked by:	KJW
No.	Description	Date					

Revisions

LA-2



City of Raleigh Planting Requirements:

- 1) VEHICLE SURFACE AREA:
 VSA=4,452 SF
 Required : At least 1 TREE / 2000 SF; 4,452 sf / 2000 = 2.2 trees
 1 shrub / 500 sf = 8.9 shrubs
 Provided : 2 trees and 9 shrubs
- 2) STREET TREES:
 Street trees have been provided in the 6' planting strip at 40' O.C.
 A tree impact permit has been submitted.

PLANT SCHEDULE

QTY	KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	SPACING
3	AG	ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / GLOSSY ABELIA	1 8" HT.	CONT.	4' O.C.
2	NS	NYSSA SYLVATICA / BLACK GUM	2.5' Cal. / 10' HT	B&B	As shown
2	CC	CERCIS CANADENSIS 'FOREST PANSY' / REDBUD	1.5' Cal. / 8' HT.	B&B	As shown
6	LC	LOROPETALUM CHINENSIS 'RUBY' / CHINESE FRINGE FLOWER	1 8" HT.	CONT.	4' O.C.
6	DG	DEUTZIA GRACILIS 'NIKKO' / SLENDER DEUTZIA	1 8" HT.	CONT.	4' O.C.

PLANTING NOTES:

- All plant materials to comply with American Standard for Nursery Stock ANSI.Z60.
- Plant locations to be approved in field prior to installation.
- Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
- Establish plant bed configurations. Landscape Architect to approve bed layout in field.
- Install plants and mulch beds with 4" of pinestraw.
- Areas disturbed by grading to be seeded and strawed.
- Landscape Contractor to maintain plant materials for a one year period following substantial completion per specifications
- Areas damaged from plant relocation or other activities of Landscape Contractor to be re-seeded and established at no additional cost to the owner.
- All plant material shown is minimum required by the City Code.
- Installation and maintenance of street trees: Section 6.18.1 and 6.18.2 of Street Design Manual.
- Tree Lawn - Minimum 6' wide tree lawn; Trees centered in area; No utilities or electrical conduits are permitted within the tree lawn (utilities may run below and through the subsurface root expansion infrastructure); 600 cubic feet of organic soil in the immediate area where the tree is to be placed
- No staking of trees is permitted.
- Water trees for a minimum of a 2-year period. After installation trees shall be thoroughly soaked and watered at least twice per week until establishment. Use a slow flow hose end device and water each tree at the base for several minutes. Commercially available water bags are acceptable but the root ball shall be soaked as well as filling the bag.
- Watering volumes should be based upon delivery of 1" of moisture / week to the tree if precipitation does not meet that amount during the active growing season defined as April 15th through November 1st.
11. A Tree Impact Permit has been submitted with this set of drawings.
12. The 2 existing Crape Myrtles to remain. Trim / limb Crape Myrtles to a clearance of 6'-8'.



**OBERLIN ROAD
OFFICE BUILDING**

1019 OBERLIN ROAD
RALEIGH, NC

PLANTING PLAN

Consultants

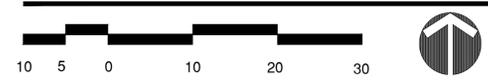
Professional Seals

Date Issued: 8.17.16
 Scale: 1"=10'
 Drawn by: RBS
 Checked by: KJW

Revisions

No.	Description	Date

LANDSCAPE PLAN



LA-3