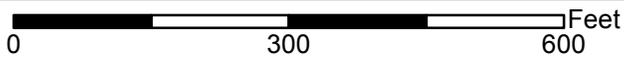
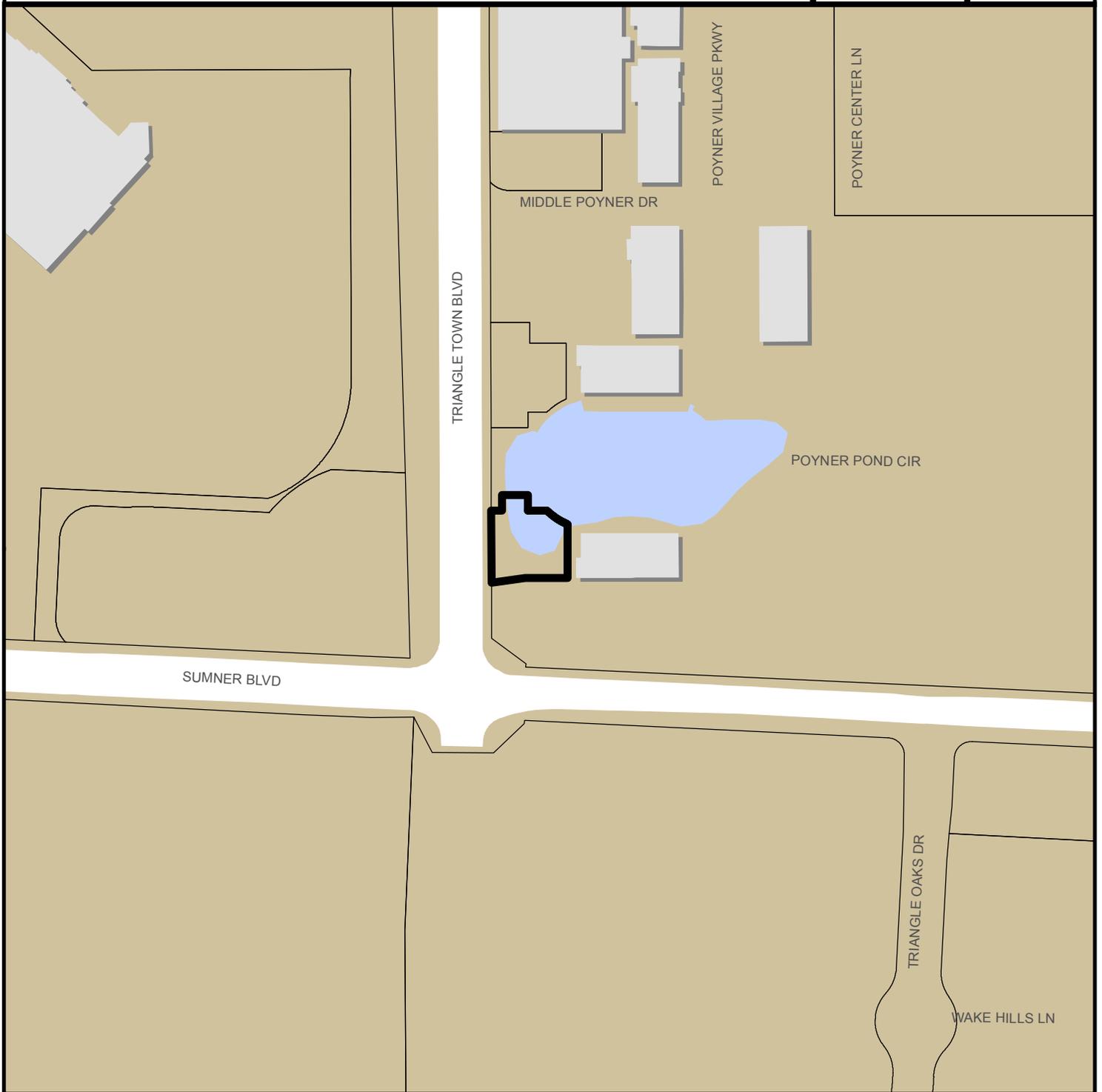


5821 RETAIL SR-72-2016



Zoning: **CX-4 CU**
CAC: **Northeast**
Drainage Basin: **Perry Creek**
Acreage: **0.27**
Sq. Ft.: **6,476**

Planner: **Michael Walters**
Phone: **(919) 996-2636**
Applicant: **Andy Padiak**
Phone: **(919) 361-5000**



SR-72-16

Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

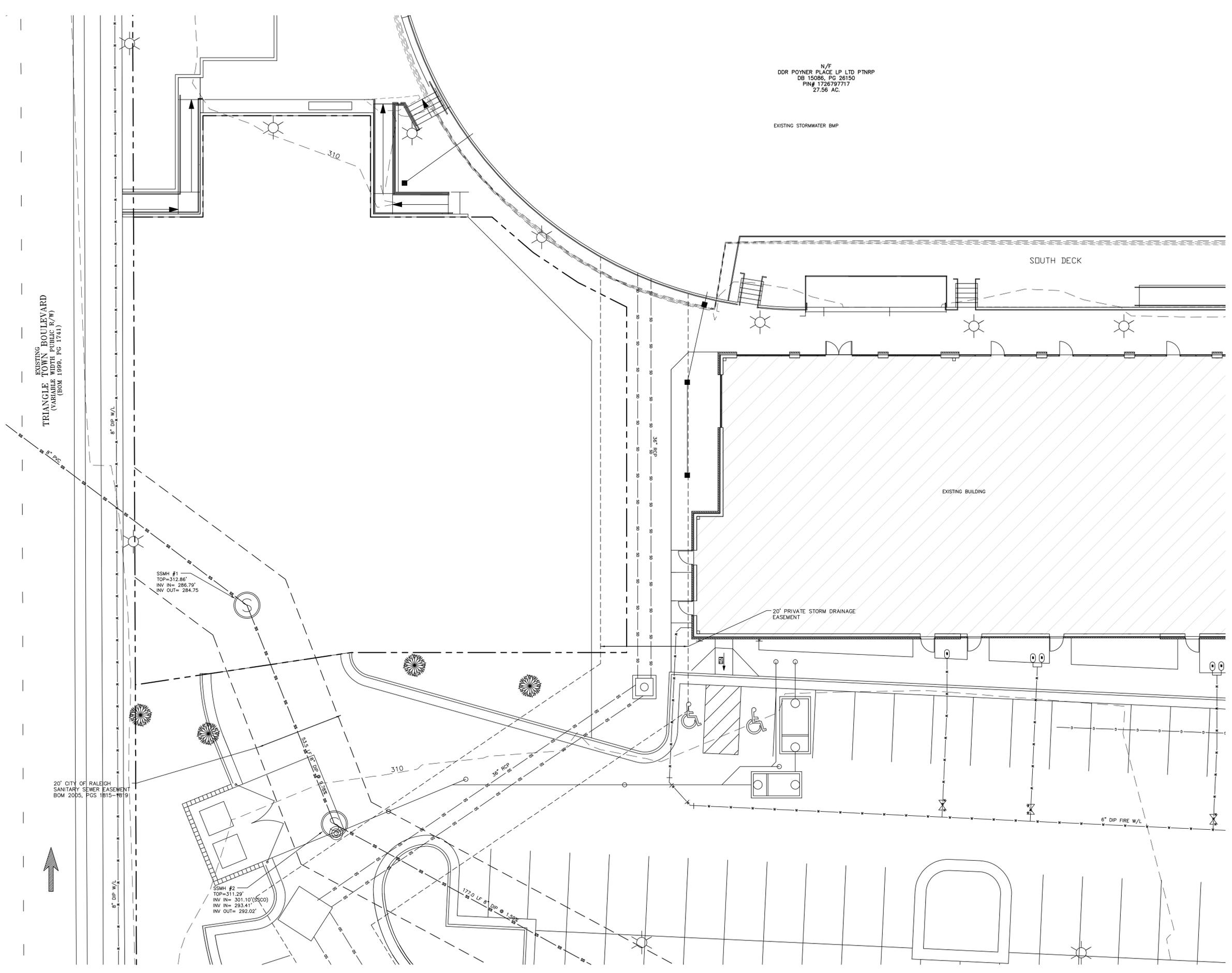
When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number <div style="font-size: 24pt; text-align: center;">487590</div> Assigned Project Coordinator Assigned Team Leader
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # Walter		
GENERAL INFORMATION		
Development Name 5821 Retail		
Zoning District CX-4-CU	Overlay District (if applicable) N/A	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use Retail		
Property Address(es) 5821 Poyner Village Pkwy		Major Street Locator: Triangle Town Blvd
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. 1726790653	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input checked="" type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: If other, please describe: _____		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Construction of a retail building on a vacant outparcel pad. Parking requirements are being met by the existing parking deck and parking lots.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE A design adjustment is required to allow the existing Triangle Town Blvd section to remain (5' s/w, street trees outside of r/w).	
CLIENT/DEVELOPER/OWNER	Company Argos LLC.	Name (s) Ketan Shah
	Address 10321 Sporting Club Drive	
	Phone 919-225-4417	Email kshah@pointclick.net Fax
CONSULTANT (Contact Person for Plans)	Company John R. McAdams Co.	Name (s) Andy Padiak
	Address 2905 Meridian Parkway Durham, NC 27713	
	Phone 919-475-5514	Email padiak@mcadamsco.com Fax

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh <i>1039</i>	<input checked="" type="checkbox"/>		✓		
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>		✓		
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>		✓		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>		✓		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>		✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover. <i>Less than 2 acres</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>			✓
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals – include all revision dates</u>	<input checked="" type="checkbox"/>		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓

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EXISTING TOWN BOULEVARD
(VARIABLE WIDTH PUBLIC R/W)
(BOM 1999, PG 1741)

N/F
DDR POYNER PLACE LP LTD P/TRP
DB 15086, PG 26150
PIN# 1726797717
27.56 AC.

EXISTING STORMWATER BMP

SOUTH DECK

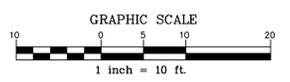
EXISTING BUILDING

20' PRIVATE STORM DRAINAGE
EASEMENT

SSMH #1
TOP=312.86'
INV IN= 286.79'
INV OUT= 284.75

SSMH #2
TOP=311.29'
INV IN= 301.10'(SSCO)
INV IN= 293.41'
INV OUT= 292.02'

20' CITY OF RALEIGH
SANITARY SEWER EASEMENT
BOM 2015, PGS 1815-1819



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. MCADAMS
COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
Phone: 919-487-4444
Fax: 919-487-4444
www.mcadamsco.com
(800) 733-5646



REVISIONS:

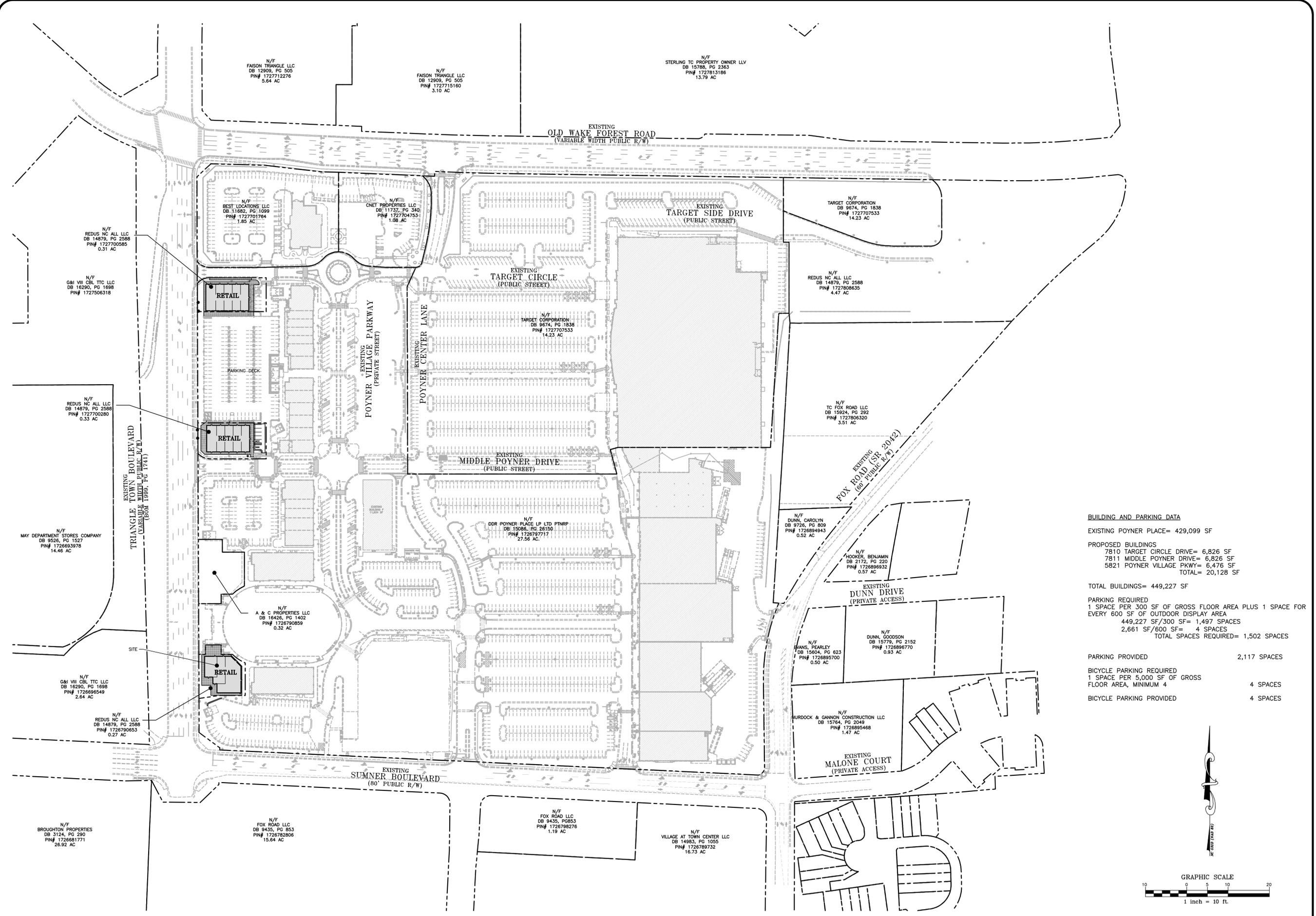
OWNER:
ARGOS LLC.
10321 SPORTING CLUB DRIVE
RALEIGH, NORTH CAROLINA
27617

5821 RETAIL ADMINISTRATIVE SITE PLAN RALEIGH, NORTH CAROLINA EXISTING CONDITIONS

PROJECT NO.:	SPEC-16962
FILENAME:	SPEC16962-XC1
CHECKED BY:	ARP
DRAWN BY:	JB
SCALE:	1"=10'
DATE:	09-09-16
SHEET NO.:	C-1



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BUILDING AND PARKING DATA

EXISTING POYNER PLACE= 429,099 SF

PROPOSED BUILDINGS

7810 TARGET CIRCLE DRIVE= 6,826 SF
 7811 MIDDLE POYNER DRIVE= 6,826 SF
 5821 POYNER VILLAGE PKWY= 6,476 SF
TOTAL= 20,128 SF

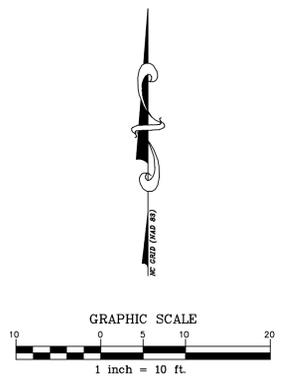
TOTAL BUILDINGS= 449,227 SF

PARKING REQUIRED
 1 SPACE PER 300 SF OF GROSS FLOOR AREA PLUS 1 SPACE FOR EVERY 600 SF OF OUTDOOR DISPLAY AREA
 449,227 SF/300 SF= 1,497 SPACES
 2,661 SF/600 SF= 4 SPACES
TOTAL SPACES REQUIRED= 1,502 SPACES

PARKING PROVIDED 2,117 SPACES

BICYCLE PARKING REQUIRED
 1 SPACE PER 5,000 SF OF GROSS FLOOR AREA, MINIMUM 4 4 SPACES

BICYCLE PARKING PROVIDED 4 SPACES



THE JOHN R. MCADAMS COMPANY, INC.
 2905 Meridian Parkway
 Durham, North Carolina 27713
 Phone: 919-487-8800
 Fax: 919-487-8801
 Website: www.mcadamsco.com
 (800) 733-5646

MCADAMS

REVISONS:

OWNER:
ARGOS LLC.
 10321 SPORTING CLUB DRIVE
 RALEIGH, NORTH CAROLINA
 27617

5821 RETAIL
ADMINISTRATIVE SITE PLAN
 RALEIGH, NORTH CAROLINA
OVERALL SITE PLAN

PROJECT NO. SPEC-16962
 FILENAME: SPEC16962-OAS
 CHECKED BY: ARP
 DRAWN BY: JB
 SCALE: 1"=100'
 DATE: 09-09-16
 SHEET NO. **C-3**

MCADAMS

ATTENTION CONTRACTORS

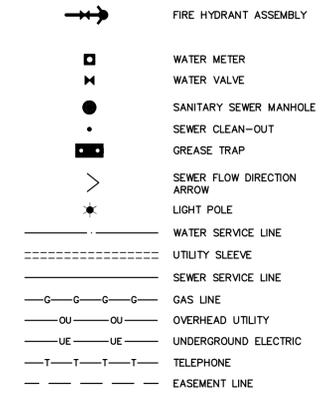
The Construction Contractor responsible for the extension of water, sewer, and/or reuse as approved in these plans, is responsible for contacting the Public Works Department at (919) 831-6810, and the Public Utilities Department at (919) 857-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.

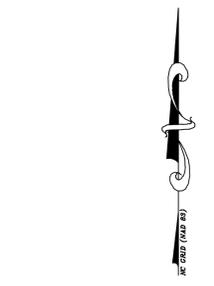
N/F
DDR POYNER PLACE LP LTD PTNRP
DB 15086, PG 26150
PIN# 1726797717
27.56 AC.

UTILITY LEGEND



RALEIGH STANDARD UTILITY NOTES:

- ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK, CURRENT EDITION (INCLUDING STANDARDS AND SPECIFICATIONS).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER AND ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED AND INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED AND INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER AND STORM SEWER FACILITIES UNLESS DIP IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MINIMUM VERTICAL SEPARATION AT ALL WATERMAIN AND RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MINIMUM VERTICAL SEPARATION AT ALL SANITARY SEWER AND RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS AND A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (REF: CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER AND SEWER FACILITIES WITH 18" MINIMUM VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW AND APPROVAL OF AN AMENDED PLAN AND OR PROFILE BY THE CORPUD PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER AND SEWER SERVICE TO EXISTING RESIDENCES AND BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CORPUD.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS AND SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL RE-USE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CORPUD. THIS INCLUDES ABANDONING TAP AT MAIN AND REMOVAL FROM R.O.W. OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL PROPERLY SIZED WATER SERVICES WITH METERS LOCATED AT R.O.W. WITHIN A 2'X2' (OR APPROPRIATE SIZED EASEMENT) IMMEDIATELY ADJACENT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW AND PRESSURE.
- INSTALL 4" PVC SEWER SERVICES AT 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT R.O.W. OR EASEMENT LINE AND SPACED EVERY 100 LF MAX.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWR, USACE AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND AND/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS AND SERVICE TAPS) WITHIN STATE R.O.W. PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR/OIL WATER SEPARATOR SIZING CALCULATIONS AND INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY 919.996.2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET ASSE STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT 919.996.5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



EXISTING BOULEVARD
TRIANGLE TOWN PUBLIC B/W/M
(VARIOUS PUBLIC B/W/M)
(GDA 1989, PG 1741)

N/F
REDUS NC ALL LLC
DB 14879, PG 2588
PIN# 1726790653
0.27 AC

THREE 3/4" WATER METERS AND THREE 3/4" COPPER WATER SERVICES (BACKFLOW PREVENTER IN BUILDING, SEE PLUMBING PLANS)

SSMH #1
TOP=312.86'
INV IN= 286.79'
INV OUT= 284.75'

4" SEWER SERVICE (SCH 40 PVC) COORDINATE WITH PLUMBING PLANS FOR LOCATION OF BUILDING CONNECTION POINT

2,000 GALLON GREASE TRAP

SSMH #2
TOP=311.29'
INV IN= 301.10'(SSCO)
INV IN= 293.41'
INV OUT= 292.02'

EXISTING 20' CITY OF RALEIGH SANITARY SEWER EASEMENT BOM 2005, PGS 1815-1819

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THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
New York, NY 10028
(800) 733-5646 • mcadamsco.com



REVISIONS:

OWNER:
ARGOS LLC
10321 SPORTING CLUB DRIVE
RALEIGH, NORTH CAROLINA
27617

5821 RETAIL
ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA
UTILITY PLAN

PROJECT NO. SPEC-16962
FILENAME: SPEC16962-UI
CHECKED BY: ARP
DRAWN BY: JB
SCALE: 1"=10'
DATE: 09-09-16
SHEET NO. C-6

