

PLANNING COMMISSION'S UDO REMAPPING WORK SESSION AGENDA

December 2, 2014 – 9:00 a.m.

City Council Chambers– Municipal Building

The following items will be discussed in the order in which they appear on this agenda, unless otherwise determined by the Chairman.

- A. Comments from the Public – New comments not already delivered during the public comment period that ended September 30 and not included on this agenda.
- B. UDO Remapping Public Comment – Change Requests
 - a. Requests are grouped by CAC and Change Request Map Number. Property address and PIN are included for reference.

Note: Pending zoning cases will not be discussed as part of this work session.

CAC	Agenda Item	Address	PIN	Map No.
Five Points	39	829 Washington St	1704331517	92
Hillsborough	40	0 (1428) Flint Pl	1704009302	56
	41	1200 Park Dr	1704314595	68
Five Points	42	0 Wade Ave	1704353002	150
Hillsborough	43	120 North Boylan Ave	1703491891	89
	44	600 & 608 W Hargett St	1703485792, 1703485601	108
	45	804, 806, 808, & 810 W Hargett St	1703380822, 1703380802, 1703289872, 1703289832	186
Mordecai	46	William Peace Univ: 605 & 621 N Blount St	1704718958, 1704728105	193
		101 E Franklin St	1704724954	
		15 E Peace St	1704724264	
		800 Harp St	1704728951	
	47	Seaboard Station: 5 & 10 W Franklin St	1704629796, 1704627406	194
		6 W Peace St	1704629079	
		5 & 18 Seaboard Ave	1704720186, 1704629445	
		605, 721, 801, & 807 Halifax St	1704720096, 1704721405, 1704721710, 1704721729	
		802 & 826 Semart Dr	1704628864, 1704638253	

CAC	Agenda Item	Address	PIN	Map No.
Five Points	48	1942 Wake Forest Rd	1714193080	169
Hillsborough	49	1500 & 1504 Hillsborough St	1704105589, 1704105602	187
	50	1900, 2000, 2016, & 2105 Cameron St	1704132174, 1704035117, 1704023663	96
		401 & 420 Woodburn Rd	1704027651, 1704122721	
		416 Oberlin Rd	1704020882	
	51	1801 Cameron St	1704125771	97
	52	605 & 610 Woodburn Rd	1704039499, 1704132462	64
		0 Smedes Pl	1704038526	
		2020 Smallwood Dr	1704036488	
	53	600 Oberlin Rd	1704031496	183
	54	616 & 702 Oberlin Rd	1704032618, 1704044011	40
	55	410 Park Ave	0793997529	65
	56	727, 731, 733, & 737 W Hargett St	1703385421, 1703384404, 1703383445, 1703382467	34
	57	900 Hillsborough St, 106 E Park Dr	1704209090, 1704202141	66
	58	905 Hillsborough St	1703299220	67
	59	618 West Jones Street	1704403178	36
	60	618 N Boylan Ave	1704412869	55
601 W Peace St		1704425020		
608, 610, & 612 W Johnson St		1704414736, 1704413768, 1704413718		
603, 605, 607, & 609 Glenwood Ave		1704415742, 1704415739, 1704415804, 1704414990		
Mordecai	61	1135 N West St	1704640604	195
	62	1301 Brookside Drive	1714153275	196

CAC	Agenda Item	Address	PIN	Map No.
Five Points (Glenwood-Brooklyn Neighborhood)	63	Glenwood-Brooklyn Neighborhood (SP R-30)	Various	180.1
	64	940 N Boylan Ave	1704432648	180.2
		806, 807, 813, 815, 817, & 819 Clay St	1704338053, 1704336154, 1704335178, 1704335220, 1704334262, 1704334212	
		601 Devereux St	1704424530	
		1117, 1205, 1207, & 1209 Filmore St	1704531912, 1704541232, 1704541247, 1704541352,	
		722 & 727 Gaston St	1704329607, 1704327853	
		810, 812, 814, 816, 818, 830, 832, 834, 836, & 838 Gaston Wood Ct	1704430153, 1704430110, 1704339068, 1704339048, 1704339018, 1704338195, 1704338069, 1704338130, 1704338101, 1704337172	
		704, 710, 712, 810, 900, 901, & 1020 Glenwood Ave	1704427350, 1704427474, 1704427581, 1704428921, 1704438032, 1704436115, 1704438657	
		1220 Pierce St	1704547412	
		510 Tilden St	1704439045	
		501, 600, 611, 615, & 625 Washington St	1704533419, 1704530884, 1704439684, 1704439634, 1704439504	
		614 Wills Forest St	1704435119	
		65	1110, 1114, 1218 Glenwood Ave; 607 Adams St	

CAC	Agenda Item	Address	PIN	Map No.
Five Points (Glenwood-Brooklyn Neighborhood)	66	806 Clay St	1704338053	180.4
		1117 & 1205 Filmore St	1704531912, 1704541232	
		810, 812, 814, 816, 818, 830, 832, 834, 836, & 838 Gaston Wood Ct	1704430153, 1704430110, 1704339068, 1704339048, 1704339018, 1704338195, 1704338069, 1704338130, 1704338101, 1704337172	
		710, 712, 810, 900, & 901 Glenwood Ave	1704427474, 1704427581, 1704428921, 1704438032, 1704436115	
		510 Tilden St	1704439045	
		611 & 615 Washington St	1704439684, 1704439634	
		614 Wills Forest St	1704435119	
	67	722 Gaston St	1704329607	180.5
	68	809 Brooklyn St	1704325892	180.6
	69	601 Devereux St	1704424530	180.7
	70	1220 Pierce St	1704547412	22
	71	1220 Pierce St	1704547412	23
	72	1315 Filmore St	1704541874	114 & 180.8
	73	1307 Filmore St	1704542749	115
	74	719 & 725 N Boylan Ave	1704421500, 1704420596	19
	75	502 & 504 Washington St	1704534811, 1704534891	31
76	501 Washington St	1704533419	42	
77	704 Glenwood Ave	1704427350	82	

CAC	Agenda Item	Address	PIN	Map No.
Hillsborough (Pullen Park Neighborhood)	78	Pullen Park Neighborhood	Various	112
	79	106 Wakefield Ave	1703195540	88
	80	216 Dexter Pl	1703099689	72
	81	217, 219, & 221 Dexter Pl	1703099601, 1703098682, 1703098626	71
		301 Park Ave	1703097669	
	82	206 Ashe Ave	1703191740	79
		216 Dexter Pl	1703099689	
		207, 211, 213, & 219 Park Ave	1703190883, 1703190841, 1703099799, 1703098776	79 & 116
	83	212, 214, & 216 Cox Ave	1703095947, 1703095943, 1703095849	113

Pending Items

These items deferred from previous agendas will be discussed at a future meeting to be determined:

CAC	Agenda Item	Address	PIN	Map No.
North	12	6601 Falls of Neuse Rd	1717127972	162
Northeast	18	2744 Capital Blvd	1715829585	161
Atlantic	34	2823 Capital Blvd	1715936330	159
	35	2929 Capital Blvd	1725031568	156
Midtown	36	4101 Wake Forest Rd	1715494776	163
	37	2837 Wake Forest Rd	1715133422	166



**Planning Commission December 2, 2014
 Z-27-14 Citywide UDO Remapping
 Five Points, Hillsborough and Mordecai CAC Areas**

Review of the proposed citywide rezoning is organized around public comment change requests received between May and September 2014. To facilitate public participation, comments will be grouped by Citizens Advisory Council (CAC) area for review. Staff has identified each public comment change request as falling in one of these three categories:

- A. Staff agrees
- B. Staff requests additional discussion
- C. Staff disagrees

Each comment is numbered below and sorted by category. Staff has provided basic information related to the property which includes existing and proposed zoning, requested zoning and applicable Comprehensive Plan guidance. Each request contains a staff recommendation. Related correspondence included at the end of the report references the Comment ID field.

A. Staff agrees with the following Public Comment Change Request in the Five Points and Hillsborough CAC areas:

39.	<i>Address:</i> 829 Washington St
	<i>PIN:</i> 1704331517
	<i>CAC:</i> Five Points
	<i>Change Request/Comment ID:</i> 92 / WEB-29762
	<i>Existing Zoning:</i> O&I-1
	<i>Current Use:</i> Park, recreation field
	<i>Proposed Zoning:</i> OX-3
	<i>Requested Zoning:</i> R-10
	<i>Future Land Use Designation:</i> Public Facilities
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> N/A

The commentor requests R-10. This parcel is one of several that make up Fletcher Park. Citywide, staff recommends residential zoning consistent with adjacent parcels for City-owned park properties that are not already zoned residential. Since the property is not owned by the City (it is owned by the Wake County Public School System) staff recommended the closest comparative district of OX-3 for this parcel. Staff believes this is an appropriate district and agrees with the requests for R-10, which would be consistent with the other Fletcher Park properties in the area.

Recommendation: The property should be zoned R-10.

40.	<i>Address:</i> 0 (1428) Flint Pl
	<i>PIN:</i> 1704009302
	<i>CAC:</i> Hillsborough
	<i>Change Request/Comment ID:</i> 56 / GEN-0426, GEN-0449
	<i>Existing Zoning:</i> O&I-2 w/SRPOD
	<i>Current Use:</i> Parking
	<i>Proposed Zoning:</i> OX-5-GR w/SRPOD
	<i>Requested Zoning:</i> OX-5 w/SRPOD
	<i>Future Land Use Designation:</i> Office & Residential Mixed Use
	<i>Area Plan Guidance:</i> Cameron Village/Hillsborough Street Vicinity Plan (In progress)
	<i>Urban Form Designation:</i> Within Transit Stop Half-Mile Buffer

The property owner requests that the proposed Green frontage be removed. The property does not front on a Transit Emphasis Corridor like adjoining parcels, which have frontage on Cox Avenue. Staff proposes removal of the frontage from the proposed zoning district. The Special Residential Parking Overlay District (SRPOD) would remain.

Recommendation: The property should be zoned OX-5 w/ SRPOD.

41.	<i>Address:</i> 1200 Park Dr
	<i>PIN:</i> 1704314595
	<i>CAC:</i> Hillsborough
	<i>Change Request/Comment ID:</i> 68 / GEN-0458, GEN-0461
	<i>Existing Zoning:</i> O&I-1 w/NCOD
	<i>Current Use:</i> Single-Unit Living
	<i>Proposed Zoning:</i> OX-3-GR w/NCOD
	<i>Requested Zoning:</i> R-6 w/NCOD
	<i>Future Land Use Designation:</i> Low Density Residential
	<i>Area Plan Guidance:</i> Cameron Park Neighborhood Plan
	<i>Urban Form Designation:</i> Within Transit Stop Half-Mile Buffer Frontage on Transit Emphasis Corridor

This property is located on the west side of St. Mary's Street within the Cameron Park Neighborhood. The property is currently used as a single-family residence. OX is the closest comparative district to the existing O&I-1 zoning. The property owner has requested that the property be rezoned to R-6 to match adjacent properties to the west. The Neighborhood Conservation Overlay District (NCOD) would remain. Staff supports this request given the existing use.

Recommendation: The property should be zoned R-6 w/ NCOD.

B. Staff requests discussion of the following Public Comment Change Requests in the Five Points, Hillsborough and Mordecai CAC areas:

42.	<i>Address:</i> 0 Wade Ave
	<i>PIN:</i> 1704353002
	<i>CAC:</i> Five Points
	<i>Change Request/Comment ID:</i> 150 / GEN-0524
	<i>Existing Zoning:</i> O&I-1
	<i>Current Use:</i> Parking
	<i>Proposed Zoning:</i> OX-4
	<i>Requested Zoning:</i> OX-7
	<i>Future Land Use Designation:</i> Office & Residential Mixed Use
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> N/A

The property is located on the north side of Wade Avenue east of St. Mary’s Street. The property does not contain a building and is used as a parking lot. OX is the closest comparative district to the existing zoning, O&I-1. While the parcel is currently used for parking, two adjacent parcels are developed with 4-story buildings; OX-4 would be appropriate given the surrounding context. The property owner requests additional height (7 stories total). There is no specific policy guidance that would suggest height greater than 4 stories. While the parcel may be rezoned in the future to allow for greater height, staff believes that decision should be made as part of the public process of a privately initiated rezoning.

Recommendation: Further discussion.

43.	<i>Address:</i> 120 North Boylan Ave
	<i>PIN:</i> 1703491891
	<i>CAC:</i> Hillsborough
	<i>Change Request/Comment ID:</i> 89 / WEB-24322; GEN-0079; CC3-0062
	<i>Existing Zoning:</i> O&I-1 w/NCOD
	<i>Current Use:</i> Office
	<i>Proposed Zoning:</i> OX-3-DE w/NCOD
	<i>Requested Zoning:</i> OX-3-PL w/NCOD
	<i>Future Land Use Designation:</i> Office & Residential Mixed Use
	<i>Area Plan Guidance:</i> Downtown Plan Update (in progress)
	<i>Urban Form Designation:</i> Downtown Within Transit Stop Half-Mile Buffer

This property is located at the northeast corner of Boylan Avenue and Willard Place. Staff has proposed OX-3-DE for the property. It is located within the North Boylan NCOD, which has design standards for front setbacks, building placement and entrances, maximum building height, and vehicular surface areas. Detached frontage reinforces the design standards of the NCOD. The property owner is concerned that the Detached (DE) frontage will render the existing development on the site non-conforming, and restrict future expansion or

redevelopment of the property. The property owner instead requests a Parking Limited Frontage.

During development of recommendations for the citywide remapping, Staff identified the need for a non-conformity clause for application of frontage to be added to the Unified Development Ordinance. Staff will be proposing the requisite text change to clarify any issue of non-conformity associated with the application of a frontage. Staff is unsure if the developed site would meet the Parking Limited regulations.

Recommendation: Further discussion.

44.	<i>Address:</i>	600 & 608 W Hargett St
	<i>PIN:</i>	1703485792, 1703485601
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	108 / WEB-34922
	<i>Existing Zoning:</i>	IND-2 w/DOD
	<i>Current Use:</i>	Warehouse, Minor Utility
	<i>Proposed Zoning:</i>	DX-3
	<i>Requested Zoning:</i>	DX-12
	<i>Future Land Use Designation:</i>	Central Business District
	<i>Area Plan Guidance:</i>	Downtown West Gateway Small Area Plan Downtown Plan Update (in progress)
	<i>Urban Form Designation:</i>	Downtown Within Transit Stop Half-Mile Buffer

The properties are located north of Hargett Street between Boylan Avenue and West Street. Staff has proposed DX-3 for the properties, which are located in the Downtown area of the Urban Form Map and currently zoned IND-2 w/ DOD. No guidance on height is described for this parcel as part of the Downtown West Gateway Small Area Plan. The properties are located within the railroad wye and access is restricted to only Hargett Street. In looking at proposed height for the properties, Staff considered the difficulty of access to the site and the existing context within the railroad wye as factors in assigning the three-story height category. The property owner is requesting a height of 12 stories for the properties.

Recommendation: Further discussion.

45.	<i>Address:</i>	804, 806, 808, & 810 W Hargett St
	<i>PIN:</i>	1703380822, 1703380802, 1703289872, 1703289832
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	186 / WEB-35522
	<i>Existing Zoning:</i>	NB w/SRPOD
	<i>Current Use:</i>	Single-Unit Living
	<i>Proposed Zoning:</i>	NX-5-UL w/SRPOD
	<i>Requested Zoning:</i>	Unclear
	<i>Future Land Use Designation:</i>	Office & Residential Mixed Use

<i>Area Plan Guidance:</i>	West Morgan Area Study Downtown Plan Update (in progress)
<i>Urban Form Designation:</i>	Downtown Within Transit Stop Half-Mile Buffer

The parcels are located on the north side of Hargett Street west of Snow Avenue. The commentor is concerned that allowing 5 story structures in the 800 Block of West Hargett Street is incompatible with existing development. Height and frontage policy guidance in the West Morgan area Study suggest that NX-5-UL would be appropriate zoning for this area. The existing zoning is Neighborhood Business. The commentor owns property within the area in question and has not offered a suggested zoning designation for the properties. Staff recommends further discussion for this item.

Recommendation: Further discussion.

46.	<i>Address:</i>	William Peace University: 605 & 621 N Blount St; 101 E Franklin St; 15 E Peace St; 800 Harp St
	<i>PIN:</i>	1704718958, 1704728105, 1704724954, 1704724264, 1704728951
	<i>CAC:</i>	Mordecai
	<i>Change Request/Comment ID:</i>	193 / GEN-0507; WEB-37764, -38085, -38404, -38722, -39043
	<i>Existing Zoning:</i>	O&I-1, CUD O&I-1, R-20; part HOD-G (Z-22-96, Z- 21-00)
	<i>Current Use:</i>	University Campus
	<i>Proposed Zoning:</i>	OX-4 / OX-4-CU; HOD-G remains
	<i>Requested Zoning:</i>	OX-7 (or 5)
	<i>Future Land Use Designation:</i>	Central Business District
	<i>Area Plan Guidance:</i>	Downtown Plan Update (in process)
	<i>Urban Form Designation:</i>	Downtown Within Transit Stop Half-Mile Buffer

The properties are located north of Peace Street between Halifax and Blount Streets. The property owner, William Peace University, is requesting alternative zoning designations for several of its university properties. Staff has proposed either OX-4 or OX-4-CU. The Historic District (HOD-G) on a portion of the properties would remain. OX-4 was proposed due to the use as a university and the existing context of four story buildings on the campus. The University is not pursuing the Campus (CMP) designation at this time.

The property owner is requesting additional height (7 stories total) and the removal of zoning conditions on three of the five parcels. There is no specific policy guidance that would suggest height greater than 4 stories. While the parcel may be rezoned in the future to allow for greater height, staff believes that decision should be made as part of the public process of a privately initiated rezoning. Existing zoning conditions are extensive and specify allowed uses, unity of development standards, lighting standards, and tree preservation. During the drafting of the

zoning map, staff felt that legal and enforceable conditions should be retained to maintain continuity between the Part 10 code and the UDO. Staff believes that the conditions are specific enough to merit retention. Current conditions are included at the end of this report for reference. Since it is a qualifying institution, the university may also pursue a Campus (CMP) District as well.

Recommendation: Further discussion.

47.	<i>Address:</i>	Seaboard Station: 5 & 10 W Franklin St; 6 W Peace St, 5 & 18 Seaboard Ave; 605, 721, 801, & 807 Halifax St; 802 & 826 Semart Dr
	<i>PIN:</i>	1704629796, 1704627406, 1704629079, 1704720186, 1704629445, 1704720096, 1704721405, 1704721710, 1704721729, 1704628864, 1704638253
	<i>CAC:</i>	Mordecai
	<i>Change Request/Comment ID:</i>	194 / GEN-0507; WEB-37765, -38086, -38087, -38101, -38102, -38103, -38405, -38406, -38723, -38738, -39045
	<i>Existing Zoning:</i>	IND-2 w/DOD & NB
	<i>Current Use:</i>	Retail Sales
	<i>Proposed Zoning:</i>	DX-5-UG / DX-7-UG
	<i>Requested Zoning:</i>	DX-12 (or 7)
	<i>Future Land Use Designation:</i>	Central Business District
	<i>Area Plan Guidance:</i>	Downtown Plan Update (in process)
	<i>Urban Form Designation:</i>	Downtown Within Transit Stop Half-Mile Buffer

These properties are located north of Peace Street and east of Capital Boulevard. William Peace University, the property owner, requests additional height and the removal of frontage for the properties that make up Seaboard Station. Staff has proposed a mix of DX-7 and DX-5, both with –UG frontage. These designations were made based on existing context and the properties’ location within the Downtown Urban Form Boundary.

The request is to increase the height to either 12 or 7 stories. There is no specific policy guidance or built context that would suggest height greater than 5 and 7 stories. While the parcels may be rezoned in the future to allow for greater height, staff believes that decision should be made as part of the public process of a privately initiated rezoning

Designation of an urban frontage is appropriate given the location within the Downtown area on the Urban Form Map. During development of recommendations for the citywide remapping, staff identified the need for a non-conformity clause for application of frontage to be added to the Unified Development Ordinance. Staff will be proposing the requisite text change to clarify any issue of non-conformity associated with the application of a frontage.

Recommendation: Further discussion.

C. Staff disagrees with the following Public Comment Change Requests in the Five Points, Hillsborough and Mordecai CAC areas:

48.	<i>Address:</i> 1942 Wake Forest Rd
	<i>PIN:</i> 1714193080
	<i>CAC:</i> Five Points
	<i>Change Request/Comment ID:</i> 169 / GEN-0551
	<i>Existing Zoning:</i> NB
	<i>Current Use:</i> Vehicle Fuel Sales
	<i>Proposed Zoning:</i> NX-3-PL
	<i>Requested Zoning:</i> CX-3
	<i>Future Land Use Designation:</i> Neighborhood Mixed Use
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> City Growth Center Frontage on Transit Emphasis Corridor Within Transit Stop Half-Mile Buffer

This property is located at the southeast corner of Wake Forest and Whitaker Mill Road. The commentor would like the property to be zoned CX and to remove the Parking Limited frontage. The property owner is concerned that current development on the site does not satisfy the development standards of the PL frontage and that property would be made non-conforming by application of frontage. During development of recommendations for the citywide remapping, staff identified the need for a non-conformity clause for application of frontage to be added to the Unified Development Ordinance. Staff will be proposing the requisite text change to clarify any issue of non-conformity associated with the application of a frontage. Staff disagrees with the request.

Recommendation: Deferral of item to allow review with seven other items related to Parking Limited frontage and vehicle fuel sales.

49.	<i>Address:</i> 1500 & 1504 Hillsborough St
	<i>PIN:</i> 1704105589, 1704105602
	<i>CAC:</i> Hillsborough
	<i>Change Request/Comment ID:</i> 187 / WEB-37445, -37446, -38098, -38099
	<i>Existing Zoning:</i> O&I-1
	<i>Current Use:</i> Parking
	<i>Proposed Zoning:</i> OX-3-GR
	<i>Requested Zoning:</i> OX-5-GR
	<i>Future Land Use Designation:</i> Office & Residential Mixed Use
	<i>Area Plan Guidance:</i> Cameron Park Neighborhood Plan Cameron Village/Hillsborough Street Vicinity Plan (in progress)
	<i>Urban Form Designation:</i> Within Transit Stop Half-Mile Buffer Frontage on Transit Emphasis Corridor

The properties are located on the north side of Hillsborough Street between Hillcrest and Forest Roads. The commentor requests additional height (5 stories total) for the properties, which are currently zoned O&I-1 and used as parking. Staff has proposed 3 stories as there is no specific policy guidance that would suggest height greater than three stories. Specific policy guidance regarding height and frontage is expected to be developed as part of the Cameron Village and Hillsborough Street Small Area Plans that are currently in progress. The request was not submitted by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

50.	<i>Address:</i>	1900, 2000, 2016, & 2105 Cameron St; 401 & 420 Woodburn Rd; 416 Oberlin Rd
	<i>PIN:</i>	1704132174, 1704035117, 1704023663, 1704027651, 1704122721, 1704020882
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	96 / WEB-32018, -36482
	<i>Existing Zoning:</i>	SC w/PBOD
	<i>Current Use:</i>	Retail Sales; Multi-Unit Living; Eating Establishments
	<i>Proposed Zoning:</i>	CX-5-UL, CX-5-UG & CX-7-SH
	<i>Requested Zoning:</i>	CX-7/12
	<i>Future Land Use Designation:</i>	Community Mixed Use
	<i>Area Plan Guidance:</i>	Cameron Village/Hillsborough Street Vicinity Plan (In progress)
	<i>Urban Form Designation:</i>	Mixed-Use Center Frontage on Transit Emphasis Corridor (Cameron & Oberlin N of Cameron) Frontage on Main Street (Cameron) Frontage on Urban Thoroughfare (Clark) Part Within Transit Stop Half-Mile Buffer

The property is located at the northwest corner of Clark and Bellwood Drive. The commentor requests additional height (7-12 stories total) for the properties. Staff has proposed 5 and 7 stories, as the properties are located in a Mixed Use Center on the Urban Form Map and there is existing context in the area for building of this height. Specific policy guidance regarding height and frontage is expected to be developed as part of the Cameron Village and Hillsborough Street Small Area Plans that are currently in progress. The request was not submitted by the property owner. Staff disagrees with the request. Staff disagrees with the request.

Recommendation: No change to the map.

51.	<i>Address:</i>	1801 Cameron St
-----	-----------------	-----------------

<i>PIN:</i>	1704125771
<i>CAC:</i>	Hillsborough
<i>Change Request/Comment ID:</i>	97 / WEB-32019
<i>Existing Zoning:</i>	SC
<i>Current Use:</i>	Multi-Unit Living
<i>Proposed Zoning:</i>	RX-3
<i>Requested Zoning:</i>	RX-7
<i>Future Land Use Designation:</i>	High Density Residential
<i>Area Plan Guidance:</i>	Wade/Oberlin Small Area Plan Cameron Village/Hillsborough Street Vicinity Plan (In progress)
<i>Urban Form Designation:</i>	Frontage on Transit Emphasis Corridor

The property is located at the northwest corner of Clark and Bellwood Drive. The commentor requests additional height (7 stories total) for the property. Staff has proposed 3 stories as there is currently no specific policy guidance for additional height for these parcels. Specific policy guidance regarding height and frontage is expected to be developed as part of the Cameron Village and Hillsborough Street Small Area Plans that are currently in progress. The request was not submitted by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

52.	<i>Address:</i>	605 & 610 Woodburn Rd; 0 Smedes Pl; 2020 Smallwood Dr
	<i>PIN:</i>	1704039499, 1704132462, 1704038526, 1704036488
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	64 / GEN-0454
	<i>Existing Zoning:</i>	R-30
	<i>Current Use:</i>	Multi-Unit Living
	<i>Proposed Zoning:</i>	RX-3
	<i>Requested Zoning:</i>	RX-4+
	<i>Future Land Use Designation:</i>	Medium Density Residential
	<i>Area Plan Guidance:</i>	Wade/Oberlin Small Area Plan Cameron Village/Hillsborough Street Vicinity Plan (in progress)
	<i>Urban Form Designation:</i>	N/A

The property is located on the north side of Smallwood Drive between Smedes place and Woodburn Road. The property owner requests additional height for the property, which is currently zoned R-30. Staff has proposed 3 stories as there is currently no policy guidance for increased height on this parcel. Specific policy guidance regarding height and frontage is expected to be developed as part of the Cameron Village and Hillsborough Street Small Area Plans that are currently in progress. The request was not submitted by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

53.	<i>Address:</i> 600 Oberlin Rd
	<i>PIN:</i> 1704031496
	<i>CAC:</i> Hillsborough
	<i>Change Request/Comment ID:</i> 183 / WEB-36162
	<i>Existing Zoning:</i> O&I-1
	<i>Current Use:</i> Bank
	<i>Proposed Zoning:</i> OX-3-UG
	<i>Requested Zoning:</i> OX-5-UG
	<i>Future Land Use Designation:</i> Office & Residential Mixed Use
	Wade/Oberlin Small Area Plan
	<i>Area Plan Guidance:</i> Cameron Village/Hillsborough Street Vicinity Plan (In progress)
	<i>Urban Form Designation:</i> Frontage on Transit Emphasis Corridor

The commentor requests additional height (5 stories total) for the property. Staff has proposed 3 stories as there is currently no specific policy guidance for increased height for this parcel. Specific policy guidance regarding height and frontage is expected to be developed as part of the Cameron Village and Hillsborough Street Small Area Plans that are currently in progress. The request was not submitted by the property owner... The request was not submitted by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

54.	<i>Address:</i> 616 & 702 Oberlin Rd
	<i>PIN:</i> 1704032618, 1704044011
	<i>CAC:</i> Hillsborough
	<i>Change Request/Comment ID:</i> 40 / GEN-0306, -0308
	<i>Existing Zoning:</i> O&I-1, CUD O&I-1 w/PBOD
	<i>Current Use:</i> Office
	<i>Proposed Zoning:</i> OX-4-UL, OX-5-UG-CU (Z-35-12)
	<i>Requested Zoning:</i> OX-6 (7)
	<i>Future Land Use Designation:</i> Office & Residential Mixed Use
	Wade/Oberlin Small Area Plan
	<i>Area Plan Guidance:</i> Cameron Village/Hillsborough Street Vicinity Plan (In progress)
	<i>Urban Form Designation:</i> Frontage on Transit Emphasis Corridor

The property owner requests additional height for the properties and removal of the proposed frontage, which is currently zoned R-30. Staff has proposed 4 and 5 stories, respectively, following the existing development context and approved site plan for 616 Oberlin Road (SP- Both properties front on a Transit Emphasis Corridor Specific policy guidance regarding height and frontage is expected to be developed as part of the Cameron Village and Hillsborough

Street Small Area Plans that are currently in progress. The request was not submitted by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

55.	<i>Address:</i> 410 Park Ave
	<i>PIN:</i> 0793997529
	<i>CAC:</i> Hillsborough
	<i>Change Request/Comment ID:</i> 65 / GEN-0455
	<i>Existing Zoning:</i> O&I-1
	<i>Current Use:</i> Park
	<i>Proposed Zoning:</i> OX-3
	<i>Requested Zoning:</i> R-10 or OX-3-GR
	<i>Future Land Use Designation:</i> Public Parks & Open Space
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> Frontage on Transit Emphasis Corridor Within Transit Stop Half-Mile Buffer

This property is located between Western Boulevard and Hillsborough Street on Pullen Road. The commentor requests R-10 or OX-3-GR for the property, which is Pullen Park. Generally Staff has proposed zoning for park lands that is consistent with the zoning districts and uses of the general area within which they are located. There are very limited areas of residential zoning and usage surrounding Pullen Park, unlike Fred Fletcher Park, which is almost entirely surrounded by residential districts and uses. Frontages are an optional designation for mixed use districts in order to establish or preserve a desired development pattern along the street edge. Green frontage is intended for areas where it is desirable to locate buildings close to the street (between 20 and 50 feet), but where parking between the building and street is not permitted; a commercial streetscape is required. Green frontage is not a tree protection tool. The request was not submitted by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

56.	<i>Address:</i> 727, 731, 733, & 737 W Hargett St
	<i>PIN:</i> 1703385421, 1703384404, 1703383445, 1703382467
	<i>CAC:</i> Hillsborough
	<i>Change Request/Comment ID:</i> 34 / GEN-0294; WEB-23042
	<i>Existing Zoning:</i> IND-2 w/DOD & SRPOD
	<i>Current Use:</i> Office; Warehouse; Light Manufacturing; Multi-Unit Living
	<i>Proposed Zoning:</i> DX-5-UL
	<i>Requested Zoning:</i> RX-,OX-, or NX-
	<i>Future Land Use Designation:</i> Office & Residential Mixed Use
	<i>Area Plan Guidance:</i> West Morgan Area Study Downtown Plan Update (in progress)

<i>Urban Form Designation:</i>	Downtown Within Transit Stop Half-Mile Buffer Frontage on Transit Emphasis Corridor
--------------------------------	---

The commentor requests that RX-, OX-, or NX- zoning be considered for the base zoning of these properties instead of Downtown Mixed Use (DX) to address concern about these properties being used as a bars, lounges, or nightclubs. DX-5-UL is a balanced interpretation of existing zoning entitlements, current development context and land use, and area planning guidance. In addition, all of the uses of concern are allowed under the existing Industrial-2 and Downtown Overlay District zoning. The request was not submitted by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

57.	<i>Address:</i>	900 Hillsborough St & 106 E Park Dr
	<i>PIN:</i>	1704209090, 1704202141
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	66 / GEN-0456
	<i>Existing Zoning:</i>	O&I-1 w/NCOD
	<i>Current Use:</i>	Private School
	<i>Proposed Zoning:</i>	OX-3 w/NCOD
	<i>Requested Zoning:</i>	OX-3-GR w/NCOD
	<i>Future Land Use Designation:</i>	Institutional; Office & Residential Mixed Use
	<i>Area Plan Guidance:</i>	Cameron Park Neighborhood Plan
	<i>Urban Form Designation:</i>	Frontage on Transit Emphasis Corridor (Hillsborough St & St Marys St) Within Transit Stop Half-Mile Buffer

The commentor requests that a Green (GR) Frontage be considered for the properties, which make up St. Mary's School, in order to protect trees on the edges of the properties. Frontages are an optional designation for mixed use districts in order to establish or preserve a desired development pattern along the street edge. Green frontage is intended for areas where it is desirable to locate buildings close to the street (between 20 and 50 feet), but where parking between the building and street is not permitted; a commercial streetscape is required. Green frontage is not a tree protection tool. The request was not submitted by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

58.	<i>Address:</i>	905 Hillsborough St
	<i>PIN:</i>	1703299220
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	67 / GEN-0457
	<i>Existing Zoning:</i>	R-30 w/SRPOD

<i>Current Use:</i>	Multi-Unit Living
<i>Proposed Zoning:</i>	RX-4 w/SRPOD
<i>Requested Zoning:</i>	RX-3-GR or OX-3-GR w/SRPOD
<i>Future Land Use Designation:</i>	Medium Density Residential
<i>Area Plan Guidance:</i>	West Morgan Area Study Downtown Plan Update (in progress)
<i>Urban Form Designation:</i>	Downtown Frontage on Transit Emphasis Corridor (Hillsborough St & W Morgan St) Within Transit Stop Half-Mile Buffer

The commentor requests that a Green (GR) Frontage be considered for the Cameron Court Apartments in order to protect trees on the street edge of the property. Frontages are an optional designation for mixed use districts used to establish or preserve a desired development pattern along the street edge. Green frontage is intended for areas where it is desirable to locate buildings close to the street (between 20 and 50 feet), but where parking between the building and street is not permitted; a commercial streetscape is required. Green frontage is not a tree protection tool. The best match for the as-built conditions and existing use is the proposed RX-4 designation. As such, staff disagrees with the request. The request was not submitted by the property owner.

Recommendation: No change to the map.

59.	<i>Address:</i>	618 West Jones Street
	<i>PIN:</i>	1704403178
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	36 / GEN-0302
	<i>Existing Zoning:</i>	CUD RB w/NCOD
	<i>Current Use:</i>	Office
	<i>Proposed Zoning:</i>	OX-3-DE-CU w/NCOD (Z-7-89)
	<i>Requested Zoning:</i>	OX-3-DE w/NCOD
	<i>Future Land Use Designation:</i>	Office & Residential Mixed Use
	<i>Area Plan Guidance:</i>	Downtown Plan Update (in progress)
<i>Urban Form Designation:</i>	Downtown Within Transit Stop Half-Mile Buffer	

The property owner wishes to remove the conditions of the conditional use zoning case (Z-7-89) as part of the UDO rezoning process. Existing zoning conditions specify maximum building height (25 feet) and tree preservation. Staff believes that the conditions are specific enough to merit retention. Current conditions are included at the end of this report for reference.

Recommendation: No change to the map.

60.	<i>Address:</i>	618 N Boylan Ave; 601 W Peace St; 608, 610, & 612 W Johnson St; 603, 605, 607, & 609 Glenwood Ave

<i>PIN:</i>	1704412869, 1704425020, 1704414736, 1704413768, 1704413718, 1704415742, 1704415739, 1704415804, 1704414990
<i>CAC:</i>	Hillsborough
<i>Change Request/Comment ID:</i>	55 / GEN-0423, -0529, -0573; WEB-3841, -3842, -22402, -22403, -22404, -22405, -22406, -22418, -22419, -22434, -22722, -22723, -30082, -30402, -30722, -34898, -36820, -37449, -37450, -37452, -37767, -38104, -38724, -38726, -38739, -39046, -39048, -39049
<i>Existing Zoning:</i>	NB w/PDD; NB w/PBOD
<i>Current Use:</i>	Multi-Unit Living; Eating Establishment; Tavern; Office; Vacant
<i>Proposed Zoning:</i>	PD; DX-3-SH; DX-5; DX-7-SH
<i>Requested Zoning:</i>	Unclear
<i>Future Land Use Designation:</i>	Central Business District; Neighborhood Mixed Use
<i>Area Plan Guidance:</i>	Downtown Plan Update (in progress)
<i>Urban Form Designation:</i>	Downtown Frontage on Main Street (Peace) Within Transit Stop Half-Mile Buffer

This item is a conglomeration of several comments received from residents in the Paramount condominium building at 618 N. Boylan Avenue. The commenters have concerns about the proposed base districts and heights for parcels to the east of their building on the same block. Staff has proposed DX-5 for properties fronting W. Johnson Street, DX-7-SH for properties fronting Glenwood Avenue, and DX-3-SH for the property at the intersection of Glenwood Avenue and Peace Street. Generally, the commenters request that height be reduced to 3 stories for the 5 and 7 story districts and a base district other than DX, such as NX, be considered for the properties.

This area is part of the Peace Streetscape and Parking Plan completed in 2005 and the Glenwood South Streetscape and Parking Plan completed in 2000. Additionally, the Future Land Use Map indicates this area as part of the City’s Central Business District and it is included in the study area of this year’s Downtown Experience Plan.

Guidance from these plan documents recommends a building height of up to 80 feet along Johnson Street and up to 80 feet along Glenwood Avenue. Height designation for these two areas is differentiated in recognition of the different characters of the two streets. The proposed five-story designation caps building height at 75 feet along Johnson Street, the lesser of the two streets. The proposed seven-story designation caps building height at 90 feet along Glenwood Avenue – a more active corridor. Staff disagrees with the request.

Recommendation: No change to the map.

61.	<i>Address:</i> 1135 N West St
	<i>PIN:</i> 1704640604

	<i>CAC:</i> Mordecai
	<i>Change Request/Comment ID:</i> 195 / WEB-33282
	<i>Existing Zoning:</i> IND-2
	<i>Current Use:</i> Heavy Industrial (Concrete Batching)
	<i>Proposed Zoning:</i> IH
	<i>Requested Zoning:</i> Unclear
	<i>Future Land Use Designation:</i> Office & Residential Mixed Use
	<i>Area Plan Guidance:</i> Capital Boulevard Corridor Study Downtown Plan Update (in progress)
	<i>Urban Form Designation:</i> Downtown Part Within Transit Stop Half-Mile Buffer

Staff considered both IX and IH as potential base districts for this parcel and determined IH to be necessary to avoid the creation of a non-conformity. The property is currently used as a concrete batch plant, a use allowed only in IH. The citizen requested zoning was not put forth by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

62.	<i>Address:</i> 1301 Brookside Drive
	<i>PIN:</i> 1714153275
	<i>CAC:</i> Mordecai
	<i>Change Request/Comment ID:</i> 196 / GEN-0460, -0463
	<i>Existing Zoning:</i> R-20
	<i>Current Use:</i> Vacant
	<i>Proposed Zoning:</i> RX-3
	<i>Requested Zoning:</i> Unclear
	<i>Future Land Use Designation:</i> Low Density Residential
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> N/A

RX is the closest comparative district to existing zoning. The citizen-requested zoning was not put forth by the property owner. The citizen feels that development should be prohibited on the site because of traffic and environmental concerns. Staff disagrees with the request.

Recommendation: No change to the map.

D. Staff requests discussion of the following Public Comment Change Requests in the Glenwood-Brooklyn & Pullen Park Neighborhoods (Five Points & Hillsborough CACs):

Staff met with Glenwood-Brooklyn neighborhood representatives before and during the creation of the remapping recommendations. Staff suggested two options for SP R-30 rezoning: 1) rezone SP R-30 properties to Residential Mixed Use- 3 Stories (RX-3), directly translate the SP R-30 design standards to NCOD standards, and recommend applying the NCOD through the UDO remapping process, or 2) rezone properties to R-10 and rely upon the UDO infill design

standards for residential districts. The neighborhood prefers neither of these options, and staff has proposed a combination of R-10 and RX-3 zoning. The Glenwood Brooklyn neighborhood group submitted a detailed request at the end of the public comment period. Staff has split the request into eight separate items based on theme and staff recommendation.

63.	<i>Address:</i>	Glenwood-Brooklyn Neighborhood (SP R-30)
	<i>PIN:</i>	Various
	<i>CAC:</i>	Five Points
	<i>Change Request/Comment ID:</i>	180.1 / GEN-0574, -0577
	<i>Existing Zoning:</i>	SP R-30
	<i>Current Use:</i>	Single-, Two-, & Multi-Unit Living
	<i>Proposed Zoning:</i>	R-10 / RX-3
	<i>Requested Zoning:</i>	R-10 w/NCOD, RX-3 w/ NCOD
	<i>Future Land Use Designation:</i>	Moderate Density Residential
	<i>Area Plan Guidance:</i>	N/A
	<i>Urban Form Designation:</i>	Part Within Transit Stop Half-Mile Buffer

Residents of the Glenwood Brooklyn Neighborhood request that a Neighborhood Conservation Overlay District be adopted for their neighborhood. The majority of the neighborhood is currently zoned Special Residential-30 (SP R-30), a legacy district that allows up to 30 dwelling units an acre with a number of design standards. The commenters request that the SP R-30 design requirements be directly translated to NCOD standards and an NCOD be created for the neighborhood as part of the UDO remapping process, without the public process required by the Unified Development Ordinance.

Recommendation: Further discussion.

64.	<i>Address:</i>	940 N Boylan Ave; 806, 807, 813, 815, 817, & 819 Clay St; 601 Devereux St; 1117, 1205, 1207, & 1209 Filmore St; 722 & 727 Gaston St; 810, 812, 814, 816, 818, 830, 832, 834, 836, & 838 Gaston Wood Ct; 704, 710, 712, 810, 900, 901, & 1020 Glenwood Ave; 1220 Pierce St; 510 Tilden St; 501, 600, 611, 615, & 625 Washington St; 614 Wills Forest St
	<i>PIN:</i>	1704432648, 1704338053, 1704336154, 1704335178, 1704335220, 1704334262, 1704334212, 1704424530, 1704531912, 1704541232, 1704541247, 1704541352, 1704329607, 1704327853, 1704430153, 1704430110, 1704339068, 1704339048, 1704339018, 1704338195, 1704338069, 1704338130, 1704338101, 1704337172, 1704427350, 1704427474, 1704427581, 1704428921, 1704438032, 1704436115, 1704438657, 1704547412, 1704439045, 1704533419, 1704530884, 1704439684, 1704439634, 1704439504, 1704435119
	<i>CAC:</i>	Five Points

<i>Change Request/Comment ID:</i>	180.2 / GEN-0574, -0578
<i>Existing Zoning:</i>	R-30, CUD R-30, O&I-1, CUD O&I-1, NB, IND-2 (Z-46-97, Z-70-97, Z-94-98)
<i>Current Use:</i>	Various uses
<i>Proposed Zoning:</i>	RX-3, RX-3-CU, OX-3, OX-3-CU, NX-3 (all with NCOD)
<i>Requested Zoning:</i>	Apply NCOD
<i>Future Land Use Designation:</i>	Various
<i>Area Plan Guidance:</i>	N/A
<i>Urban Form Designation:</i>	Part Within Transit Stop Half-Mile Buffer

The neighborhood group's second request is to apply an NCOD to properties not currently zoned SP R-30. The request is to apply the NCOD without the process required by the Unified Development Ordinance. These properties are neither currently zoned SP R-30 nor subject to SP R-30 standards or any other design standards. The request was not submitted by owners of these properties. Staff disagrees with the request.

Recommendation: No change to the map.

65.	<i>Address:</i>	1110, 1114, 1218 Glenwood Ave; 607 Adams St
	<i>PIN:</i>	1704439925, 1704449012, 1704449358, 1704449080
	<i>CAC:</i>	Five Points
	<i>Change Request/Comment ID:</i>	180.3 / GEN-0574, -0579
	<i>Existing Zoning:</i>	SP R-30
	<i>Current Use:</i>	Single-, Two- and Multi-Family Residential
	<i>Proposed Zoning:</i>	RX-3
	<i>Requested Zoning:</i>	R-10 (w/ NCOD)
	<i>Future Land Use Designation:</i>	Moderate Density Residential
	<i>Area Plan Guidance:</i>	N/A
<i>Urban Form Designation:</i>	N/A	

The third part of the neighborhood group's request is to rezone the base zoning district for four properties from SP R-30 to R-10 instead of RX-3 as recommended by Staff. Staff has proposed RX-3 as the properties primarily due to existing density; 1110 and 1218 Glenwood would be made non-conforming by R-10 zoning. The other two parcels, 1114 Glenwood and 607 Adams are recommended to be zoned RX-3 to avoid spotzoning 1110 Glenwood Avenue. . The request was not submitted by the property owners. Staff disagrees with the request.

Recommendation: No change to the map.

66.	<i>Address:</i>	806 Clay St; 1117 & 1205 Filmore St; 810, 812, 814, 816, 818, 830, 832, 834, 836, & 838 Gaston Ave; 510 Tilden St; 611 & 615 Washington St; 614 Wills Forest St
-----	-----------------	---

<i>PIN:</i>	1704338053, 1704531912, 1704541232, 1704430153, 1704430110, 1704339068, 1704339048, 1704339018, 1704338195, 1704338069, 1704338130, 1704338101, 1704337172, 1704427474, 1704427581, 1704428921, 1704438032, 1704436115, 1704439045, 1704439684, 1704439634, 1704435119
<i>CAC:</i>	Five Points
<i>Change Request/Comment ID:</i>	180.4 / GEN-0574, -0580
<i>Existing Zoning:</i>	R-30 / CUD R-30 (Z-26-97, Z-70-97)
<i>Current Use:</i>	Single-, Two-, & Multi-Unit Living, Townhouses
<i>Proposed Zoning:</i>	RX-3 / RX-3-CU
<i>Requested Zoning:</i>	R-10
<i>Future Land Use Designation:</i>	Moderate Density Residential
<i>Area Plan Guidance:</i>	N/A
<i>Urban Form Designation:</i>	Part Within Transit Stop Half-Mile Buffer

The fourth request from the neighborhood group involves rezoning the base zoning district of several properties in and around the Glenwood Brooklyn Neighborhood from the current R-30 to R-10 instead of RX-3 as proposed by Staff. In the case of existing R-30, RX-3 would provide the closest comparative district. The request was not submitted by the property owners. Staff disagrees with the request.

Recommendation: No change to the map.

67.	<i>Address:</i> 722 Gaston St
	<i>PIN:</i> 1704329607
	<i>CAC:</i> Five Points
	<i>Change Request/Comment ID:</i> 180.5 / GEN-0574, -0581
	<i>Existing Zoning:</i> NB
	<i>Current Use:</i> Mixed Use - Commercial with Residential above
	<i>Proposed Zoning:</i> NX-3
	<i>Requested Zoning:</i> RX-3
	<i>Future Land Use Designation:</i> Moderate Density Residential
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> Within Transit Stop Half-Mile Buffer

The next part of the neighborhood group's request seeks to rezone a property from NB to RX-3 instead of NX-3. In this case, NX-3 is the closest comparative district. The request was not submitted by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

68.	<i>Address:</i> 809 Brooklyn St
	<i>PIN:</i> 1704325892
	<i>CAC:</i> Five Points
	<i>Change Request/Comment ID:</i> 180.6 / GEN-0574, -0582

<i>Existing Zoning:</i>	O&I-1
<i>Current Use:</i>	Parking
<i>Proposed Zoning:</i>	OX-3
<i>Requested Zoning:</i>	RX-3
<i>Future Land Use Designation:</i>	Moderate Density Residential
<i>Area Plan Guidance:</i>	N/A
<i>Urban Form Designation:</i>	N/A

The sixth request from the neighborhood group proposes RX-3 zoning for a property currently zoned O&I-1 instead of the proposed OX-3. In this case, OX-3 is the closest comparative district. This request was not submitted by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

69.	<i>Address:</i>	601 Devereux St
	<i>PIN:</i>	1704424530
	<i>CAC:</i>	Five Points
	<i>Change Request/Comment ID:</i>	180.7 / GEN-0574, -0583
	<i>Existing Zoning:</i>	O&I-1, CUD O&I-1
	<i>Current Use:</i>	Elementary School
	<i>Proposed Zoning:</i>	OX-3, OX-3-CU (Z-94-98)
	<i>Requested Zoning:</i>	R-10, R-10-CU
	<i>Future Land Use Designation:</i>	Public Facilities
	<i>Area Plan Guidance:</i>	N/A
	<i>Urban Form Designation:</i>	Within Transit Stop Half-Mile Buffer Frontage on Main Street

The seventh request from the neighborhood group proposes R-10 and R-10-CU zoning for a property currently zoned O&I-1 and CUD O&I-1, respectively, instead of the proposed OX-3 and OX-3-CU. In this case, OX-3 and OX-3-CU are the closest comparative districts. This request was not submitted by the property owner. Staff disagrees with the request.

Recommendation: No change to the map.

70.	<i>Address:</i>	1220 Pierce St
	<i>PIN:</i>	1704547412
	<i>CAC:</i>	Five Points
	<i>Change Request/Comment ID:</i>	22 / GEN-0081; CC2-0109
	<i>Existing Zoning:</i>	SP R-30, IND-2, & O&I-1
	<i>Current Use:</i>	Parking
	<i>Proposed Zoning:</i>	R-10
	<i>Requested Zoning:</i>	OX-3
	<i>Future Land Use Designation:</i>	Office & Residential Mixed Use
	<i>Area Plan Guidance:</i>	N/A
	<i>Urban Form Designation:</i>	N/A

The property owner requests a change to OX-3 for the property, which is currently used as parking and is split zoned between three zoning districts. Staff initially proposed R-10. The property owners, who also own the property directly to the north at 302 Jefferson Street, use the subject parcel as parking for the buildings to the north, a use which is allowed by two of the three zoning districts currently in place on the property. R-10 zoning would make the current use non-conforming. Staff agrees that OX-3 would be a reasonable alternative zoning choice for the property.

Recommendation: The property should be zoned OX-3.

71.	<i>Address:</i> 1220 Pierce St
	<i>PIN:</i> 1704547412
	<i>CAC:</i> Five Points
	<i>Change Request/Comment ID:</i> 23 / GEN-0185, -0485
	<i>Existing Zoning:</i> SP R-30, IND-2, & O&I-1
	<i>Current Use:</i> Parking
	<i>Proposed Zoning:</i> R-10 -> OX-3 (via owner change request)
	<i>Requested Zoning:</i> R-10
	<i>Future Land Use Designation:</i> Office & Residential Mixed Use
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> N/A

The commentor requests that the property at 1220 Pierce Street be zoned R-10 instead of OX-3 as requested by the property owner. Given the existing development as a parking lot, OX-3 is an appropriate recommendation to avoid creation of a new non-conformity. This request was not submitted by the property owner.

Recommendation: The property should be zoned OX-3.

72.	<i>Address:</i> 1315 Filmore St
	<i>PIN:</i> 1704541874
	<i>CAC:</i> Five Points
	<i>Change Request/Comment ID:</i> 114 & 180.8 / GEN-0435 & GEN-0584
	<i>Existing Zoning:</i> SP R-30
	<i>Current Use:</i> Multi-Unit Living
	<i>Proposed Zoning:</i> R-10
	<i>Requested Zoning:</i> RX-3
	<i>Future Land Use Designation:</i> Moderate Density Residential
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> N/A

Two separate comments were submitted for this property, both requests for RX-3 zoning instead of R-10. One comment was made on behalf of the property owner; the other comes as

the final part of the request from the group representing the Glenwood Brooklyn Neighborhood. The property is currently used as multi-family residential. Staff believes this is an appropriate district and agrees with the requests for RX-3.

Recommendation: The property should be zoned RX-3.

73.	<i>Address:</i> 1307 Filmore St
	<i>PIN:</i> 1704542749
	<i>CAC:</i> Five Points
	<i>Change Request/Comment ID:</i> 115 / GEN-0435
	<i>Existing Zoning:</i> SP R-30
	<i>Current Use:</i> Single-Unit Living
	<i>Proposed Zoning:</i> R-10
	<i>Requested Zoning:</i> RX-3
	<i>Future Land Use Designation:</i> Moderate Density Residential
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> N/A

The property owner requests rezoning to RX-3 for the property currently zoned SP R-30 instead of the R-10 proposed by Staff. In this case, R-10 would provide the closest comparative district. The property is used as a single-family residence and the density is less than 10 units per acre. Staff disagrees with the request.

Recommendation: No change to the map.

74.	<i>Address:</i> 719 & 725 N Boylan Ave
	<i>PIN:</i> 1704421500, 1704420596
	<i>CAC:</i> Five Points
	<i>Change Request/Comment ID:</i> 19 / GEN-0066
	<i>Existing Zoning:</i> SP R-30
	<i>Current Use:</i> Two-Unit Living; Place of Worship
	<i>Proposed Zoning:</i> R-10
	<i>Requested Zoning:</i> OX-3
	<i>Future Land Use Designation:</i> Moderate Density Residential
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> Within Transit Stop Half-Mile Buffer

The commentor, who owns the property at 719 N. Boylan Avenue, requests the properties be rezoned to OX-3 instead of R-10 as proposed by Staff. The current zoning is SP R-30. Staff believes that R-10 provides the closest comparative district to the existing zoning. Attached houses and places of worship are both permitted uses in the R-10 zoning category. As such, Staff does not agree with the request.

Recommendation: No change to the map.

75.	<i>Address:</i> 502 & 504 Washington St
	<i>PIN:</i> 1704534811, 1704534891
	<i>CAC:</i> Five Points
	<i>Change Request/Comment ID:</i> 31 / GEN-0209
	<i>Existing Zoning:</i> SP R-30
	<i>Current Use:</i> Single-Unit Living & Vacant
	<i>Proposed Zoning:</i> R-10
	<i>Requested Zoning:</i> RX-3
	<i>Future Land Use Designation:</i> Moderate Density Residential
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> N/A

The property owner requests rezoning to RX-3 for the properties currently zoned SP R-30 instead of the R-10 proposed by Staff. Staff agrees that RX-3 would be a reasonable alternative zoning choice for the properties, as one of the two properties is vacant, the two properties are under common ownership, the properties are located adjacent to IX-3 and NX-3 zoning, and the properties are bordered by a street, alleyways, and a railroad right of way.

Recommendation: The properties should be zoned RX-3.

76.	<i>Address:</i> 501 Washington St
	<i>PIN:</i> 1704533419
	<i>CAC:</i> Five Points
	<i>Change Request/Comment ID:</i> 42 / GEN-0313
	<i>Existing Zoning:</i> SP R-30 & NB
	<i>Current Use:</i> Indoor Recreation
	<i>Proposed Zoning:</i> R-10 & NX-3
	<i>Requested Zoning:</i> NX-3
	<i>Future Land Use Designation:</i> Moderate Density Residential
	<i>Area Plan Guidance:</i> N/A
	<i>Urban Form Designation:</i> N/A

The property owner requests that the lot, which is split zoned between SP R-30 and NB, be rezoned in its entirety to NX-3 under the UDO. Staff believes that the current recommendation of split zoning of R-10 and NX-3 provides the best interpretation of existing zoning entitlements and current land use and development context. A significant portion of the property is adjacent to parcels recommended for R-10 zoning. While this parcel may be rezoned in the future to allow for expansion of the neighborhood business/neighborhood mixed use designation, staff believes that that decision should be made as part of the public process of a privately initiated rezoning. Staff disagrees with the request.

Recommendation: No change to the map.

77.	<i>Address:</i> 704 Glenwood Ave
-----	----------------------------------

<i>PIN:</i>	1704427350
<i>CAC:</i>	Five Points
<i>Change Request/Comment ID:</i>	82 / WEB-20178
<i>Existing Zoning:</i>	SP R-30 & NB
<i>Current Use:</i>	Single-Unit Living w/Home Occupation
<i>Proposed Zoning:</i>	R-10
<i>Requested Zoning:</i>	NX-3
<i>Future Land Use Designation:</i>	Moderate Density Residential
<i>Area Plan Guidance:</i>	N/A
<i>Urban Form Designation:</i>	Frontage on a Main Street Within Transit Stop Half-Mile Buffer

The property owner requests that the property, currently split-zoned SP R-30 and NB, be rezoned entirely to NX-3. Staff initially proposed to address the split zoning with R-10; Wake County tax information pointed to single family residential use for property. After receiving the property owners request and notification that they operate a business (office use) on the property in addition to residing there, staff researched approved plans and/or permits for the business. No approved site plans or permits for a either a home occupation or home-based business were found. The owners did obtain a privilege license for the business.

Staff is concerned about the precedent of extending NX zoning on Glenwood Avenue north of Peace Street, as part of the remapping effort. The property is located outside the Peace Street Mixed Use Center. An alternative could be to rezone the property to R-10 and have the property owner apply for either a home occupation or live-work permit.

Recommendation: Further discussion.

Staff met with Pullen Park neighborhood representatives before and during the creation of the remapping recommendations. Staff suggested two options for SP R-30 rezoning: 1) rezone SP R-30 properties to Residential Mixed Use- 3 Stories (RX-3), directly translate the SP R-30 design standards to NCOD standards, and apply the NCOD through the process defined by the UDO, or 2) rezone properties to R-10 and rely upon the UDO infill design standards for residential districts. The neighborhood prefers neither of these options, and staff has proposed a combination of R-10 and RX-3 zoning.

Staff has received numerous comments and requests regarding zoning for the neighborhood. Some comments advocate residential zoning for the neighborhood, while some support RX-3 for the area. Included below are related requests for individual properties or groups of parcels within the Pullen Park neighborhood. Staff recommends further discussion on these items.

78.	<i>Address:</i>	Pullen Park Neighborhood
	<i>PIN:</i>	Various
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	112 / GEN-0114

<i>Existing Zoning:</i>	SP R-30, R-20, R-30, O&I-2, IND-2
<i>Current Use:</i>	Single-, Two-, & Multi-Unit Living; Warehouse; Fraternity
<i>Proposed Zoning:</i>	R-10 & RX-3
<i>Requested Zoning:</i>	Various
<i>Future Land Use Designation:</i>	Moderate / Medium Density Residential
<i>Area Plan Guidance:</i>	Part in Downtown Plan Update (in progress)
<i>Urban Form Designation:</i>	Within Transit Stop Half-Mile Buffer

Recommendation: Further discussion.

79.	<i>Address:</i>	106 Wakefield Ave
	<i>PIN:</i>	1703195540
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	88 / WEB-21762
	<i>Existing Zoning:</i>	IND-2 w/SRPOD
	<i>Current Use:</i>	Warehouse
	<i>Proposed Zoning:</i>	RX-3 w/SRPOD
	<i>Requested Zoning:</i>	RX-2 (25ft height) w/SRPOD
	<i>Future Land Use Designation:</i>	Medium Density Residential
	<i>Area Plan Guidance:</i>	West Morgan Area Study Downtown Plan Update (in process)
	<i>Urban Form Designation:</i>	Downtown Within Transit Stop Half-Mile Buffer Part Frontage on Main Street

The commentor requests a 2 story (25 foot) height limit be placed on the zoning for the property at 106 Wakefield Ave to address concerns about the development of this parcel. Staff proposes RX-3 for the property, which is currently IND-2. The recommendation follows the Future Land Use designation, and is a downzoning from a more intensive district. The minimum height under the UDO is 3 stories. Any mixed use district, including RX-3, would require neighborhood transitions adjacent to R-10 zoning at the time of redevelopment. The SPROD would be retained from the existing zoning code.

Recommendation: Further Discussion.

80.	<i>Address:</i>	216 Dexter Pl
	<i>PIN:</i>	1703099689
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	72 / WEB-9922
	<i>Existing Zoning:</i>	SP R-30 w/SRPOD
	<i>Current Use:</i>	Multi-Unit Living
	<i>Proposed Zoning:</i>	R-10 w/SRPOD
	<i>Requested Zoning:</i>	RX-3 w/SRPOD
	<i>Future Land Use Designation:</i>	Moderate Density Residential

<i>Area Plan Guidance:</i>	N/A
<i>Urban Form Designation:</i>	Within Transit Stop Half-Mile Buffer

The property owner requests RX-3 zoning instead of R-10. Current zoning is SP R-30. While the current use of the property is multi-unit living with a density in excess of 10 units per acre, Staff believes R-10 is a more appropriate district under the UDO. If the property were to be rezoned to RX-3 and its neighbors R-10, its small, non-conforming lot size and the neighborhood transition requirements would place limit redevelopment potential of the property for multifamily use. The current multi-unit living use of the property could continue as a legal nonconformity. As such, Staff disagrees with the request.

Recommendation: No change to the map.

81.	<i>Address:</i>	217, 219, & 221 Dexter Pl; 301 Park Ave
	<i>PIN:</i>	1703099601, 1703098682, 1703098626, 1703097669
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	71 / WEB-7682,-7683,-8321,-10242; GEN-0057
	<i>Existing Zoning:</i>	SP R-30 w/SRPOD
	<i>Current Use:</i>	Single-Unit Living & Vacant
	<i>Proposed Zoning:</i>	R-10 w/SRPOD
	<i>Requested Zoning:</i>	RX-3 w/SRPOD
	<i>Future Land Use Designation:</i>	Moderate Density Residential
	<i>Area Plan Guidance:</i>	N/A
	<i>Urban Form Designation:</i>	Within Transit Stop Half-Mile Buffer

The property owners request RX-3 zoning for the 4 properties located south of Dexter Place. The property owners believe RX-3 is more closely aligned with the other properties on the south side of Dexter Place. Staff agrees that RX-3 would be a reasonable alternative zoning choice for the properties. As neighboring properties south of Dexter Place are currently proposed for RX-3, rezoning these parcels to RX-3 would provide a consistent zoning district on this block and serve as a transition from the OX-3 and RX-3 zoning to the south and east. It would also relieve the burden of neighborhood transitions on those neighboring RX-3 parcels. The SPROD would remain.

Recommendation: The properties should be zoned RX-3 w/ SRPOD.

82.	<i>Address:</i>	206 Ashe Ave; 216 Dexter Pl; 207, 211, 213, & 219 Park Ave
	<i>PIN:</i>	1703191740, 1703099689, 1703190883, 1703190841, 1703099799, 1703098776
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	79 & 116 / WEB-15366, -15367, -15368, -16322, -16323, -16338; GEN-0418, -0535
	<i>Existing Zoning:</i>	SP R-30 w/SRPOD

<i>Current Use:</i>	Two-, & Multi-Unit Living
<i>Proposed Zoning:</i>	R-10 w/SRPOD
<i>Requested Zoning:</i>	RX-3 w/SRPOD
<i>Future Land Use Designation:</i>	Moderate Density Residential
<i>Area Plan Guidance:</i>	N/A
<i>Urban Form Designation:</i>	Within Transit Stop Half-Mile Buffer

This item represents several requests for properties in the Pullen Park neighborhood in the block bounded by Ashe Avenue, Flint Place, Park Avenue, and Dexter Place. Commentors request RX-3 zoning. This item relates to item 76 as it deals with the issue of R-10 vs RX-3 for current SP R-30 properties. Staff generally based the proposal of R-10 on use (some are two-unit living) and existing lot size relative to UDO requirements for minimum lot size for various development options under R-10 and RX-3. Staff recommends further discussion of the issue.

Recommendation: Further discussion.

83.	<i>Address:</i>	212, 214, & 216 Cox Ave
	<i>PIN:</i>	1703095947, 1703095943, 1703095849
	<i>CAC:</i>	Hillsborough
	<i>Change Request/Comment ID:</i>	113 / GEN-0436, -0437, -0438
	<i>Existing Zoning:</i>	SP R-30 w/SRPOD
	<i>Current Use:</i>	Single- & Two-Unit Living
	<i>Proposed Zoning:</i>	R-10 w/SRPOD
	<i>Requested Zoning:</i>	RX-3 w/SRPOD
	<i>Future Land Use Designation:</i>	Moderate Density Residential
	<i>Area Plan Guidance:</i>	N/A
<i>Urban Form Designation:</i>	Within Transit Stop Half-Mile Buffer	

The commentor requests RX-3 zoning for the three properties. They are currently zoned SP R-30 and contain two single family homes and a duplex. Staff believes that R-10 provides the closest comparative district to the existing zoning and development pattern of the properties; existing development would conform to R-10 standards. If zoned RX-3, the individual properties would be limited to the same redevelopment opportunities, single or two-unit living, as R-10 zoning due to lot sizes and widths. This request was submitted by one of the three property owners. Staff disagrees with the request.

Recommendation: No change to the map.

From: [Walter, Bynum](#)
To: [Alley, Elizabeth](#)
Cc: [Rezoning](#)
Subject: FW: Flint Place Property - Miss Nancy Ann Wright
Date: Friday, September 26, 2014 11:52:15 AM
Attachments: [doc10120520140926092010.pdf](#)

Elizabeth –

I've copied the rezoning email address so that this letter and email from John Hardin it will be catalogued with all other comments from the public about the remapping.

Thanks – Bynum

From: John A. Hardin [mailto:jhardin@manningfulton.com]
Sent: Friday, September 26, 2014 10:23 AM
To: Alley, Elizabeth
Cc: Walter, Bynum
Subject: Flint Place Property - Miss Nancy Ann Wright

Elizabeth,

Attached, please find a letter confirming the information you provided me re: the proposed rezoning on Flint Pl.

Thanks again for all of your help on this issue and have a great weekend!

All best,
John



[John A. Hardin](#)

Manning Fulton & Skinner, P.A.
3605 Glenwood Ave. Ste. 500 (27612)
P.O. Box 20389
Raleigh, North Carolina 27619-0389
(919) 787-8880 Main
(919) 325-4612 Facsimile

www.manningfulton.com

Confidentiality Notice: This e-mail message and any attachments are intended solely for the individual or individuals designated above. It may contain confidential or proprietary

information and may be subject to the attorney-client privilege or other confidentiality protections. If you are not the intended recipient, you are not authorized to read, copy, retain or distribute this message. If you receive this message in error, please notify the sender by reply e-mail and delete this message. The sender does not waive any privilege or right of privacy or confidentiality that may attach to this communication. Thank you.

IRS CIRCULAR 230 NOTICE: To comply with requirements imposed by the IRS, we inform you that any tax advice contained in this communication (including any attachment) is not intended to be used, and cannot be used, for the purpose of (i) avoiding penalties under the Internal Revenue Code or (ii) promoting, marketing or recommending to another party any transaction or matter addressed in this communication (including any attachment).

From: [Alley, Elizabeth](mailto:Alley.Elizabeth)
To: [John A. Hardin](mailto:John.A.Hardin)
Cc: [Rezoning](#)
Subject: RE: 0 Flint Pl, rezoning inquiry GEN-0426
Date: Monday, September 22, 2014 11:28:12 AM

John,

Yes, the proposal will be OX-5, with the removal of the inadvertently placed GR frontage.

Best wishes,
Elizabeth

Elizabeth Alley, AICP

Urban Designer + Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department
220 Fayetteville Street, Suite 200 Raleigh, NC 27601
919.996.4639
Elizabeth.Alley@raleighnc.gov
www.raleighnc.gov/urbandesign

From: John A. Hardin [<mailto:jhardin@manningfulton.com>]
Sent: Monday, September 22, 2014 8:31 AM
To: Alley, Elizabeth
Subject: RE: 0 Flint Pl, rezoning inquiry GEN-0426

Elizabeth,

Thank you so much for getting back to me and this is a huge help. One follow up – the new zoning classification (OX-5) will remain in place? The only thing you’re proposing to change is dropping the inadvertent addition of the Green frontage?

Thanks again – and I hope you had a nice weekend.

All best,
John

From: Alley, Elizabeth [<mailto:Elizabeth.Alley@raleighnc.gov>]
Sent: Thursday, September 18, 2014 11:17 AM
To: John A. Hardin
Subject: 0 Flint Pl, rezoning inquiry GEN-0426

John,

Thank you for your voicemail regarding the property located at 0 Flint Place. You inquired as to

whether the Green frontage and associated setback that is proposed for 1615 Hillsborough Street would also apply to this property.

I have done a bit of research into the staff-proposed UDO map, and it appears that we have mapped Green frontage onto 0 Flint Place in error. We will be proposing the removal of the proposed Green frontage from 0 Flint Place as part of our report to Planning Commission on the UDO remapping project later this fall.

Please let me know if you have any further questions.

Regards,
Elizabeth

Elizabeth Alley, AICP

Urban Designer + Planner

Raleigh Urban Design Center

An Office of the Planning & Development Department

220 Fayetteville Street, Suite 200 Raleigh, NC 27601

919.996.4639

Elizabeth.Alley@raleighnc.gov

www.raleighnc.gov/urbandesign

Confidentiality Notice: This e-mail message and any attachments are intended solely for the individual or individuals designated above. It may contain confidential or proprietary information and may be subject to the attorney-client privilege or other confidentiality protections. If you are not the intended recipient, you are not authorized to read, copy, retain or distribute this message. If you receive this message in error, please notify the sender by reply e-mail and delete this message. The sender does not waive any privilege or right of privacy or confidentiality that may attach to this communication. Thank you.

IRS CIRCULAR 230 NOTICE: To comply with requirements imposed by the IRS, we inform you that any tax advice contained in this communication (including any attachment) is not intended to be used, and cannot be used, for the purpose of (i) avoiding penalties under the Internal Revenue Code or (ii) promoting, marketing or recommending to another party any transaction or matter addressed in this communication (including any attachment).

September 26, 2014

via email to: elizabeth.alley@raleighnc.gov

Ms. Elizabeth Alley
220 Fayetteville Street
Briggs Building, Suite 200
Raleigh, NC 27601

Re: Flint Place Property - Miss Nancy Ann Wright

Dear Elizabeth:

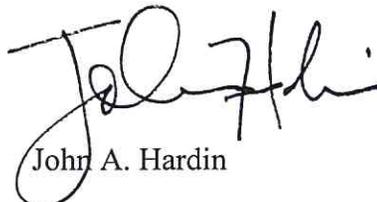
Thank you for taking the time to talk with me in regard to the two adjoining parcels that Miss Wright owns extending from Hillsborough Street to Flint Place. The two lots are shown on the attached map that we have printed from the Wake County GIS system.

I understand that there will be a correction to the proposed zoning plan as it affects the Flint Place parcel. I understand that the "green" frontage requirement will not be applicable, and the proposed zoning will be OX-5 instead of OX-5-GR.

Again, thank you for your assistance.

Sincerely yours,

MANNING, FULTON & SKINNER, P.A.



John A. Hardin

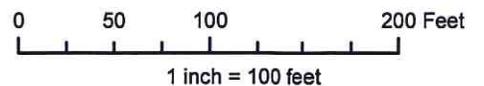
cc: Ms. Bynum Walter (via email to: bynum.walter@raleighnc.gov)
Miss Nancy Ann Wright



Flint Place Lot / Hillsborough Street Lot

PIN: 1704009302 000
 Real Estate ID: 0028254
 Map Name: 1704 17
 Owner: WRIGHT, NANCY A
 Mailing Address 1: 344 SPRINGMOOR DR
 Mailing Address 2: RALEIGH NC 27615-7740
 Deed Book: 000000
 Deed Page: 00000
 Deed Date: 03/16/1987
 Deeded Acreage: 0.27
 Assessed Building Value: \$13,750
 Assessed Land Value: \$37,635
 Total Assessed Value: \$51,385
 Billing Class: Individual
 Property Description: FLINT PLACE
 Heated Area: 0
 Site Address: 0 FLINT PL
 City: RALEIGH

Township: Raleigh
 Year Built: 0
 Total Sale Price: \$0
 Land Class: ACRE IMP
 Old Parcel Number: D019-D0081-025A



Disclaimer
 iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

From: [Becker, Dan](#)
To: [Mosher, Robert F \(rmosher@ncdot.gov\)](mailto:rmosher@ncdot.gov)
Subject: RE: New Zoning Map - 900 Hillsborough St [GEN-0456]
Date: Tuesday, October 07, 2014 8:52:00 AM

Bob—

The staff review team has evaluated your comments and requests regarding this property (Saint Mary's School). Frontages are an optional designation for mixed use districts in order to establish or preserve a desired development pattern along the street edge. Green frontage is more about the nature of building relationship to the street; it is not conceived of as a tree protection tool.

Accordingly, staff does not support the suggested change. However, your request will be forwarded to the Planning Commission for its consideration. As noted in my earlier email below, you can sign up for MyRaleigh subscriptions to receive notifications of Planning Commission UDO review agendas if you wish to track its consideration of this item.

Regards,

Dan

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Becker, Dan
Sent: Monday, September 29, 2014 3:31 PM
To: Mosher, Robert F
Subject: RE: New Zoning Map - 900 Hillsborough St [GEN-0456]

Bob—

Thank you for your interest in the zoning remapping project. This email acknowledges receipt of your inquiry. We are receiving a significant number of requests as the September 30 deadline for comments arrives. It will take some time for the staff team that is reviewing requests to work through the influx. You can expect to receive a follow-up contact with the staff response no later than October 10.

More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "[UDO - Unified Development Ordinance](#)." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on

October 21.

Regards,

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Mosher, Robert F [<mailto:rmosher@ncdot.gov>]
Sent: Friday, September 26, 2014 3:26 PM
To: Rezoning
Cc: ronaycocknc@aol.com; Becker, Dan
Subject: New Zoning Map

A couple of comments:

Would it not be preferable to re-zone Pullen Park as a residential district like R-10 (like Fred Fletcher Park), rather than OX? Or, if OX is appropriate wouldn't OX with a Green Frontage be more appropriate.

Similarly, why not re-zone Saint Mary's School OX-3-Gr?

Across Hillsborough St., why are the Cameron Court Apartments recommended as RX? Didn't the "West Morgan Area Study" recommend conserving the green, front yard area along Hillsborough St.? Seems like RX-3 Gr. Or OX-3-Gr. would better protect the leafy asset.

ALSO, my neighbor Ron Aycock, whose single family house at 1200 Park Dr. is shown as OX-3-Gr, may prefer R-6 zoning, as his neighbor's house is proposed to be zoned. Ron may want to comment on this.

These are my personal comments . . .

Thanks, Bob Mosher

From: [Becker, Dan](#)
To: [Mosher, Robert F](#)
Subject: RE: New Zoning Map - 905 Hillsborough St [GEN-0457]
Date: Tuesday, October 07, 2014 8:52:00 AM

Bob—

The staff review team has evaluated your comments and requests regarding this property (Cameron Court Apartments). Frontages are an optional designation for mixed use districts in order to establish or preserve a desired development pattern along the street edge. Green frontage is more about the nature of building relationship to the street; it is not conceived of as a tree protection tool. The building footprints of Cameron Court do not meet the locational requirements of the Green frontage. Applying the –GR frontage designation would create a zoning non-conformity, which we have tried to avoid throughout the remapping effort. The best match for the as-built conditions is the proposed RX-4 designation.

Accordingly, staff does not support the suggested change. However, your request will be forwarded to the Planning Commission for its consideration. As noted in my earlier email below, you can sign up for MyRaleigh subscriptions to receive notifications of Planning Commission UDO review agendas if you wish to track its consideration of this item.

Regards,

Dan

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Becker, Dan
Sent: Monday, September 29, 2014 3:33 PM
To: Mosher, Robert F
Subject: RE: New Zoning Map - 905 Hillsborough St [GEN-0457]

Bob—

Thank you for your interest in the zoning remapping project. This email acknowledges receipt of your inquiry. We are receiving a significant number of requests as the September 30 deadline for comments arrives. It will take some time for the staff team that is reviewing requests to work through the influx. You can expect to receive a follow-up contact with the staff response no later than October 10.

More information on the remapping project as the Planning Commission begins its review is

available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "[UDO - Unified Development Ordinance](#)." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Regards,

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Mosher, Robert F [<mailto:rmosher@ncdot.gov>]
Sent: Friday, September 26, 2014 3:26 PM
To: Rezoning
Cc: ronaycocknc@aol.com; Becker, Dan
Subject: New Zoning Map

A couple of comments:

Would it not be preferable to re-zone Pullen Park as a residential district like R-10 (like Fred Fletcher Park), rather than OX? Or, if OX is appropriate wouldn't OX with a Green Frontage be more appropriate.

Similarly, why not re-zone Saint Mary's School OX-3-Gr?

Across Hillsborough St., why are the Cameron Court Apartments recommended as RX? Didn't the "West Morgan Area Study" recommend conserving the green, front yard area along Hillsborough St.? Seems like RX-3 Gr. Or OX-3-Gr. would better protect the leafy asset.

ALSO, my neighbor Ron Aycock, whose single family house at 1200 Park Dr. is shown as OX-3-Gr, may prefer R-6 zoning, as his neighbor's house is proposed to be zoned. Ron may want to comment on this.

These are my personal comments . . .

Thanks, Bob Mosher

From: [Rezoning](#)
To: [Mosher, Robert F](#)
Subject: RE: New Zoning Map - 410 Park Ave [GEN-0455]
Date: Tuesday, October 07, 2014 8:51:00 AM

Bob—

The staff review team has evaluated your comments and requests regarding this property (Pullen Park). As a general rule, park lands have been proposed for zoning consistent with the zoning districts and uses of the general area within which they are located. There are very limited areas of residential zoning and usage surrounding Pullen Park, unlike Fred Fletcher Park, which is almost entirely surrounded by residential districts and uses. Likewise, frontages are an optional designation for mixed use districts in order to establish or preserve a desired development pattern along the street edge. Green frontage is more about the nature of building relationship to the street; it is not conceived of as a tree protection tool.

Accordingly, staff does not support the suggested changes. However, your request will be forwarded to the Planning Commission for its consideration. As noted in my earlier email below, you can sign up for MyRaleigh subscriptions to receive notifications of Planning Commission UDO review agendas if you wish to track its consideration of this item.

Regards,

Dan

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Rezoning
Sent: Monday, September 29, 2014 3:27 PM
To: 'Mosher, Robert F'
Subject: RE: New Zoning Map - 410 Park Ave [GEN-0455]

Bob—

Thank you for your interest in the zoning remapping project. This email acknowledges receipt of your inquiry. We are receiving a significant number of requests as the September 30 deadline for comments arrives. It will take some time for the staff team that is reviewing requests to work through the influx. You can expect to receive a follow-up contact with the staff response no later than October 10.

More information on the remapping project as the Planning Commission begins its review is

available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "[UDO - Unified Development Ordinance](#)." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Mosher, Robert F [<mailto:rmosher@ncdot.gov>]
Sent: Friday, September 26, 2014 3:26 PM
To: Rezoning
Cc: ronaycocknc@aol.com; Becker, Dan
Subject: New Zoning Map

A couple of comments:

Would it not be preferable to re-zone Pullen Park as a residential district like R-10 (like Fred Fletcher Park), rather than OX? Or, if OX is appropriate wouldn't OX with a Green Frontage be more appropriate.

Similarly, why not re-zone Saint Mary's School OX-3-Gr?

Across Hillsborough St., why are the Cameron Court Apartments recommended as RX? Didn't the "West Morgan Area Study" recommend conserving the green, front yard area along Hillsborough St.? Seems like RX-3 Gr. Or OX-3-Gr. would better protect the leafy asset.

ALSO, my neighbor Ron Aycock, whose single family house at 1200 Park Dr. is shown as OX-3-Gr, may prefer R-6 zoning, as his neighbor's house is proposed to be zoned. Ron may want to comment on this.

These are my personal comments . . .

Thanks, Bob Mosher

From: [Becker, Dan](#)
To: [Ron Aycock](#)
Cc: [Mosher, Robert F](#)
Subject: RE: New Zoning Map - 1200 Park Dr {GEN-0461 & -0458}
Date: Friday, October 03, 2014 4:46:00 PM

Dear Mr. Aycock—

The staff review team was able to discuss your property at its meeting this past Tuesday.

You have asked to have your property remapped from its existing O&I-1 w/NCOD to R-6 w/NCOD instead of the initial staff proposal of OX-3-GR w/NCOD.

Staff will forward to the Planning Commission your request to have your property rezoned as R-6 w/NCOD. It will be placed in the category of “Staff agrees with the commenter.”

Regards,

Dan

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Becker, Dan
Sent: Monday, September 29, 2014 3:38 PM
To: Ron Aycock
Cc: Mosher, Robert F
Subject: RE: New Zoning Map - 1200 Park Dr {GEN-0461 & -0458}

Dear Mr. Aycock—

Thank you for your interest in the zoning remapping project. This email acknowledges receipt of your inquiry. We are receiving a significant number of requests as the September 30 deadline for comments arrives. It will take some time for the staff team that is reviewing requests to work through the influx. You can expect to receive a follow-up contact with the staff response no later than October 10.

More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic “[UDO - Unified Development Ordinance](#).” You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Regards,

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Ron Aycock [<mailto:ronaycocknc@aol.com>]
Sent: Friday, September 26, 2014 9:54 PM
To: Mosher, Robert F
Cc: Rezoning; Becker, Dan
Subject: Re: New Zoning Map

Yes! Please make my zoning at 1200 Park Dr. The same as the rest of my residential neighbors.

Ron Aycock
1200 Park Drive
Raleigh NC 27605
Phone. 919-621-1801

Sent from my iPad

On Sep 26, 2014, at 3:25 PM, "Mosher, Robert F" <rmosher@ncdot.gov> wrote:

A couple of comments:

Would it not be preferable to re-zone Pullen Park as a residential district like R-10 (like Fred Fletcher Park), rather than OX? Or, if OX is appropriate wouldn't OX with a Green Frontage be more appropriate.

Similarly, why not re-zone Saint Mary's School OX-3-Gr?

Across Hillsborough St., why are the Cameron Court Apartments recommended as RX? Didn't the "West Morgan Area Study" recommend conserving the green, front yard area along Hillsborough St.? Seems like RX-3 Gr. Or OX-3-Gr. would better protect the leafy asset.

ALSO, my neighbor Ron Aycock, whose single family house at 1200 Park Dr. is shown as OX-3-Gr, may prefer R-6 zoning, as his neighbor's house is proposed to be zoned. Ron may want to comment on this.

These are my personal comments . . .

Thanks, Bob Mosher

Email correspondence to and from this sender is subject to the N.C. Public Records Law and may be disclosed to third parties.

From: [Becker, Dan](#)
To: [Mosher, Robert F](#)
Subject: RE: New Zoning Map - 905 Hillsborough St [GEN-0457]
Date: Monday, September 29, 2014 3:33:06 PM

Bob—

Thank you for your interest in the zoning remapping project. This email acknowledges receipt of your inquiry. We are receiving a significant number of requests as the September 30 deadline for comments arrives. It will take some time for the staff team that is reviewing requests to work through the influx. You can expect to receive a follow-up contact with the staff response no later than October 10.

More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "[UDO - Unified Development Ordinance](#)." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Regards,

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Mosher, Robert F [mailto:rmosher@ncdot.gov]
Sent: Friday, September 26, 2014 3:26 PM
To: Rezoning
Cc: ronaycocknc@aol.com; Becker, Dan
Subject: New Zoning Map

A couple of comments:

Would it not be preferable to re-zone Pullen Park as a residential district like R-10 (like Fred Fletcher Park), rather than OX? Or, if OX is appropriate wouldn't OX with a Green Frontage be more appropriate.

Similarly, why not re-zone Saint Mary's School OX-3-Gr?

Across Hillsborough St., why are the Cameron Court Apartments recommended as RX? Didn't the "West Morgan Area Study" recommend conserving the green, front yard area along Hillsborough St.? Seems like RX-3 Gr. Or OX-3-Gr. would better protect the leafy asset.

ALSO, my neighbor Ron Aycock, whose single family house at 1200 Park Dr. is shown as OX-3-Gr, may prefer R-6 zoning, as his neighbor's house is proposed to be zoned. Ron may want to comment on this.

These are my personal comments . . .

Thanks, Bob Mosher

Email correspondence to and from this sender is subject to the N.C. Public Records Law and may be disclosed to third parties.

From: [Becker, Dan](#)
To: [Mosher, Robert F](#)
Subject: RE: New Zoning Map - 900 Hillsborough St [GEN-0456]
Date: Monday, September 29, 2014 3:31:11 PM

Bob—

Thank you for your interest in the zoning remapping project. This email acknowledges receipt of your inquiry. We are receiving a significant number of requests as the September 30 deadline for comments arrives. It will take some time for the staff team that is reviewing requests to work through the influx. You can expect to receive a follow-up contact with the staff response no later than October 10.

More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "[UDO - Unified Development Ordinance](#)." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Regards,

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Mosher, Robert F [mailto:rmosher@ncdot.gov]
Sent: Friday, September 26, 2014 3:26 PM
To: Rezoning
Cc: ronaycocknc@aol.com; Becker, Dan
Subject: New Zoning Map

A couple of comments:

Would it not be preferable to re-zone Pullen Park as a residential district like R-10 (like Fred Fletcher Park), rather than OX? Or, if OX is appropriate wouldn't OX with a Green Frontage be more appropriate.

Similarly, why not re-zone Saint Mary's School OX-3-Gr?

Across Hillsborough St., why are the Cameron Court Apartments recommended as RX? Didn't the "West Morgan Area Study" recommend conserving the green, front yard area along Hillsborough St.? Seems like RX-3 Gr. Or OX-3-Gr. would better protect the leafy asset.

ALSO, my neighbor Ron Aycock, whose single family house at 1200 Park Dr. is shown as OX-3-Gr, may prefer R-6 zoning, as his neighbor's house is proposed to be zoned. Ron may want to comment on this.

These are my personal comments . . .

Thanks, Bob Mosher

Email correspondence to and from this sender is subject to the N.C. Public Records Law and may be disclosed to third parties.

From: [Rezoning](#)
To: [Mosher, Robert F](#)
Subject: RE: New Zoning Map - 410 Park Ave [GEN-0455]
Date: Monday, September 29, 2014 3:26:00 PM

Bob—

Thank you for your interest in the zoning remapping project. This email acknowledges receipt of your inquiry. We are receiving a significant number of requests as the September 30 deadline for comments arrives. It will take some time for the staff team that is reviewing requests to work through the influx. You can expect to receive a follow-up contact with the staff response no later than October 10.

More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "[UDO - Unified Development Ordinance](#)." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Mosher, Robert F [mailto:rmosher@ncdot.gov]
Sent: Friday, September 26, 2014 3:26 PM
To: Rezoning
Cc: ronaycocknc@aol.com; Becker, Dan
Subject: New Zoning Map

A couple of comments:

Would it not be preferable to re-zone Pullen Park as a residential district like R-10 (like Fred Fletcher Park), rather than OX? Or, if OX is appropriate wouldn't OX with a Green Frontage be more appropriate.

Similarly, why not re-zone Saint Mary's School OX-3-Gr?

Across Hillsborough St., why are the Cameron Court Apartments recommended as RX? Didn't the "West Morgan Area Study" recommend conserving the green, front yard area along Hillsborough St.? Seems like RX-3 Gr. Or OX-3-Gr. would better protect the leafy asset.

ALSO, my neighbor Ron Aycock, whose single family house at 1200 Park Dr. is shown as OX-3-Gr, may prefer R-6 zoning, as his neighbor's house is proposed to be zoned. Ron may want to comment on this.

These are my personal comments . . .

Thanks, Bob Mosher

Email correspondence to and from this sender is subject to the N.C. Public Records Law and may be disclosed to third parties.

From: [Ron Aycock](#)
To: [Mosher, Robert F](#)
Cc: [Rezoning; Becker, Dan](#)
Subject: Re: New Zoning Map
Date: Friday, September 26, 2014 9:54:15 PM

Yes! Please make my zoning at 1200 Park Dr. The same as the rest of my residential neighbors.

Ron Aycock
1200 Park Drive
Raleigh NC 27605
Phone. 919-621-1801

Sent from my iPad

On Sep 26, 2014, at 3:25 PM, "Mosher, Robert F" <rmosher@ncdot.gov> wrote:

A couple of comments:

Would it not be preferable to re-zone Pullen Park as a residential district like R-10 (like Fred Fletcher Park), rather than OX? Or, if OX is appropriate wouldn't OX with a Green Frontage be more appropriate.

Similarly, why not re-zone Saint Mary's School OX-3-Gr?

Across Hillsborough St., why are the Cameron Court Apartments recommended as RX? Didn't the "West Morgan Area Study" recommend conserving the green, front yard area along Hillsborough St.? Seems like RX-3 Gr. Or OX-3-Gr. would better protect the leafy asset.

ALSO, my neighbor Ron Aycock, whose single family house at 1200 Park Dr. is shown as OX-3-Gr, may prefer R-6 zoning, as his neighbor's house is proposed to be zoned. Ron may want to comment on this.

These are my personal comments . . .

Thanks, Bob Mosher

From: [Mosher, Robert F](#)
To: [Rezoning](#)
Cc: ronaycocknc@aol.com; [Becker, Dan](#)
Subject: New Zoning Map
Date: Friday, September 26, 2014 3:25:53 PM

A couple of comments:

Would it not be preferable to re-zone Pullen Park as a residential district like R-10 (like Fred Fletcher Park), rather than OX? Or, if OX is appropriate wouldn't OX with a Green Frontage be more appropriate.

Similarly, why not re-zone Saint Mary's School OX-3-Gr?

Across Hillsborough St., why are the Cameron Court Apartments recommended as RX? Didn't the "West Morgan Area Study" recommend conserving the green, front yard area along Hillsborough St.? Seems like RX-3 Gr. Or OX-3-Gr. would better protect the leafy asset.

ALSO, my neighbor Ron Aycock, whose single family house at 1200 Park Dr. is shown as OX-3-Gr, may prefer R-6 zoning, as his neighbor's house is proposed to be zoned. Ron may want to comment on this.

These are my personal comments . . .

Thanks, Bob Mosher

Email correspondence to and from this sender is subject to the N.C. Public Records Law and may be disclosed to third parties.



Michael Birch | Attorney
630 Davis Drive, Suite 200
Morrisville, NC 27560

919-590-0388
mbirch@morningstarlawgroup.com
www.morningstarlawgroup.com

September 30, 2014

Bynum Walter
Department of City Planning & Development
One Exchange Plaza, Suite 304
Raleigh, NC 27601

Re: Remapping of 0 Wade Avenue (1704-35-3002) (the "Property")

Dear Bynum:

On behalf of the owner of the Property, we are submitting this letter in response to the City's proposed rezoning designation for the Property. The City is proposing to remap the Property to OX-4. The owner concurs with the proposed base zoning district of Office Mixed Use. However, the owner disagrees with the proposed height designation of four stories.

We are requesting that the Properties be remapped with a maximum building height of seven stories (OX-7), based on the following:

1. The Properties are designated Office/Residential Mixed Use on the Future Land Use Map, and Table LU-2 "Recommended Height Designations" recommends a height of up to seven stories for property designated Office/Residential Mixed Use and located in a "core/transit" area;
2. The Property is located in close proximity to a large mixed-use center and is within a large employment center along Wade Avenue;
3. The Property is adjacent to two parcels developed with multi-story buildings, one of which is proposed to be rezoned to OX-7;
4. The Properties are located at the intersection of two high-volume streets – Wade Avenue (Avenue/4-Lane Divided) and St. Mary's Street (Avenue/2-Lane Undivided);
5. The Properties are within walking distance to Raleigh CAT bus service (Route 8).

Please feel free to call me should you have any questions or comments.

Sincerely,

A handwritten signature in blue ink, appearing to read "Michael Birch", is written over the typed name.

Michael Birch

From: [Walter, Bynum](#)
To: [Michael Birch](#)
Cc: [Rezoning](#)
Subject: RE: Remapping Comment re: Wade Avenue Property (GEN-0524)
Date: Wednesday, October 08, 2014 9:05:21 PM

Dear Michael –

Thanks for your comment about the proposed rezoning of property on Wade Avenue (PIN 1704-35-3002).

I've had a chance to discuss this request with other members of the planning staff. We believe that the matter merits further discussion. Your comment will be forwarded to the Planning Commission for their discussion without a recommendation from staff.

More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "[UDO - Unified Development Ordinance](#)." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Please let me know if you have questions or need additional information – Bynum

Bynum Walter, AICP
Senior Planner
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Suite 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2178 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Michael Birch [mailto:mbirch@morningstarlawgroup.com]
Sent: Tuesday, September 30, 2014 4:44 PM
To: Walter, Bynum
Subject: Remapping Comment re: Wade Avenue Property

Bynum,

Please see attached comment letter. Please contact me with any questions.

Thanks,

Michael



R. Michael Birch, Jr.
Morningstar Law Group
630 Davis Drive, Suite 200

Morrisville, NC 27560
Office: (919) 590-0388
Mobile: (919) 208-9427
mbirch@morningstarlawgroup.com
www.morningstarlawgroup.com

IRS Compliance: Any tax advice contained in this communication (including any attachments) is not intended or written to be used, and cannot be used, for the purpose of (i) avoiding penalties imposed under the Internal Revenue Code or applicable state or local tax law or (ii) promoting, marketing, or recommending to another party any transaction or matter addressed herein.

Confidentiality Notice: This e-mail is intended only for the addressee named above. It contains information that is privileged, confidential or otherwise protected from use and disclosure. If you are not the intended recipient, you are hereby notified that any review, disclosure, copying, or dissemination of this transmission, or taking of any action in reliance on its contents, or other use is strictly prohibited. If you have received this transmission in error, please reply to the sender listed above immediately and permanently delete this message from your inbox. Thank you for your cooperation.

From: rezoning@raleighnc.gov
To: schase@thewootencompany.com
Subject: City of Raleigh Response Ref #24322
Date: Friday, October 10, 2014 2:48:35 PM

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

Feedback Received August 18th 2014, 6:45 pm

Reference #: 24322

Location: 120 North Boylan Avenue

Comment Type: Existing Land Use/Proposed Zoning Mismatch

Comment: Presently, the NCOD places restrictions on the redevelopment of our property; however the NCOD does not solely make the present use of the structure and property non-conforming. The present structure is a general building type. DE will only allow the following: detached/attached house, townhouse, apartment house, civic building and open lot. Second, the parking areas that serve our structures are located to the side of the structure between the structure and the street. The new zoning will make this non-conforming. Last, buildings facing the 100 block of N. Boylan are presently being used as office and/or low-intensity commercial. Only 2 of these structures are used for residential purposes. The structures located within The Wooten Company campus are solely used as office. The imposition of this new zoning on our properties severely restricts our ability to expand or redevelop. Based on our analysis we disagree with the proposed zoning to OX-3-DE; future correspondence will follow.

City Response on October 10th 2014, 02:48 pm

Your request will be forwarded to the Planning Commission for their review without a recommendation from staff. Planning Commission will take up the issue of citywide remapping for the first time at their meeting on 10/14/14. You can sign up online for notification about when they will discuss particular properties. Click on the link in the green box on the upper right-hand corner of this page:

<http://www.raleighnc.gov/business/content/PlanDev/Articles/Zoning/ZoningRemapping.html>

Thanks for your time,

City of Raleigh Remapping Team

Email: rezoning@raleighnc.gov

Web: www.RaleighUDO.us

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

From: rezoning@raleighnc.gov
To: autumnracine@msn.com
Subject: City of Raleigh Feedback Ref #35522
Date: Saturday, September 27, 2014 6:01:27 PM

Thanks for your feedback on the draft rezoning map. We appreciate your help with this process and will respond to you as soon as we can (generally within 2 business days).

Feedback Received September 27th 2014, 06:01 pm

Reference #: 35522

Location: 808 W HARGETT ST

Comment Type: Comment about Proposed Zoning District

Comment: 1. All put one house/building on the 800-block of W. Hargett St. are one story. How is allowing a 5-story building compatible with that? 2. The vast majority of houses on the 800-block of W. Hargett St. are from the early 1900's. What will be done to protect those structures? 3. What are the parking requirements for new construction? How many spaces must be provided per resident or per customer?

Thanks for your time,

City of Raleigh Remapping Team

Email: rezoning@raleighnc.gov

Web: www.RaleighUDO.us

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

From: [Sandeep, Dhanya](#)
To: autumnracine@msn.com
Subject: WEB-35522
Date: Tuesday, September 30, 2014 3:10:29 PM

Dear Autumn,

Thank you for your interest in the zoning remapping project and the submitted comments. Please note the following clarifications for your questions relating to property at 808 W.Hargett Street:

- 1) Under the UDO zoning, NX is the most comparable and compatible zoning category to the existing NB zoning. While the existing buildings may not be 5 stories in height, the future height designation for 5 stories was recommended for this area by a planning study completed in 2010 – the West Morgan Area study. The policy guidance provided by the study justifies the 5 story designation for this block. The report can be accessed at this link:

<http://www.raleighnc.gov/business/content/PlanUrbanDesign/Articles/WestMorganAreaStudy.html>

- 2) In follow-up to your question about how to preserve existing buildings, there are zoning overlays that can be pursued for added protection. Neighborhood Conservation Overlays is one option that helps preserve overall appearance and character of a neighborhood. Using this tool, setbacks and heights can be regulated based on the built characteristics of the block. NCODs can be applied to neighborhoods with minimum 15 contiguous area along with other locational guidelines. Please review UDO Sec.5.4.3. for more information.

The other tool available is Streetside Historic Overlay District (HOS-S), that helps preserve the view from the street (primarily facades) of historic buildings. Please review UDO Sec.5.4.2. for more information.

At this point, no new overlay district is being proposed for the property. Infill compatibility standards of the UDO also provide some level of compatibility standards for new construction.

The UDO document can be accessed at this link:

<http://www.raleighnc.gov/business/content/PlanDev/Articles/Zoning/ZoningRemapping.html>

- 3) For parking requirements please refer to UDO Sec.7.1.2.C (Parking Requirement by Use Table)

Hope this answers your questions. At this point staff does not recommend any change to the proposed zoning of this property. However, we will forward your comments to the Planning Commission for their consideration.

More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "[UDO - Unified Development Ordinance](#)." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on

October 21.

If you have further questions on this, please do not hesitate to contact me.

Thanks,

Dhanya

~~~~~

**Dhanya Purushothaman-Sandeep, AICP**  
**Urban Planner**  
**Raleigh Urban Design Center**  
**An Office of the Planning and Development Department**  
**220 Fayetteville Street, Suite 200**  
**Raleigh NC 27601**  
**Office: 919-996-2659**  
**E-mail: [dhanya.sandeep@raleighnc.gov](mailto:dhanya.sandeep@raleighnc.gov)**  
**Website: [www.raleighnc.gov/planning](http://www.raleighnc.gov/planning)**

**Jeffrey A. Bandini**  
Telephone: 919.890.4155  
Direct Fax: 919.835.4532  
jeffbandini@parkerpoe.com

Charleston, SC  
Charlotte, NC  
Columbia, SC  
Raleigh, NC  
Spartanburg, SC

September 30, 2014

Via Email ([Rezoning@raleighnc.gov](mailto:Rezoning@raleighnc.gov))

Remapping Raleigh  
P.O. Box 590  
Raleigh, NC 27602

**Re: Zoning Classification for William Peace University and Seaboard Station**

To Whom It May Concern:

On behalf of our clients, William Peace University, Peace University Properties, LLC and Seaboard Station of Raleigh, LLC, we propose the following zoning classifications under the new City of Raleigh Unified Development Ordinance for the following properties:

**1. Parcel 1**

**15 East Peace Street**

**PIN: 1704724264**

*Owner:* Peace College of Raleigh, Inc.

*Current classification:* O&I-1 Office and Institution-1

*City's proposed classification:* OX-4 Office Mixed Use, max. 4 stories

*Owner's requested classification:* OX-7 Office Mixed Use, max. 7 stories

**2. Parcel 2**

**101 East Franklin Street**

**PIN: 1704724954**

*Owner:* Peace College of Raleigh, Inc.

*Current classification:* CUD O&I-1 Conditional Use District, Office and Institution-1

*City's proposed classification:* OX-4-CU Office Mixed Use Conditional Use, max. 4 stories

*Owner's requested classification:* OX-7 Office Mixed Use, max. 7 stories

**3. Parcel 3**

**800 Harp Street**

**PIN: 1704728951**

*Owner:* Peace College of Raleigh, Inc.

*Current classification:* R-20 Residential-20

*City's proposed classification:* OX-4 Office Mixed Use, max. 4 stories

*Owner's requested classification:* OX-7 Office Mixed Use, max. 7 stories

**4. Parcel 4**

**621 North Blount Street**

**PIN: 1704728105**

*Owner:* Peace College of Raleigh, Inc.

*Current classification:* CUD O&I-1 Conditional Use District, Office and Institution-1

*City's proposed classification:* OX-4-CU Office Mixed Use Conditional Use, max. 4 stories

*Owner's requested classification:* OX-7 Office Mixed Use, max. 7 stories

**5. Parcel 5**

**605 North Blount Street**

**PIN: 1704718958**

*Owner:* Peace College Foundation of Raleigh, Inc.

*Current classification:* CUD O&I-1 Conditional Use District, Office and Institution-1 with HOD-G General Historic Overlay District

*City's proposed classification:* OX-4-CU Office Mixed Use Conditional Use, max. 4 stories, with HOD-G General Historic Overlay District

*Owner's requested classification:* OX-7 Office Mixed Use, max. 7 stories, with HOD-G General Historic Overlay District

**6. Parcel 6**

**6 West Peace Street**

**PIN: 1704629079**

*Owner:* Peace College of Raleigh, Inc.

*Current classification:* NB Neighborhood Business

*City's proposed classification:* DX-7-UG Downtown Mixed Use, max. 7 stories, Urban General

*Owner's requested classification:* DX-7 Downtown Mixed Use, max. 7 stories

**7. Parcel 7**

**5 Seaboard Avenue**

**PIN: 1704720186**

*Owner:* Peace College of Raleigh, Inc.

*Current classification:* NB Neighborhood Business

*City's proposed classification:* DX-7-UG Downtown Mixed Use, max. 7 stories, Urban General

*Owner's requested classification:* DX-7 Downtown Mixed Use, max. 7 stories

**8. Parcel 8**

**605 Halifax Street**

**PIN: 1704720096**

*Owner:* Yeargan, L C Heirs Rowann Yeargan Revocable Trust (Note: Our client has an option to purchase this property)

*Current classification:* NB Neighborhood Business

*City's proposed classification:* DX-7-UG Downtown Mixed Use, max. 7 stories, Urban General

*Requested classification:* DX-7 Downtown Mixed Use, max. 7 stories

**9. Parcel 9**

**826 Semart Drive**

**PIN: 1704638253**

*Owner:* Peace University Properties, LLC

*Current classification:* I-2 Industrial-2

*City's proposed classification:* DX-5-UG Downtown Mixed Use, max. 5 stories, Urban General

*Owner's requested classification:* DX-7 Downtown Mixed Use, max. 7 stories

**10. Parcel 10**

**802 Semart Drive**

**PIN: 1704628864**

*Owner:* Seaboard Station of Raleigh, LLC

*Current classification:* I-2 Industrial-2

*City's proposed classification:* DX-5-UG Downtown Mixed Use, max. 5 stories, Urban General

*Owner's requested classification:* DX-7 Downtown Mixed Use, max. 7 stories

**11. Parcel 11**

**5 West Franklin Street**

**PIN: 1704629796**

*Owner:* Peace University Properties, LLC

*Current classification:* I-2 Industrial-2

*City's proposed classification:* DX-5-UG Downtown Mixed Use, max. 5 stories, Urban General

*Owner's requested classification:* DX-7 Downtown Mixed Use, max. 7 stories

**12. Parcel 12**

**807 Halifax Street**

**PIN: 1704721729**

*Owner:* Peace University Properties, LLC

*Current classification:* I-2 Industrial-2

*City's proposed classification:* DX-5-UG Downtown Mixed Use, max. 5 stories, Urban General

*Owner's requested classification:* DX-7 Downtown Mixed Use, max. 7 stories

**13. Parcel 13**

**801 Halifax Street**

**PIN: 1704721710**

*Owner:* Peace University Properties, LLC

*Current classification:* I-2 Industrial-2

*City's proposed classification:* DX-5-UG Downtown Mixed Use, max. 5 stories, Urban General

*Owner's requested classification:* DX-7 Downtown Mixed Use, max. 7 stories

**14. Parcel 14**

**721 Halifax Street**

**PIN: 1704721405**

*Owner:* Peace College of Raleigh, Inc.

*Current classification:* NB Neighborhood Business (a portion appears to be zoned Ind-2)

*City's proposed classification:* DX-5-UG Downtown Mixed Use, max. 5 stories, Urban General

*Owner's requested classification:* DX-7 Downtown Mixed Use, max. 7 stories

**15. Parcel 15**

**18 Seaboard Avenue**

**PIN: 1704629445**

*Owner:* Seaboard Station of Raleigh, LLC

*Current classification:* I-2 Industrial-2

*City's proposed classification:* DX-5-UG Downtown Mixed Use, max. 5 stories, Urban General

*Owner's requested classification:* DX-7 Downtown Mixed Use, max. 7 stories

**16. Parcel 16**

**10 West Franklin Street**

**PIN: 1704627406**

*Owner:* Seaboard Station of Raleigh, LLC

*Current classification:* I-2 Industrial-2

*City's proposed classification:* DX-5-UG Downtown Mixed Use, max. 5 stories, Urban General

*Owner's requested classification:* DX-7 Downtown Mixed Use, max. 7 stories

Our clients believe the requested zoning classifications for Parcels 1 through 5 are justified for several reasons. First, removing the conditional use condition from Parcel 2, Parcel 4, and Parcel 5 provides for uniformity of the development process across these properties as William Peace University develops a master plan for its campus, without regard to property boundaries. Further, permitting a maximum building height of seven stories instead of four stories on Parcels 1 through 5 will promote increased building density on campus, which is acutely important since William Peace University is effectively landlocked and cannot expand outward. For the same reason, and since the properties immediately across the street from William Peace University to the north are primarily commercial in character, it would be appropriate to zone Parcels 1 and 2 OX-7.

Generally, our client's requested zoning classifications for all of the parcels will help facilitate higher density development on campus and in Seaboard Station, consistent with the City's goals of encouraging the development of urban, walkable communities downtown.

Because of the current mix of parking arrangements throughout Seaboard Station, the uncertainty of how future development will occur on the Seaboard Station parcels, and the incomplete city street grid in Seaboard Station, we do not believe there is a justification at this time to propose any specific frontage requirements to any of the parcels comprising Seaboard Station.

Given the significance of the above properties to the future development of the northern part of downtown, we would like to schedule a meeting with the City to review this request in more detail. We look forward to hearing from you.

Sincerely,



Jeffrey A. Bandini

cc: Ken Bowers, Interim Director of Planning, City of Raleigh  
Bynum Walter, Senior Planner, Planning & Development, City of Raleigh  
Rocky Yearwood, Vice President for Administration & Chief Financial Officer, William Peace University

**From:** [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)  
**To:** [jim@fmwrealestate.com](mailto:jim@fmwrealestate.com)  
**Subject:** City of Raleigh Response Ref #37445  
**Date:** Friday, October 17, 2014 3:33:08 PM

---

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

---

Feedback Received September 30th 2014, 6:56 pm

Reference #: 37445

Location: 1500 HILLSBOROUGH ST

Comment Type: Comment about Proposed Height

Comment: This property should be designated OX-5-GR. Hillsborough Street is a Priority Transit Corridor per Map T-2 of the Comprehensive Plan. Thus and also, per page 36, properties along Hillsborough Street are in a Core/Transit Area and per Table LU-2 Core/Transit Area height ranges from Min of 2 to max. of 7 stories for the OX designation. Five (5) is the appropriate story height to allow for 1 level of concealed parking with active uses along the street for that level (below grade is cost prohibitive and unrealistic for moderate mixed use developments of 5 stories) and 4 levels of active uses above. At the same time this respects and compliments the Cameron park neighborhood's scale and character. ironically, this is the exact type of project that was discussed with interested Cameron Park neighbors looking for new "empty nester" type housing product. To do otherwise would be an effective down zoning and against the creating a vibrant, pedestrian friendly corridor. Thanks. Jim Zanoni

---

City Response on October 17th 2014, 03:33 pm

This question will be addressed as part of the Cameron Village Vicinity Plan and Hillsborough Street Area Study that are just getting underway. While staff does not agree with your request, it will be forwarded to the Planning Commission for consideration.

---

Thanks for your time,

**City of Raleigh Remapping Team**

Email: [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)

Web: [www.RaleighUDO.us](http://www.RaleighUDO.us)

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

**From:** [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)  
**To:** [jim@fmwrealestate.com](mailto:jim@fmwrealestate.com)  
**Subject:** City of Raleigh Response Ref #37446  
**Date:** Friday, October 17, 2014 3:33:33 PM

---

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

---

Feedback Received September 30th 2014, 6:57 pm

Reference #: 37446

Location: 1504 HILLSBOROUGH ST

Comment Type: Comment about Proposed Height

Comment: This property should be designated OX-5-GR. Hillsborough Street is a Priority Transit Corridor per Map T-2 of the Comprehensive Plan. Thus and also, per page 36, properties along Hillsborough Street are in a Core/Transit Area and per Table LU-2 Core/Transit Area height ranges from Min of 2 to max. of 7 stories for the OX designation. Five (5) is the appropriate story height to allow for 1 level of concealed parking with active uses along the street for that level (below grade is cost prohibitive and unrealistic for moderate mixed use developments of 5 stories) and 4 levels of active uses above. At the same time this respects and compliments the Cameron park neighborhood's scale and character. ironically, this is the exact type of project that was discussed with interested Cameron Park neighbors looking for new "empty nester" type housing product. To do otherwise would be an effective down zoning and against the creating a vibrant, pedestrian friendly corridor. Thanks. Jim Zanoni

---

City Response on October 17th 2014, 03:33 pm

This question will be addressed as part of the Cameron Village Vicinity Plan and Hillsborough Street Area Study that are just getting underway. While staff does not agree with your request, it will be forwarded to the Planning Commission for consideration.

---

Thanks for your time,

**City of Raleigh Remapping Team**

Email: [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)

Web: [www.RaleighUDO.us](http://www.RaleighUDO.us)

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

**From:** [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)  
**To:** [seth@sethhollar.com](mailto:seth@sethhollar.com)  
**Subject:** City of Raleigh Response Ref #36482  
**Date:** Friday, October 10, 2014 3:24:56 PM

---

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

---

Feedback Received September 29th 2014, 4:05 am

Reference #: 36482

Location: 2016 CAMERON ST

Comment Type: Comment about Proposed Height

Comment: Historically speaking, 2128 Clark Ave (currently the Crescent Apartments) was rezoned a few years ago, partly because (as I understand it), there was not specific height recommendation for the building outside of it's original SC designation which I believe would have allowed heights much greater than 5 stories. At the time the rezoning, there was a community discussion of the height and 7 stories was granted for rezoning. I would have thought this would help set the standard for the rest of Cameron Village shopping center, especially where Oberlin Rd is marked as a "main street" in the Wade Oberlin Plan (p.2) of

<http://www.raleighnc.gov/content/PWksTranServices/Documents/OberlinRoadStreetscape/WadeOberlinAreaPlan.pdf>.

Seven stories along the perimeter of the shopping center and even higher in the middle would reflect more accurately the results of the Crescent rezoning and the small area plan which has marked the shopping center as "higher intensity".

---

City Response on October 10th 2014, 03:24 pm

The potential for additional height for all of the parcels that you identify merits more focused conversation than is feasible as part of the city-wide rezoning process; these questions will be addressed as part of the Cameron Village Vicinity Plan that is just getting underway. I hope you will continue to be an active voice as part of that process. Your comments will be presented to the Planning Commission as part of their review. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

---

Thanks for your time,

**City of Raleigh Remapping Team**

Email: [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)

Web: [www.RaleighUDO.us](http://www.RaleighUDO.us)

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

**From:** [Walter, Bynum](#)  
**To:** [Lindsey Calverley](#)  
**Subject:** RE: Recommended zoning changes [GEN-0303 thru -0308]  
**Date:** Thursday, August 14, 2014 11:54:06 AM

---

Dear Lindsey Calverley –

I wanted to follow up on your comments about the proposed zoning for properties on Glenwood Ave, Falls of Neuse Rd, Hillsborough St, and Oberlin Rd. I had a chance to review your comment with other members of planning staff recently. The recommendations for the parcels you inquired about reflect the existing context and entitlements. While these parcels may be rezoned in the future to allow for greater height, staff believes that those decisions should be made as part of the public process of a privately initiated rezoning.

The public comment period for the remapping process will remain open until September 30, subsequently the remapping recommendations and all comments will be forwarded to the Planning Commission for their review beginning October 14. Your comments will be presented to the Commission for their consideration. Closer to time, I should be able to provide details about when the Planning Commission will discuss these particular properties.

Please let me know if you have further questions or need additional information.

Sincerely,

Bynum Walter, AICP  
Senior Planner  
Long Range Planning Division  
Raleigh Department of City Planning  
One Exchange Plaza, Suite 300 (27601)  
PO Box 590, Raleigh NC, 27602  
919-996-2178 (v); 919-516-2684 (f)  
<http://www.raleighnc.gov>

---

**From:** Rezoning  
**Sent:** Wednesday, August 06, 2014 2:38 PM  
**To:** Lindsey Calverley  
**Cc:** Walter, Bynum  
**Subject:** RE: Recommended zoning changes [GEN-0303 thru -0308]

Ms. Calverley—

Thank you for your inquiry regarding the Remapping Raleigh zoning project. I am writing to acknowledge your email and to outline next steps.

The Planning and Development Department has established a review team to evaluate requests for changes in the initially proposed zoning districts. The team's next meeting is August 13. Bynum Walter will be the case manager for your request. She is out of the office this week, but will follow-up with you shortly after that discussion.

Regards,  
Dan

--

Dan Becker, Division Manager  
Long Range Planning Division  
Raleigh Department of City Planning  
One Exchange Plaza, Ste 300 (27601)  
PO Box 590, Raleigh NC, 27602  
919-996-2632 (v); 919-516-2684 (f)  
<http://www.raleighnc.gov>

---

**From:** Lindsey Calverley [<mailto:Lindsey.Calverley@Colliers.com>]  
**Sent:** Wednesday, August 06, 2014 12:29 PM  
**To:** Rezoning  
**Subject:** Recommended zoning changes

Hello,

Jim Anthony owns and manages several properties in the City of Raleigh. He has annotated some recommended zoning changes for the property. Please see attached spreadsheet with 'recommended zoning'. Please let me know what process I will need to go through to get these changes made.

Thank You,

**Lindsey Calverley**

Marketing Coordinator | Raleigh-Durham

**Direct +1 919 582 3145**

Main +1 919 832 1110 | Fax +1 919 834 4488

[lindsey.calverley@colliers.com](mailto:lindsey.calverley@colliers.com)

**Colliers International**

702 Oberlin Road | Suite 400

Raleigh, NC 27605 | United States

[www.colliers.com/rdu](http://www.colliers.com/rdu)

**From:** [Lindsey Calverley](#)  
**To:** [Rezoning](#)  
**Subject:** RE: Recommended zoning changes [GEN-0303 thru -0308]  
**Date:** Wednesday, August 06, 2014 2:40:25 PM

---

Thank you!

**Lindsey Calverley**

Marketing Coordinator | Raleigh-Durham

**Direct +1 919 582 3145**

Main +1 919 832 1110 | Fax +1 919 834 4488

[lindsey.calverley@colliers.com](mailto:lindsey.calverley@colliers.com)

**Colliers International**

702 Oberlin Road | Suite 400

Raleigh, NC 27605 | United States

[www.colliers.com/rdu](http://www.colliers.com/rdu)

---

**From:** Rezoning [mailto:Rezoning@raleighnc.gov]  
**Sent:** Wednesday, August 06, 2014 2:38 PM  
**To:** Lindsey Calverley  
**Cc:** Walter, Bynum  
**Subject:** RE: Recommended zoning changes [GEN-0303 thru -0308]

Ms. Calverley—

Thank you for your inquiry regarding the Remapping Raleigh zoning project. I am writing to acknowledge your email and to outline next steps.

The Planning and Development Department has established a review team to evaluate requests for changes in the initially proposed zoning districts. The team's next meeting is August 13. Bynum Walter will be the case manager for your request. She is out of the office this week, but will follow-up with you shortly after that discussion.

Regards,

Dan

--

Dan Becker, Division Manager  
Long Range Planning Division  
Raleigh Department of City Planning  
One Exchange Plaza, Ste 300 (27601)  
PO Box 590, Raleigh NC, 27602  
919-996-2632 (v); 919-516-2684 (f)  
<http://www.raleighnc.gov>

---

**From:** Lindsey Calverley [mailto:[Lindsey.Calverley@Colliers.com](mailto:Lindsey.Calverley@Colliers.com)]  
**Sent:** Wednesday, August 06, 2014 12:29 PM

**To:** Rezoning  
**Subject:** Recommended zoning changes

Hello,

Jim Anthony owns and manages several properties in the City of Raleigh. He has annotated some recommended zoning changes for the property. Please see attached spreadsheet with 'recommended zoning'. Please let me know what process I will need to go through to get these changes made.

Thank You,

**Lindsey Calverley**

Marketing Coordinator | Raleigh-Durham

**Direct +1 919 582 3145**

Main +1 919 832 1110 | Fax +1 919 834 4488

[lindsey.calverley@colliers.com](mailto:lindsey.calverley@colliers.com)

**Colliers International**

702 Oberlin Road | Suite 400

Raleigh, NC 27605 | United States

[www.colliers.com/rdu](http://www.colliers.com/rdu)

**From:** [Lindsey Calverley](#)  
**To:** [Rezoning](#)  
**Subject:** Recommended zoning changes  
**Date:** Wednesday, August 06, 2014 12:29:16 PM  
**Attachments:** [Zoning Changes Jim Anthony.xlsx](#)

---

Hello,

Jim Anthony owns and manages several properties in the City of Raleigh. He has annotated some recommended zoning changes for the property. Please see attached spreadsheet with 'recommended zoning'. Please let me know what process I will need to go through to get these changes made.

Thank You,

**Lindsey Calverley**

Marketing Coordinator | Raleigh-Durham

**Direct +1 919 582 3145**

Main +1 919 832 1110 | Fax +1 919 834 4488

[lindsey.calverley@colliers.com](mailto:lindsey.calverley@colliers.com)

**Colliers International**

702 Oberlin Road | Suite 400

Raleigh, NC 27605 | United States

[www.colliers.com/rdu](http://www.colliers.com/rdu)

**From:** [Rezoning](#)  
**To:** [Elizabeth Lane](#)  
**Cc:** [Hasch, Trisha](#)  
**Subject:** RE: No nightclubs, bars etc... on 700 block of W. Hargett (Please) [GEN-0294 & WEB-23042]  
**Date:** Friday, August 22, 2014 10:22:20 AM

---

Elizabeth—

In preparing the draft map, our guidance documents limit staff to working within the existing frameworks and not to be engaged in “ad hoc planning.” Our current remapping recommendations are based on earlier area plans that were developed with a broad spectrum of public participation, and we as staff cannot unilaterally change those adopted policies.

I would note that the Downtown plan update is in progress, and the study boundaries include this area. If you are not already involved in that process, making your concerns known there will be useful. Trisha Hasch is project manager for the update. As a first step, I am copying her on this email and she can share it with the consultant. Her phone number is 919-996-4641 if you would like to talk with her directly. She can also guide you in how to engage with the planning process as it moves forward. She is out of office today, but will return on Monday.

Regards,

Dan

--

Dan Becker, Division Manager  
Long Range Planning Division  
Raleigh Department of City Planning  
One Exchange Plaza, Ste 300 (27601)  
PO Box 590, Raleigh NC, 27602  
919-996-2632 (v); 919-516-2684 (f)  
<http://www.raleighnc.gov>

**From:** Elizabeth Lane [mailto:[elizabethlane127@gmail.com](mailto:elizabethlane127@gmail.com)]  
**Sent:** Thursday, August 14, 2014 6:03 PM  
**To:** Rezoning  
**Subject:** Re: No nightclubs, bars etc... on 700 block of W. Hargett (Please) [GEN-0294 & WEB-23042]

Dan-

Thank you for the prompt reply, but I am disappointed in the outcome. I don't see how having nightclubs so close to residential developments is a good fit. Hasn't this been an issue in Glenwood South?

I thought the south side of West Hargett (700 block) would be aligned with the 800 block, which is OX-5-UL. I realize the proposed uses were included in the current zoning (IND-2), but this is no longer an industrial area. It used to be the Byrum lumber yard, but now includes many residences. Is this not a case for revising the proposed uses for the area?

Thank you again and I appreciate your time.

Liz Lane

On Thu, Aug 14, 2014 at 5:42 PM, Rezoning <[Rezoning@raleighnc.gov](mailto:Rezoning@raleighnc.gov)> wrote:

Dear Elizabeth Lane—

The staff review team discussed your inquiry August 13.

We believe that the current staff recommendations for the parcels you inquired about are the best balanced interpretation of existing zoning entitlements, current development context and land use, and area planning initiatives. All of these uses would be allowed under the existing Industrial-2 and Downtown Overlay District zoning.

The public comment period for the remapping process will remain open until September 30. Subsequently, the remapping recommendations and all comments will be forwarded to the Planning Commission for its review beginning October 14. Your comments will be presented to the Commission for its consideration. Closer to time, we should be able to provide details about when the Planning Commission will discuss these particular properties. Following review and recommendation by the Planning Commission, a further revised draft map will be submitted to City Council for a public hearing and review.

You may wish to sign up to receive email updates on the UDO mapping process if you haven't done so already. You can sign up at [www.raleighudo.us](http://www.raleighudo.us). Just follow the link near the top of the page in the orange "Subscribe" box for MyRaleigh Subscriptions. You can also visit [www.raleighudo.us](http://www.raleighudo.us) for more information on the remapping initiative, guidance documentation, common zoning district exchanges, and the review and approval process.

Regards,

Dan

--

Dan Becker, Division Manager  
Long Range Planning Division  
Raleigh Department of City Planning  
One Exchange Plaza, Ste 300 (27601)  
PO Box 590, Raleigh NC, 27602  
[919-996-2632](tel:919-996-2632) (v); [919-516-2684](tel:919-516-2684) (f)  
<http://www.raleighnc.gov>

---

**From:** Rezoning

**Sent:** Tuesday, August 05, 2014 1:00 PM

**To:** Elizabeth Lane; Rezoning

**Subject:** RE: No nightclubs, bars etc... on 700 block of W. Hargett (Please) [GEN-0294]

Elizabeth Lane—

Thank you for taking the time to review and comment on the Remapping Raleigh project. I need to discuss your inquiry with other members of the planning staff. We are scheduled to meet Wednesday, August 13 and I will be back in touch with additional information after that meeting.

Regards,

Dan

--

Dan Becker, Division Manager  
Long Range Planning Division  
Raleigh Department of City Planning  
One Exchange Plaza, Ste 300 (27601)  
PO Box 590, Raleigh NC, 27602  
[919-996-2632](tel:919-996-2632) (v); [919-516-2684](tel:919-516-2684) (f)  
<http://www.raleighnc.gov>

**From:** Elizabeth Lane [<mailto:elizabethlane127@gmail.com>]  
**Sent:** Sunday, August 03, 2014 1:51 PM  
**To:** Rezoning  
**Subject:** No nightclubs, bars etc... on 700 block of W. Hargett (Please)

Hello and thank you for the opportunity to express my concerns.

I live in a two story townhouse at 131 Fenner Lane. I'm in an end unit running parallel and directly on the 700 block of West Hargett St.

If I'm reading the maps correctly, the block of Hargett directly across the street from me is changing to DX-5-UL.

While I do support the density, I'm concerned about possible uses, such as bars, lounges, nightclubs, etc...

I don't think that anyone wants to live across the street from a bar or nightclub. This block of Hargett is very narrow and my property ( and several others) is right on it.

Can the use criteria be adjusted?

Tank you again and I appreciate your time.

P.S. I hope I don't sound like a NIMBY... like the people that moved into Glenwood South after all the clubs and then complained about the noise.

Elizabeth Lane  
131 Fenner Lane  
cell: [410-615-7710](tel:410-615-7710)

“E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official.”

**From:** [Jason Yahoo](#)  
**To:** [Rezoning](#)  
**Subject:** Re: City of Raleigh Feedback Ref #3841  
**Date:** Wednesday, May 28, 2014 7:59:23 AM

---

I added a correction. The lot I was referring to is on the east side.

Sent from my iPhone

On May 28, 2014, at 7:51 AM, [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov) wrote:

Thanks for your feedback on the draft rezoning map. We appreciate your help with this process and will respond to you as soon as we can (generally within 2 business days).

---

Feedback Received May 28th 2014, 07:51 am  
Reference #: 3841  
Location: 618 North Boylan Avenue  
Comment Type: Comment about Proposed Height  
Comment: I live at 618 North Boylan Ave. (The Paramount). The lot immediately adjacent to my condo on the west side has a proposed height of up to 5 stories. Given that there is not road separating the lot from our building, I propose this should be maximum 3 stories like the other adjacent lot on the west side.

---

Thanks for your time,

**City of Raleigh Remapping Team**

Email: [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)

Web: [www.RaleighUDO.us](http://www.RaleighUDO.us)

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

"E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official."

**From:** [Walter, Bynum](#)  
**To:** [jasons919@yahoo.com](mailto:jasons919@yahoo.com)  
**Subject:** 612 W Johnson St, WEB-3841 & WEB-3842  
**Date:** Wednesday, June 04, 2014 5:10:07 PM

---

Dear Jason Sanger –

Thanks for your comment about the zoning for 612 W Johnson Street. This property is proposed to be rezoned to Downtown Mixed Use (DX) – 5. This site is part of the Peace Streetscape and Parking Plan completed in 2005.

Guidance from this plan document for this site recommends a building height of up to 80 feet, depending on the mix of uses in the building. The proposed five story limit caps building height at 75 feet. The plan recommends a maximum building height of 40 to 50 feet along Peace Street; 615 W Peace Street is proposed to be rezoned to a 3 story height limit (50 feet maximum) for this reason. For areas of the city where small area plans, such as the Peace Streetscape and Parking Plan, have been completed, the proposed remapping recommendations reflect guidance provided in the small area plans.

Please let me know if you have further questions or need additional information. Sincerely -

Bynum Walter, AICP  
Senior Planner  
Long Range Planning Division  
Raleigh Department of City Planning  
One Exchange Plaza, Suite 300 (27601)  
PO Box 590, Raleigh NC, 27602  
919-996-2178 (v); 919-516-2684 (f)  
<http://www.raleighnc.gov>

Your message dated 5/28/14:

I live at 618 North Boylan Ave. (The Paramount). The lot immediately adjacent to my condo on the west side has a proposed height of up to 5 stories. Given that there is not road seperating the lot from our building, I propose this should be maximum 3 stories like the other adjacent lot on the west side. \*\*Correction to my last comment. I meant the adjacent lot on the east side for the building... should be maximum 3 stories vs. the proposed 5.  
Correction to my last comment. I meant the adjacent lot on the east side for the building... should be maximum 3 stories vs. the proposed 5.

**From:** [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)  
**To:** [jlabus@cisco.com](mailto:jlabus@cisco.com)  
**Subject:** City of Raleigh Response Ref #22402  
**Date:** Tuesday, August 05, 2014 3:39:52 PM

---

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

---

Feedback Received August 1st 2014, 7:14 pm

Reference #: 22402

Location: 612 W JOHNSON ST

Comment Type: Comment about Proposed Height

Comment: I own a condominium in the building next door at 618 N Boylan have a very strong concern about this property being allowed to be developed to a height of 75 feet. If a building were allowed to ascend to that height, many units in the building will have their east facing windows looking directly into the property next door. In addition, a new building of this height would also remove all privacy to our adjacent pool deck. What assurance is there in this new code that we would not have our property values damaged by a possible building of that height. While all of the properties that abut the east side of our building could be subject to a new 75 tall structure, this one specifically causes me the most heartburn for the value of all of our properties. We still suffer the property value consequences of the city agreeing to the suburban model McDonald's to our West without having to worry about what being boxed in to our east would cause.

---

City Response on August 5th 2014, 03:39 pm

This property is proposed to be rezoned to Downtown Mixed Use (DX) - 5. This site is part of the Peace Streetscape and Parking Plan completed in 2005. Guidance from this plan document for this site recommends a building height of up to 80 feet, depending on the mix of uses in the building. The proposed five story limit caps building height at 75 feet. For areas of the city where small area plans have been completed, such as the Peace Streetscape and Parking Plan, the proposed remapping recommendations reflect guidance provided in the small area plans. We're unaware of any property value consequences you may have suffered as a result of the McDonald's to the West of The Paramount; though it was rebuilt in 2008, the McDonald's has been there since at least the 1980s.

---

Thanks for your time,

**City of Raleigh Remapping Team**

Email: [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)

Web: [www.RaleighUDO.us](http://www.RaleighUDO.us)

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

**From:** [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)  
**To:** [santalek@nc.rr.com](mailto:santalek@nc.rr.com)  
**Subject:** City of Raleigh Response Ref #30722  
**Date:** Friday, October 10, 2014 3:06:43 PM

---

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

---

Feedback Received September 18th 2014, 3:04 pm

Reference #: 30722

Location: 618 N BOYLAN AVE

Comment Type: Comment about Proposed Zoning District

Comment: The area immediately to the east of the Paramount Condominiums comprising the block between that building and Glenwood Avenue should not allow buildings up to 7 stories as there is absolutely no buffer (such as a street) between that portion of the block and the Paramount Condominiums which consist of 80 residential units. That section of the block should at least be limited to any other designation to limit to 5 stories new buildings which could potentially butt right up against an existing residential building. Allowing Downtown Mixed use buildings to fill up that block next to this residential building would negatively impact our property values and quality of life, whereas limiting buildings on the remainder of the block to 5 stories would not greatly impact the opportunities for future development on that block.

---

City Response on October 10th 2014, 03:06 pm

This area is part of the Peace Streetscape and Parking Plan completed in 2005 and the Glenwood South Streetscape and Parking Plan completed in 2000. Additionally, the Future Land Use Map indicates this area as part of the City's Central Business District and it was included in the study area of this year's Downtown Experience Plan. For areas of the city where small area plans such as these have been completed, the proposed remapping recommendations reflect guidance they provide. Staff does not agree with your request, however your comment will be forwarded to the Planning Commission for consideration as part of their review of citywide remapping. More information on the remapping project as the Planning Commission begins its review is available at [www.RaleighUDO.us](http://www.RaleighUDO.us). The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

---

Thanks for your time,

**City of Raleigh Remapping Team**

Email: [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)

Web: [www.RaleighUDO.us](http://www.RaleighUDO.us)

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

**From:** [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)  
**To:** [sobe306@hotmail.com](mailto:sobe306@hotmail.com)  
**Subject:** City of Raleigh Response Ref #34898  
**Date:** Friday, October 10, 2014 3:47:53 PM

---

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

---

Feedback Received September 26th 2014, 3:02 pm

Reference #: 34898

Location: 610 W JOHNSON ST

Comment Type: Comment about Proposed Height

Comment: While I appreciate the answer to my earlier comments and in reference to the Peace Street plan, may I remind the city that it allowed the VERY first development following that plan to veer dramatically from it. This resulted in a suburban "drive-thru" McDonalds at Peace and Boylan across the street from our building that continues to affect our property and resales. The city also allowed the project without the property owners and residents of The Paramount being individually notified as required by the city's processes and procedures. I know this to be true because I followed up on it after the decisions were made to allow the McDonalds as currently stands. To suggest that the land to our east now has a proposed zoning that doesn't even say it has to consider our adjacent residential development is adding insult to injury.

---

City Response on October 10th 2014, 03:47 pm

Thanks for your followup comment about the proposed rezoning of properties adjacent to 618 North Boylan Avenue. This area is part of the Peace Streetscape and Parking Plan completed in 2005 and the Glenwood South Streetscape and Parking Plan completed in 2000. Additionally, the Future Land Use Map indicates this area as part of the City's CBD and it was included in the study area of this year's Downtown Experience Plan. For areas of the city where small area plans such as these have been completed, the proposed remapping recommendations reflect guidance they provide. As well, staff's recommendations took into consideration existing context (i.e. the height of adjacent structures). This comment will be included in the packet forwarded to the Planning Commission for consideration as part of their review of citywide remapping.

---

Thanks for your time,

**City of Raleigh Remapping Team**

Email: [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)

Web: [www.RaleighUDO.us](http://www.RaleighUDO.us)

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

**From:** [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)  
**To:** [gfesmire@gmail.com](mailto:gfesmire@gmail.com)  
**Subject:** City of Raleigh Feedback Ref #33282  
**Date:** Wednesday, September 24, 2014 2:37:58 PM

---

Thanks for your feedback on the draft rezoning map. We appreciate your help with this process and will respond to you as soon as we can (generally within 2 business days).

---

Feedback Received September 24th 2014, 02:37 pm

Reference #: 33282

Location: 1135 N WEST ST

Comment Type: Comment about Proposed Zoning District

Comment: I am very surprised and disappointed to see this parcel still left to being heavy industrial, considering West St is slated to be a walkable/bikeable route in the Capital Blvd project. The concrete plant is an anachronism in the burgeoning downtown/near downtown residential Glenwood-Brooklyn area. Surely we can plan better than this. Give the current owners some time to plan, but this plant doesn't belong in the area any longer.

---

Thanks for your time,

**City of Raleigh Remapping Team**

Email: [rezoning@raleighnc.gov](mailto:rezoning@raleighnc.gov)

Web: [www.RaleighUDO.us](http://www.RaleighUDO.us)

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

**From:** [Sandeep, Dhanya](mailto:Sandeep.Dhanya)  
**To:** [gfesmire@gmail.com](mailto:gfesmire@gmail.com)  
**Subject:** WEB-33282  
**Date:** Monday, October 06, 2014 1:57:13 PM

---

Dear Gina,

Thank you for your interest in the zoning remapping project and the submitted comments for property at 1135 N. West Street:

The subject property is currently zoned IND-2 and the proposed IH zoning proposes to retain the existing use. Any other zoning category will render the existing use as non-conforming. Our intent with the UDO remapping is to attain consistency for all existing uses. Given this evaluation, staff does not recommend any change to the proposed zoning of this property. However, we will forward your comments to the Planning Commission for their consideration.

More information on the remapping project as the Planning Commission begins its review is available at [www.RaleighUDO.us](http://www.RaleighUDO.us). Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "[UDO - Unified Development Ordinance](#)." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

If you have further questions on this, please do not hesitate to contact me.

Thanks,

Dhanya

~~~~~  
Dhanya Purushothaman-Sandeep, AICP
Urban Planner
Raleigh Urban Design Center
An Office of the Planning and Development Department
220 Fayetteville Street, Suite 200
Raleigh NC 27601
Office: 919-996-2659
E-mail: dhanya.sandeep@raleighnc.gov
Website: www.raleighnc.gov/planning

From: [Becker, Dan](#)
To: jflowe1@nc.rr.com
Subject: RE: ReZoning - 1301 Brookside Dr [GEN-0463]
Date: Tuesday, October 07, 2014 9:16:00 AM

Mr. Flowe—

The staff review team has evaluated your comments and requests regarding this property. If the City were to restrict all development on the property, it would be considered a taking of all property rights, and the City would be required to pay compensation to the property owner for the loss of development entitlements. That kind of property intervention is beyond the scope of the zoning remapping project, which at its most basic simply seeks to translate the old zoning districts into the most comparable new Unified Development Ordinance (UDO) zoning districts.

Accordingly, staff does not support the suggested change. However, your request will be forwarded to the Planning Commission for its consideration. As noted in my earlier email below, you can sign up for MyRaleigh subscriptions to receive notifications of Planning Commission UDO review agendas if you wish to track its consideration of this item.

Regards,
Dan

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

-----Original Message-----

From: Becker, Dan
Sent: Monday, September 29, 2014 3:58 PM
To: jflowe1@nc.rr.com; Baldwin, Mary-Ann; Bowers, Kenneth
Cc: Walter, Bynum
Subject: RE: ReZoning - 1301 Brookside Dr [GEN-0463]

Mr. Flowe—

This email will acknowledge your request to have the Planning Commission evaluate the proposed zoning on this parcel. We have logged your email exchange with Ken, and it will be forwarded to the Commission. At this stage, I cannot tell you exactly when it might be reviewed by the Commission.

More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "UDO - Unified Development Ordinance." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Regards,
Dan Becker

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)

<http://www.raleighnc.gov>

-----Original Message-----

From: jflowe1@nc.rr.com [<mailto:jflowe1@nc.rr.com>]

Sent: Sunday, September 28, 2014 10:19 PM

To: Baldwin, Mary-Ann; Bowers, Kenneth

Cc: Becker, Dan; Walter, Bynum

Subject: Re: ReZoning

Thanks Ken,

I appreciate your response.

My main interest is to not see the property developed. It is not a suitable property. Too close to schools and the traffic associated with schools. Too close to a creek that eventually flows into the Neuse River. So I ask the Planning Committee to consider my request to prevent any development on this very small peace of land.

John Flowe
615 Harding St
Raleigh

---- "Bowers wrote:

> Mr. Flowe,

>

> Your question was brought to my attention by Council Member Baldwin. I believe that this is the area you are referring to:

>

> [cid:19A60056-0775-4E22-9290-04AFFFOEEDE@nc.rr.com]

>

> The City is in the process of replacing zoning districts from its old development code with new districts from our recently-adopted Unified Development Ordinance. As a first step in the process, staff has drawn a draft map that by and large seeks to find a close match between the old zoning and the new zoning. The property in question was zoned R-20, which is a multifamily district, and is proposed to be zoned RX-3, which is the lowest-density mixed-use district in the new code.

>

> You are correct about the environmental constraints on the property. Any development would have to contend with floodplain issues and potentially Neuse Buffer Rules (frankly, I haven't researched this, but it seems likely). The proposed zoning does not replace or alter any other environmental regulations. Based on the specifics of the property, I find it unlikely that the new zoning will have a material impact on the ability of the property to be developed.

>

> Because the zoning is already multi-family, staff has recommended against down-zoning it. However, you may make such a request if you wish. If you do, please reply to everyone on this email by September 30. Staff will make sure your request is considered by the Planning Commission during their review of the draft map. Note that the property cannot be zoned such that no development is possible--that would be considered a taking.

>

> You can learn more by clicking this link:

>

> <http://www.raleighnc.gov/business/content/PlanDev/Articles/Zoning/ZoningRemapping.html>

>

> Thanks,

> Ken

>

> Ken A. Bowers, AICP

> Interim Director

> Planning & Development

> City of Raleigh

> One Exchange Plaza, Suite 304

> Raleigh, NC 27602-0590

>
> 919-996-2633
> fax 996-2684
> kenneth.bowers@raleighnc.gov<<mailto:kenneth.bowers@raleighnc.gov>>
>
> On Sep 27, 2014, at 9:36 AM, Baldwin, Mary-Ann <Mary-Ann.Baldwin@raleighnc.gov<<mailto:Mary-Ann.Baldwin@raleighnc.gov>>> wrote:
>
> Ken,
>
> Do you know what this is in reference to, and can you respond to Mr. Flowe?
>
> Thank you.
>
> M-A
>
> Sent from my iPad
>
> Begin forwarded message:
>
> From: <jflowe1@nc.rr.com<<mailto:jflowe1@nc.rr.com>>>
> Date: September 27, 2014 at 12:00:10 AM EDT
> To: "Baldwin, Mary-Ann" <Mary-Ann.Baldwin@raleighnc.gov<<mailto:Mary-Ann.Baldwin@raleighnc.gov>>>
> Subject: Re: ReZoning
>
> Thanks MA!
> ---- "Baldwin wrote:
> Hi John,
>
> Let me find out what is going on. Will be in touch, probably early next week. Hope you are doing well.
>
> M-A
>
> Sent from my iPad
>
> On Sep 26, 2014, at 5:20 PM, "jflowe1@nc.rr.com<<mailto:jflowe1@nc.rr.com>>" <jflowe1@nc.rr.com<<mailto:jflowe1@nc.rr.com>>> wrote:
>
> A few months ago I received notice from the city in regards to rezoning on a property that is near mine.
> It has been very difficult to find out exactly what is being proposed.
>
> The property in question is bordered by Brookside Dr, directly across from Emma Conn Magnet School, Frank St and Cemetary Creek.
> This is a very small property that is not suitable for any development of any kind.
>
> It is directly across from a elementary school.. Everyday, parents arrive on Frank St at the Brookside intersection to pick their children up, 2 times a day every day.
> Too much traffic and congestion now, do not need more apartments or homes in this immediate area.
>
> The land itself borders a creek, (Cemetary CreeK) that eventually flows into the Neuse River. I was under the impression that no development could occur within 50 feet of this creek. With that setback and a reasonable setback from Brookside Dr and Frank St., I see NO WAY anything could be built on this small piece of land.
>
> I need to know when I can voice my opinion on this issue.
>

> Sincerely
>
> John Flowe
> 615 Harding St.
> Raleigh NC 27604
>
> 919 334 8282
>
>

Recommendation for Re-mapping Glenwood-Brooklyn to UDO Submitted by Historic Glenwood-Brooklyn Neighborhood Association

Overview

Earlier this year, residents of Glenwood-Brooklyn started work on a comprehensive review of the neighborhood. The intent was to provide City staff with a well-researched and widely supported recommendation for re-mapping under Raleigh's new Unified Development Ordinance (UDO). What follows is the product of that effort.

In short, our recommendation to Staff is in line with the City's initial recommendation: that existing SpR-30 properties, which represent the majority of parcels in the neighborhood, be zoned as R-10 with a Neighborhood Conservation Overlay District (NCOD).

We believe this is the best approach to preserve the special conditions of the SpR-30 designation that have been instrumental in preventing the destruction of historic homes and in discouraging development of structures that are inconsistent with the character of the neighborhood.

There are a number of properties in Glenwood-Brooklyn that have additional considerations, and we address these in a later section of this report. In most cases, our recommendation is for higher density (>10 units/acre), purpose-built multi-family properties to be mapped to RX-3-NCOD.

We hope Staff will agree that Glenwood-Brooklyn is one of a handful of showpiece historic neighborhoods in Raleigh and that the City has a clear interest in preserving it. We believe our recommendation is both workable and fair. Above all, we are committed to working with the Planning Commission, the City Council and of course our fellow residents to implement a plan that will best serve the neighborhood that we love.

About the Review Team

We have been blessed with an abundance of expertise among our residents with regard to architecture, construction, land use and the history of the place in which we live. The following individuals have given countless hours of their time to produce the recommendations we are making.

- Rick Baker, engineer
- Fred Belledin, architect and current member of Raleigh Historic Development Commission
- Steve Gurganus, community planner and former member of Raleigh Board of Adjustment and Raleigh Appearance Commission
- Philip Poe, member of UDO Advisory Group and Five Points CAC Chair
- Martin Stankus, former Raleigh City Planner
- Brandy Thompson, architect

About the Neighborhood

Glenwood-Brooklyn was Raleigh's first master-planned neighborhood and in a sense was its first "suburb." Centering on a trolley line that ran along the center of Glenwood Avenue, the neighborhood was home to a mix of middle-class families as well as some

more prominent homes along Glenwood itself. Built primarily between 1910 and 1940, many of the homes reflect the craftsman/bungalow architecture popular at that time.

When Raleigh undertook its first major rezoning project in the 1950s, most of the properties in Glenwood-Brooklyn were classified as R-30. In the 1960s and 70s, Raleigh experienced the same "urban flight" that other cities did, which in turn caused a loss in market value. Subsequent redevelopment began to eat away at the historic character of the neighborhood, which became a decidedly less desirable place to live.

By the early 1980s, many of the historic homes had been converted into multi-unit buildings or, worse yet, demolished to make way for larger apartment blocks. Residents at the time fought for and won a reclassification to SpR-30 that put vital restrictions in place with regard to setbacks, height and other parameters.

That change set the stage for a revitalization that has seen a renewed appreciation both for the Glenwood-Brooklyn neighborhood as a whole and the homes that make it up. For example, we are aware of numerous properties that have been remodeled back to single-family use in the years since the implementation of the SpR-30 designation.

Today, Glenwood-Brooklyn stands as one of Raleigh's most desirable neighborhoods, and not just because of its proximity to downtown. Indeed, the people who live here do so in large part because they value the history of the neighborhood and the historic character of its homes. In a recent poll of 80 of the roughly 290 households in the area (96 percent of respondents) indicated they were "very interested" or "somewhat interested" in preserving the historic character of the neighborhood.

We are not suggesting that every single property owner is on board with our recommendations, and there are a few properties with special circumstances that will require greater consideration. However, there is a remarkable level of agreement among our neighbors on what is typically a highly contentious subject (i.e., what you can do on your own property). We hope that Staff will agree this represents a tremendous opportunity to ensure that Glenwood-Brooklyn's best days are still ahead of it.

Remapping Rules and Recommendation

[Attachment 1](#) provides a parcel-by-parcel breakdown of the current zoning, the City's proposed remapping and the neighborhood's recommended remapping.

It's fair to say that remapping a neighborhood, even one as small as ours, is an arduous process. We have tried to do this in as evenhanded a manner as possible, and accordingly have applied a few rules of thumb as follows:

- Any building "originally built" as detached or attached will remap to R-10-NCOD.
- Any apartment with density less than or equal to 10 units/acre will remap to R-10-NCOD; those with higher density will remap to RX-3-NCOD.
- Any commercial buildings (currently 3) will remap to either RX-3-NCOD or NX-3-NCOD.

Protective Overlay

[Attachment 2](#) shows the special conditions that currently exist in Sp R-30. It is essential these rules continue, although some minor revisions are required to make them

compatible with the UDO and to clarify some language related to multi-unit buildings. The proposed changes are black-lined in the attachment

It's also essential that the base remapping and the implementation of the NCOD happen concurrently; otherwise, the neighborhood becomes vulnerable to teardowns and incompatible development.

Special Situations

Glenwood-Brooklyn is predominantly comprised of detached single-family homes. However, there are a number of other properties—and a few homes as well—that present particular challenges to the remapping process. We discuss these briefly below.

- Partnership Elementary School. In the 1960s, this property – previously known as the Richard H. Lewis School, became the administrative offices for the Wake County Public School System. It was converted back to the Partnership Elementary School in the late 1990s. It's not anticipated that this property will ever be used as an administrative building again; therefore, it would be in the best interest of the neighborhood to have it remapped from O&I to R-10-NCOD.
- Edge Properties. The topography and configuration of the commercial lots along Peace, St. Mary's, Pierce and Dale streets represent major risks to the neighborhood and challenges for redevelopment. To ensure the best possible outcomes for these properties abutting the neighborhood, we recommend an area plan be created.
- Commercial Creep. In recent years, two significant residential properties have been rezoned commercial. This type of activity remains a major concern of the neighborhood.
- Hidden Lots / Split Zonings. When the neighborhood was platted in 1905, most lots had frontages of 25 feet. Typically, detached homes were built on two or three of these deeded lots. At that time, combining lots was not a requirement. Consequently, there are some properties with split zonings in the neighborhood. A policy is needed to determine how these properties will be remapped. Also, these "hidden" lot lines continue to provide the opportunity to build infill buildings on substandard lots, which can disrupt the overall pattern of development in the neighborhood.



Remapping Glenwood-Brooklyn

Transitioning to the Unified Development Ordinance

Remapping Team

Rick Baker	engineer
Fred Belledin	architect, Raleigh Historic Development Commission
Steve Gurganus	community planner, Raleigh Board of Adjustment, Raleigh Appearance Commission
Philip Poe	UDO Advisory Group, Five Points CAC chair
Martin Stankus	city planner
Brandy Thompson	architect

New City Plan & Development Regulations

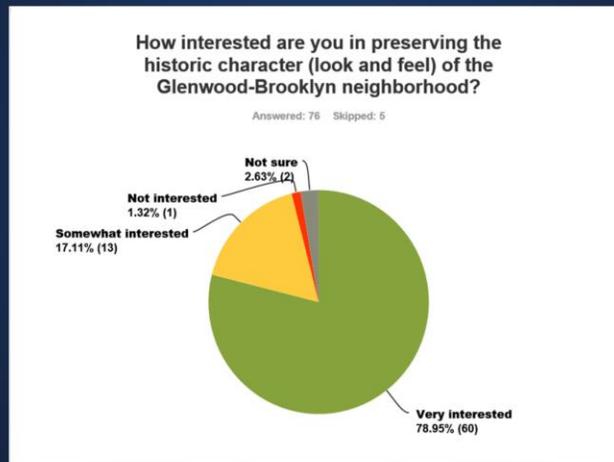
- Mid 2006 – start date
- Oct 2009 - approved 2030 Comprehensive Plan
- Feb 2013 - approved UDO
- Sep 2013 - started rolling out UDO
- May 2014 - released proposed remapping
- Oct 2014 - Planning Commission begins review of remapping
- Feb 2015* - City Council begins review of remapping
- Jun 2015* - official public hearing begins

*Best Guess

Neighborhood History

- First planned neighborhood in Raleigh
- Established in 1905
- Most buildings built between 1910 -1930
- Decline began in 1960s
- Recovery began in 1980s
- Special R-30 approved in 1985
- National Register of Historic Places in 2002

Interest in Neighborhood Preservation



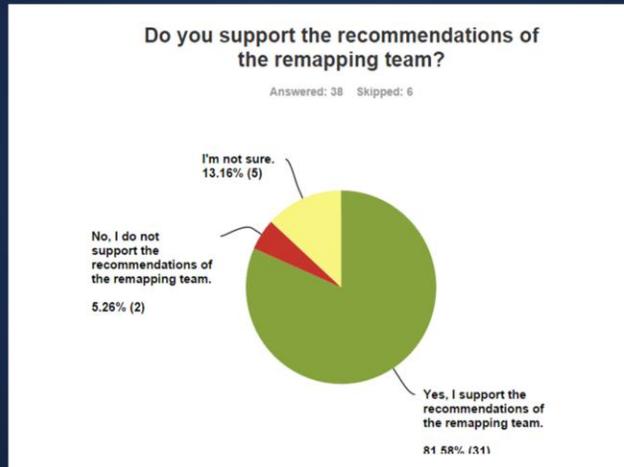
After the City released the proposed remapping for the neighborhood last May, the remapping team staffed an information table at the neighborhood's annual block party and held four (4) open houses during July. At these events, residents consistently expressed their interest in preserving the historic character of the neighborhood.

In September, the remapping team conducted a survey to reach more residents. Ninety-five percent (95%) of the respondents answered they were interested in preserving the historic character of the neighborhood – 80% “very interested” and 15% “somewhat interested.”

The polling at events and through this survey was used by the remapping team to develop a remapping plan that would best meet the preferences of the residents in the neighborhood.

As more residents respond to this survey, this slide will be updated.

Support for Remapping Plan



The remapping team presented its recommendations at a neighborhood meeting on September 23rd. A hand vote was taken. There was unanimous support for the overall approach the remapping team had taken in developing a remapping plan that would help preserve the historic character of the neighborhood.

A survey is now underway to get feedback from more residents in the neighborhood. As more residents respond to this survey, this slide will be updated.

Neighborhood Metrics

	Core	Edges	National Register
Parcels	291	43	288
Acres	53	19	55
Housing Units	437	22	417
Units per Acre	8	1	8

Core excludes edge properties – primarily commercial -- along Peace, St. Mary's, Pierce and Dale.

General Conversion Rules for Base Zoning

Original Building Type	Current Zoning	City' Proposed Remapping	Our Recommended Remapping
Detached House (single family)	R-30, SR-30, RB, NB	R-10, RX-3, OX-3	R-10
Attached House (duplex)	R-30, SR-30	R-10, RX-3	R-10
Townhouse	R-30, SR-30	R-10, RX-3	R-10, RX-3
Apartment	R-30, SR-30	R-30, RX-3	R-10, RX-3
General Building	R-30, RB	RX-3, OX-3	RX-3, OX-3
Mixed Use Building	NB	NX-3	RX-3
Civic Building	SR-30, O&I	R-10, OX-3	R-10
Open Lot	SR-30	R-10	R-10

The “Our Recommended Remapping” column lists the preferred remappings in the core area of the neighborhood. If more than one district is listed, the first district listed is the most prevalent remapping.

As each property was reviewed by the remapping team, it was determined that several properties had splits zonings. A policy is needed for the remapping of these properties. A list of the properties is provided below:

- 704 Glenwood: Special R-30 + NB
- Partnership Elementary School: O&I-1 + O&I-2-CU
- Gaston Woods Townhouses: R-30 + R-30-CU
- 1220 Pierce: Special R-30 + O&I-1 + IND-2

Building Type Analysis

Current Building Type Analysis			Original Building Type Analysis		
STUDYAREA (Multiple Items) .Y			STUDYAREA (Multiple Items) .Y		
Row Labels	# Lots	% Lots	Row Labels	# Lots	% Lots
Detached	198	68.04%	Detached	242	83.16%
Attached	35	12.03%	Attached	12	4.12%
Apartment	25	8.59%	Townhouse	12	4.12%
Townhouse	12	4.12%	Empty Lot	11	3.78%
Empty Lot	11	3.78%	Apartment	8	2.75%
General Building	5	1.72%	Civic	3	1.03%
Civic	3	1.03%	General Building	2	0.69%
Mixed Use	2	0.69%	Mixed Use	1	0.34%
Grand Total	291	100.00%	Grand Total	291	100.00%

As residents living in the downtown neighborhoods began moving to the suburbs in the second half of the 20th century, many of the original detached units were converted into multi-unit rentals. Consequently, just using the unit criteria for building types in the UDO can be misleading. On the other hand, looking at the housing inventory in the neighborhood's application for its listing on the National Register of Historic Places tells a very different story. Nearly 90% of the building built between 1905 and 1950 were detached homes.

The table on the left above shows the mix of housing types based on the units listed for each property today. The table on the right shows the mix using the units when the building was originally constructed.

Over the last decade, the conversion of buildings back to detached units has been significant, and the trend is likely to continue. The mapping team considers the original building type and ongoing conversions back to detached buildings a very important consideration in the remapping process.

Neighborhood Conservation Overlay District (NCOD)

Special vs NCOD

- Special in R-30 = NCOD
- Should apply to all R-10 and RX lots
- Base remapping and NCOD must happen at the same time
- Some revisions needed to ensure the intent of the rules are clear and enforceable

Special Conditions

- Setbacks
- Height
- Lot coverage
- Design Standards
- Parking lot landscaping

[Click here](#) to view the current conditions.

The Special R-30 conditions have served the neighborhood well over the last 30 years, and the remapping team is recommending they be retained and applied to all R-10 and RX-3 remappings. In 1985, when Special R-30 was approved, certain properties in the neighborhood were excluded. During the remapping process, these exclusions need to be eliminated to ensure the consistent application of the rules across the neighborhood. There are also some minor revisions that need to be made to ensure the rules are applied appropriately:

- They need to be written to ensure that all group housing projects are covered by the special conditions.
- The height condition should be modified to include properties across a narrow right away – e.g., Hinsdale Street.

The base remapping and the NCOD must happen simultaneously, otherwise, the lack of an NCOD will make the neighborhood more vulnerable to teardowns and development that is contextually insensitive to the character of the neighborhood.

Special Situations

- Edges along Peace and St. Mary's Streets
- Partnership Elementary School
- Brooklyn and Clay Streets
- Fletcher property
- Washington Street
- Edges along Dale and Pierce Street
- Historic lot lines

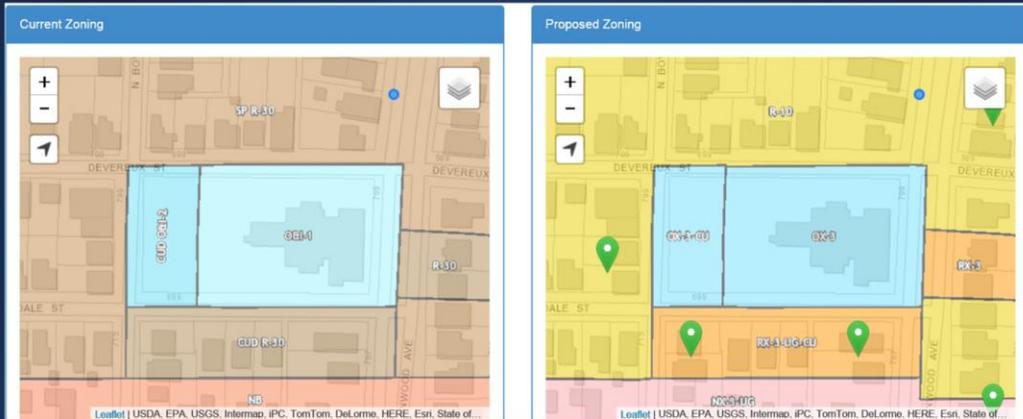
This is a list of special situations in the neighborhood that create some major challenges for the neighborhood.

Peace and St. Mary's Street



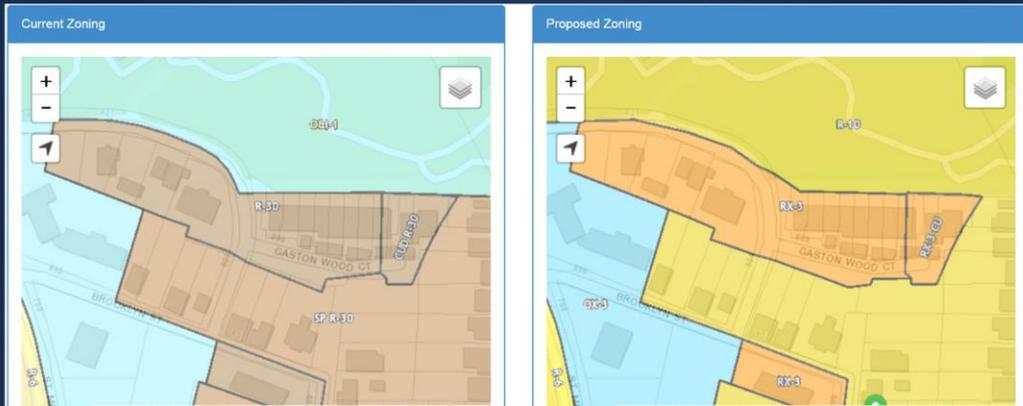
The topography and depth of lots along Peace Street, particularly between Peace / Hinsdale and Glenwood / Gaston (200 feet deep), will make any redevelopment very challenging. An area plan could help establish a clearer vision for redevelopment along Peace and St. Mary's Streets.

Partnership Elementary School



The Partnership Elementary School was originally the Lewis School, which once served as the administrative offices for WCPSS. It is now a regular school site and it seems appropriate to convert this property back to the neighborhood's base zoning of R-10-NCOD.

Brooklyn and Clay Streets

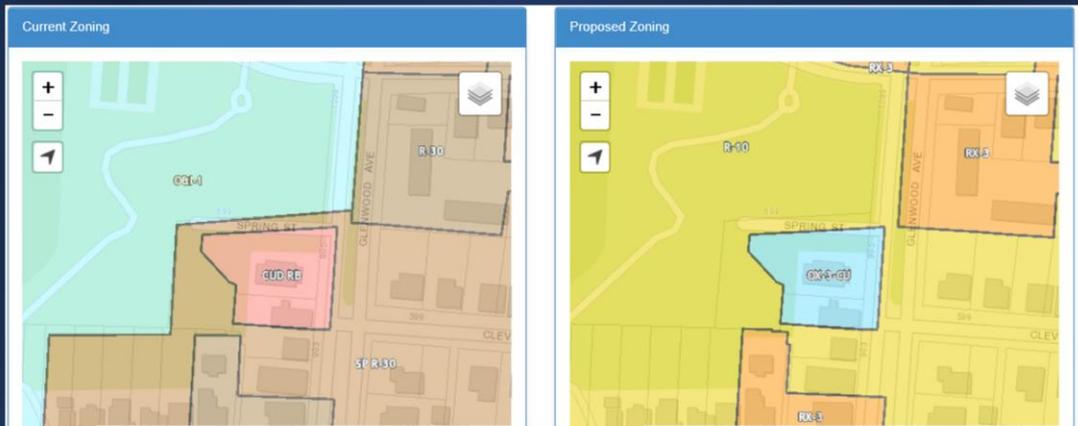


The Gaston Woods townhouses have a density of 9, making R-10-NCOD a logical remapping for these properties.

The rest of the Clay Street includes a mix of detached homes and apartments. The remapping to RX-3-NCOD seems appropriate for this area.

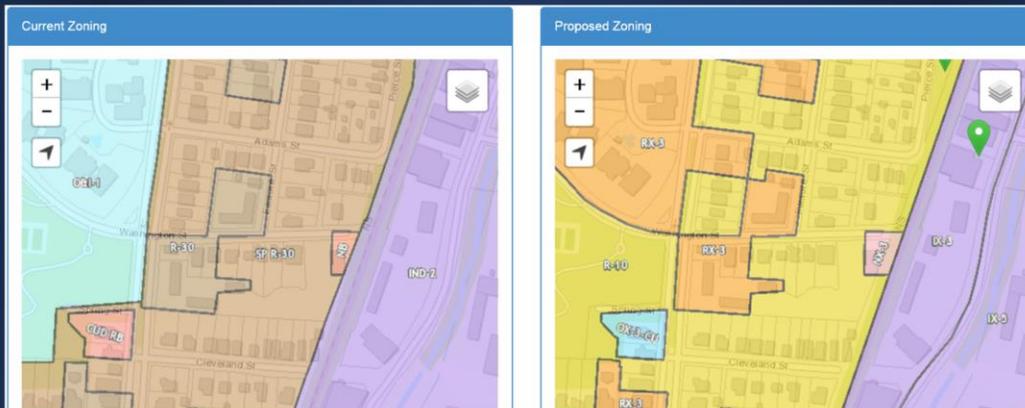
The owner of 800 St. Mary's (Ligon Building) has been leasing spaces in this parking lot to Broughton High School students for at least 25 years. Although the proposed remapping is OX-3, the FLUM categorizes this parcel as Moderate Density Residential. RX-3 would provide a much better transition between the commercial activity on St. Mary's and the Glenwood-Brooklyn residential area.

Fletcher Property



Although the Fletcher Foundation property includes conditions that help preserve the character of the neighborhood, the conversion from residential to a commercial use increases the risk of commercial creep along Glenwood Avenue.

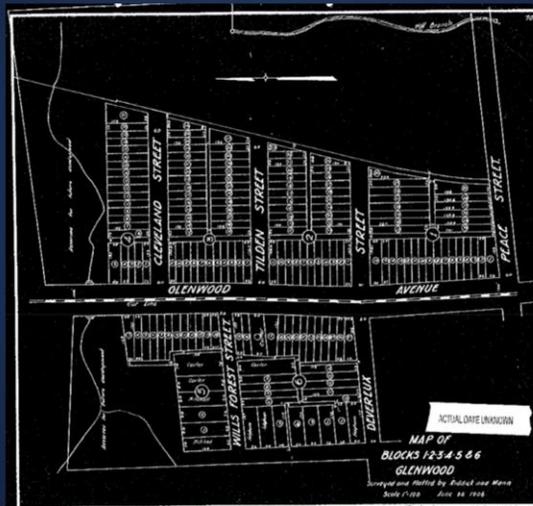
Washington Street



The west end of Washington Street at the Glenwood intersection is primarily multi-unit buildings, along with a small retail building. RX-3-NCOD seems like a good fit at this intersection.

501 Washington is located at the east end of the street along the Norfolk Southern railroad tracks. The majority of the property is zoned Special R-30, with a small section zoned NB. About half of the Special R-30 section sits in a riparian buffer. The proposed remapping for the NB section is NX-3, but RX-3 might work well if the owner moves forward with a plan to make this a live / work building.

Historic Lot Lines



Historic lots – frequently called hidden lots – continue to confuse and anger residents. These lots are not visible on City’s mapping system; but they are legal nonconforming lots, which means they are buildable lots. These lots can lead to some undesirable infill development and have contributed to the split zonings in the neighborhood.

From: [Pettibone, Carter](#)
To: [Philip Poe](#)
Cc: [Rezoning](#)
Subject: UDO Remapping Comment #GEN-0577 - Apply NCOD to SP R-30 Zone properties
Date: Tuesday, October 14, 2014 11:42:58 AM

Phil,

Thank you for your comments regarding the UDO remapping for the Glenwood Brooklyn Neighborhood. As I mentioned in my previous email. Staff has split your initial comment into eight separate requests.

The first is the request to apply a Neighborhood Conservation Overlay District (NCOD) to properties currently zoned Special Residential-30 in the Glenwood Brooklyn neighborhood as part of the UDO Remapping process. This is an idea that has been previously discussed by Staff and neighborhood representatives. Since there are potential options for how this would be handled, Staff is forwarding this request with no recommendation to the Planning Commission in order to have further discussion on the issue.

More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "UDO - Unified Development Ordinance." The link is on the same webpage. You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Please let me know if you have any questions.

Thank you.

Carter Pettibone, AICP
Urban Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department
220 Fayetteville Street, Suite 200, Raleigh, NC 27601
919.996.4643
carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign

From: [Pettibone, Carter](#)
To: [Rezoning](#)
Subject: FW: UDO Remapping Comment #GEN-0578 - Apply NCOD to Non-SP R-30 properties
Date: Tuesday, October 14, 2014 12:09:13 PM

Carter Pettibone, AICP

Urban Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department
220 Fayetteville Street, Suite 200, Raleigh, NC 27601
919.996.4643
carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign

From: Pettibone, Carter
Sent: Tuesday, October 14, 2014 11:43 AM
To: 'Philip Poe'
Subject: UDO Remapping Comment #GEN-0578 - Apply NCOD to Non-SP R-30 properties

Phil,

Thank you for your comments regarding the UDO remapping for The Glenwood Brooklyn Neighborhood. This response relates to the request to apply a neighborhood Conservation Overlay District (NCOD) to properties in the Glenwood Brooklyn area that are not currently zoned Special Residential-30 (SP R-30). This includes properties currently zoned R-30, R-30-CUD, O&I-1, O&I-1-CUD, NB, and IND-2 as identified on your neighborhood analysis spreadsheet.

I brought this request to a recent meeting of the UDO Staff Review team for discussion.

Staff does not agree with the request to apply an NCOD to parcels not zoned SP R-30 as part of the UDO Remapping process. This does not correspond to the guidance Staff used in developing the draft UDO zoning map. Only SP R-30 zoning, with its contextual design standards, was envisioned for conversion to potential NCOD standards. The properties in Glenwood Brooklyn that are zoned other than SP R-30 do not currently have the same design standards.

Regardless of Staff's determination, we are forwarding your comments to the Planning Commission for its review. More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "UDO - Unified Development Ordinance." The link is on the same webpage. You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Please let me know if you have any questions.

Thank you.

Carter Pettibone, AICP

Urban Planner

Raleigh Urban Design Center

An Office of the Planning & Development Department

220 Fayetteville Street, Suite 200, Raleigh, NC 27601

919.996.4643

carter.pettibone@raleighnc.gov

www.raleighnc.gov/urbandesign

From: [Pettibone, Carter](#)
To: [Rezoning](#)
Subject: FW: UDO Remapping Comment #GEN-0579 - Rezone SP R-30 parcels to R-10
Date: Tuesday, October 14, 2014 12:09:21 PM

Carter Pettibone, AICP

Urban Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department
220 Fayetteville Street, Suite 200, Raleigh, NC 27601
919.996.4643
carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign

From: Pettibone, Carter
Sent: Tuesday, October 14, 2014 11:44 AM
To: 'Philip Poe'
Subject: UDO Remapping Comment #GEN-0579 - Rezone SP R-30 parcels to R-10

Phil,

Thank you for your comments regarding the UDO remapping for The Glenwood Brooklyn Neighborhood. This response relates to the request to rezone four parcels from SP R-30 to a zoning district of Residential-10 (R-10) instead of the proposed Residential Mixed -3 Stories (RX-3). The four properties are:

- 1110 Glenwood Avenue
- 1114 Glenwood Avenue
- 1218 Glenwood Avenue
- 607 Adams Street

I brought this request to a recent meeting of the UDO Staff Review team for discussion.

Staff does not agree with the request to amend the base zoning district to R-10 for these properties. This does not correspond to the guidance Staff used in developing the draft UDO zoning map. In this case, to consider RX-3 zoning for properties zoned SP R-30 that have densities in excess of 10 dwelling units per acre. The properties all contain development that has a density above 10 units per acre.

Regardless of Staff's determination, we are forwarding your comments to the Planning Commission for its review. More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "UDO - Unified Development Ordinance." The link is on the same webpage. You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Please let me know if you have any questions.

Thank you.

Carter Pettibone, AICP

Urban Planner

Raleigh Urban Design Center

An Office of the Planning & Development Department

220 Fayetteville Street, Suite 200, Raleigh, NC 27601

919.996.4643

carter.pettibone@raleighnc.gov

www.raleighnc.gov/urbandesign

From: [Pettibone, Carter](#)
To: [Philip Poe](#)
Cc: [Rezoning](#)
Subject: UDO Remapping Comment #GEN-0580 - Rezone R-30 parcels to R-10
Date: Tuesday, October 14, 2014 12:08:53 PM

Phil,

Thank you for your comments regarding the UDO remapping for The Glenwood Brooklyn Neighborhood. This response relates to the request to rezone several parcels from the current Residential-30 (R-30) to Residential-10 (R-10) instead of the proposed Residential Mixed -3 Stories (RX-3). These properties are located in the Glenwood Brooklyn Neighborhood area and identified in the neighborhood analysis spreadsheet you provided with your request.

I brought this request to a recent meeting of the UDO Staff Review team for discussion.

Staff does not agree with the request to amend the zoning district to R-10 for these properties. This does not correspond to the guidance Staff used in developing the draft UDO zoning map. In this case, to consider RX-3 zoning for properties currently zoned R-30. Included in the guiding principles of the UDO Remapping is to maintain existing property rights and avoid downzonings. In addition the request does not involve the property owners themselves.

Regardless of Staff's determination, we are forwarding your comments to the Planning Commission for its review. More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "UDO - Unified Development Ordinance." The link is on the same webpage. You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Please let me know if you have any questions.

Thank you.

Carter Pettibone, AICP

Urban Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department
220 Fayetteville Street, Suite 200, Raleigh, NC 27601
919.996.4643
carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign

From: [Pettibone, Carter](#)
To: [Philip Poe](#)
Cc: [Rezoning](#)
Subject: UDO Remapping Comment #GEN-0581 - 722 Gaston Street
Date: Tuesday, October 14, 2014 12:23:25 PM

Phil,

Thank you for your comments regarding the UDO remapping for The Glenwood Brooklyn Neighborhood. This response relates to the request to amend the proposed UDO zoning district for 722 Gaston Street from NX-3 to RX-3. This property is located in the Glenwood Brooklyn Neighborhood area and identified in the neighborhood analysis spreadsheet you provided with your request.

I brought this request to a recent meeting of the UDO Staff Review team for discussion.

Staff does not agree with the request to amend the zoning district to RX-3 for 722 Gaston Street. This does not correspond to the guidance Staff used in developing the draft UDO zoning map. In this case, to consider NX-3 zoning for properties currently zoned Neighborhood Business (NB) that contain land uses permitted by the NX-3 district. This is the case for 722 Gaston Street. Included in the guiding principles of the UDO Remapping is to maintain existing property rights and avoid downzonings.

In addition the request does not involve the property owner.

Regardless of Staff's determination, we are forwarding your comments to the Planning Commission for its review. More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "UDO - Unified Development Ordinance." The link is on the same webpage. You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Please let me know if you have any questions.

Thank you.

Carter Pettibone, AICP

Urban Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department
220 Fayetteville Street, Suite 200, Raleigh, NC 27601
919.996.4643
carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign

From: [Pettibone, Carter](#)
To: [Rezoning](#)
Subject: FW: UDO Remapping Comment #GEN-0582 - 809 Brooklyn Street
Date: Tuesday, October 14, 2014 12:39:56 PM

Carter Pettibone, AICP

Urban Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department
220 Fayetteville Street, Suite 200, Raleigh, NC 27601
919.996.4643
carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign

From: Pettibone, Carter
Sent: Tuesday, October 14, 2014 12:28 PM
To: 'Philip Poe'
Subject: UDO Remapping Comment #GEN-0582 - 809 Brooklyn Street

Phil,

Thank you for your comments regarding the UDO remapping for The Glenwood Brooklyn Neighborhood. This response relates to the request to amend the proposed UDO zoning district for 809 Brooklyn Street from OX-3 to RX-3. This property is located in the Glenwood Brooklyn Neighborhood area and identified in the neighborhood analysis spreadsheet you provided with your request.

I brought this request to a recent meeting of the UDO Staff Review team for discussion.

Staff does not agree with the request to amend the zoning district to RX-3 for 809 Brooklyn Street. This does not correspond to the guidance Staff used in developing the draft UDO zoning map. In this case, to consider OX-3 zoning for properties currently zoned Office and Institutional-1 (O&I-1) that contain land uses permitted by the OX-3 district. This is the case for 809 Brooklyn Street. Included in the guiding principles of the UDO Remapping is to maintain existing property rights and avoid downzonings.

In addition, the request does not involve the property owner.

Regardless of Staff's determination, we are forwarding your comments to the Planning Commission for its review. More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "UDO - Unified Development Ordinance." The link is on the same webpage. You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Please let me know if you have any questions.

Thank you.

Carter Pettibone, AICP

Urban Planner

Raleigh Urban Design Center

An Office of the Planning & Development Department

220 Fayetteville Street, Suite 200, Raleigh, NC 27601

919.996.4643

carter.pettibone@raleighnc.gov

www.raleighnc.gov/urbandesign

From: [Pettibone, Carter](#)
To: [Philip Poe](#)
Cc: [Rezoning](#)
Subject: UDO Remapping Comment #GEN-0583 - 601 Devereux Street
Date: Tuesday, October 14, 2014 12:34:07 PM

Phil,

Thank you for your comments regarding the UDO remapping for the Glenwood Brooklyn Neighborhood. This response relates to the request to amend the proposed UDO zoning districts for 601 Devereux Street from OX-3 and OX-3-CUD to R-10 and R-10-CUD. This property is located in the Glenwood Brooklyn Neighborhood area and identified in the neighborhood analysis spreadsheet you provided with your request.

I brought this request to a recent meeting of the UDO Staff Review team for discussion.

Staff does not agree with the request to amend the zoning districts to R-10 and R-10-CUD for 601 Devereux Street. This does not correspond to the guidance Staff used in developing the draft UDO zoning map. In this case, to consider OX-3 zoning for properties currently zoned Office and Institutional-1 (O&I-1) that contain land uses permitted by the OX-3 district. Included in the guiding principles of the UDO Remapping is to maintain existing property rights and avoid downzonings.

In addition, the request does not involve the property owner.

Regardless of Staff's determination, we are forwarding your comments to the Planning Commission for its review. More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "UDO - Unified Development Ordinance." The link is on the same webpage. You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Please let me know if you have any questions.

Thank you.

Carter Pettibone, AICP
Urban Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department
220 Fayetteville Street, Suite 200, Raleigh, NC 27601
919.996.4643
carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign



RAGSDALE LIGGETT^{PLLC}
LAWYERS

Benjamin R. Kuhn | D 919.881.2201 | bkuhn@rl-law.com

September 30, 2014

Ms. Bynum Walter
Remapping Raleigh
PO Box 590
Raleigh, NC 27602

*Re: Proposed Remapping and Rezoning of property located at 1220 Pierce Street
("Subject Property")*

Dear Remapping Team:

I own property and a home at 1223 Pierce Street, directly across from the Subject Property referenced above.

As set forth by the City's on-line Remapping Website, the Property is currently proposed to be rezoned "R-10." Residential-10 is an appropriate zoning classification for the Subject Property, along with the other properties in the Glenwood neighborhood being rezoned from SPR-30 to R-10.

The property owner at 302 Jefferson Street submitted comments via the online Remapping Website requesting that the Subject Property instead be zoned OX-3 like the property at 302 Jefferson Street. A Planning Staff comment in response stated:

"Staff agrees that OX-3 would be a reasonable alternative zoning choice for the property at 1220 Pierce Street; this recommendation will be included in the draft map presented to the Planning Commission in October."

The requested and suggested OX-3 zoning for the Subject Property (whether requested by the owner or as suggested by Planning Staff) is inappropriate, inconsistent with similarly situated residentially zoned properties along the Pierce Street, and the rezoning classification of the Subject Property should remain as R-10 for the following reasons:

- All of the Subject Property has frontage across about 475 feet of Pierce Street its entire length from Adams to Jefferson Street and was part of the original subdivision of the Glenwood neighborhood dating back to 1908 (See Book of Maps 1885, Page 86B, and Book of Maps 1885, Page 115).
- All other properties along Pierce Street are zoned residential, have residential homes, and are occupied and used for residential purposes.

Bynum Walter
Remapping Team
September 30, 2014
Page 2

- All of the Subject Property which fronts Pierce Street is currently and has always been zoned residential.
- The reason why the Subject Property is split zoned is due to the fact that Norfolk Southern deeded some excess property (which was zoned I-2) fronting along the Norfolk Southern railroad corridor adjacent to the property at 302 Jefferson and the portion of the Subject Property which fronts Pierce Street.
- The Norfolk Southern Tract was later recombined with Lots 1-6, Block 37, from the original Glenwood Subdivision Plat (See Book of Maps 1885, Page 115).
- When the predecessors in title recombined the several residential “ghost lots” which now comprise the 302 Jefferson property and the Subject Property, the split zoning resulted in the Subject Property having both SPR-30 and I-2 zoning (a left-over remnant from the Norfolk Southern Tract that was zoned I-2). See Recombination Plat at Book of Maps 2003, Page 673.
- The Subject Property is irregularly shaped and unsuited for Office development due to its small lot size - 90 feet at it’s widest and configured as a very acute triangle.
- The buildable envelope, due to OX setbacks, is less than 60 feet wide and narrows precipitously due to the acute triangular shape of the lot.
- The only use that could realistically be made of the Subject Property would be for a residence to be located near the intersection of Pierce and Jefferson. The property cannot sustain office development or uses.
- The parking requirements (1 space per 400 sq.ft.) and setbacks for OX zoning (10’ front, 5’ each side, and 20’ rear) make it literally impossible to configure a marketable office use on the Subject Property.
- The owner of 302 Jefferson has suggested that the parking on 1220 Pierce Street is necessary for the office use at 302 Jefferson; however, such is not accurate.
 - The office buildings at 302 Jefferson is listed on a recorded plat about 12,000 square feet in area;
 - Marketing material has listed the property as 17,000 square feet;
 - At 17,000 square feet, and 1 required parking space per 400 square feet per OX zoning, the required on-site parking is only 43 parking spaces;
 - The 302 Jefferson Property, as subdivided per the Recombination Map at Book of Maps 2003, Page 673, Wake County Registry, has 57 parking spaces.

Bynum Walter
 Remapping Team
 September 30, 2014
 Page 3

- Thus, the 302 Jefferson Property has more than the required on-site parking (14 parking spaces in excess) and does not need any of the parking spaces located on the Subject Property to be in compliance with the OX zoning for the 302 Jefferson Property; and
 - On any given work day from 9 am to 5 pm there is an over-abundance of vacant parking spaces on the Subject Property, clearly showing that parking spaces on 1220 Pierce are not needed for required (or desired) parking.
- The historic use of the Subject Property has been as the trash disposal site for the 302 Jefferson Property. Dumpsters. Over a dozen trash and recycle bins. Two storage sheds. Piles of yard waste. All of this comes from 302 Jefferson which ought to site its trash disposal and storage facilities on its own office property. This is not an appropriate use for property located in a residential subdivision directly across from residential homes and such uses should be discouraged – not encouraged with OX-3 zoning.
 - Zoning the Subject Property R-10 is consistent with rezoning the vast majority of all other SPR-30 zoned property in the neighborhood as currently proposed.
 - It is not appropriate to recombine property zoned I-2 (the old Norfolk Southern Tract) with property zoned residential and have the residentially zoned property changed to office or more intense commercial zoning.
 - As an “Edge Tract” great care should be given in rezoning the Subject Property so as to ensure the nearby residential properties across Pierce Street are protected, and thus, the Subject Property should retain its residential zoning to ensure this “Edge Area” within the neighborhood does not further erode the predominantly residential character of the Glenwood Neighborhood and the Pierce Street area in particular. See Comprehensive Plan Policy Stating that Edge Areas should protect and preserve residential properties and uses (Policy DT 1.11).

Based on the factors listed above, the correct zoning classification for the Property under the UDO should be R-10 and not OX-3 as requested by the owner of the office property at 302 Dale Street, and as suggested by Planning Staff.

We appreciate your consideration of these comments and request that the Remapping Team acknowledges receipt of same and recommend to Planning Commission in October that the zoning classification of R-10 for the Subject Property located at 1220 Pierce Street and as shown on the existing proposed Rezoning Map be adopted for the new official Zoning Map.

Bynum Walter
Remapping Team
September 30, 2014
Page 4

Sincerely,

RAGSDALE LIGGETT



Benjamin R. Kuhn

Attachments

Cc Ken Bowers
Dan Becker
Council Member Kay Crowder
Former Council Member Thomas Crowder

UDO Zoning Remapping

Compare the current zoning with the proposed UDO zoning.

(<http://www.raleighnc.gov>)



Search by address or PIN or click on the map

222 West Hargett Street



Selected Address: 1220 PIERCE ST

Give Feedback

Current Zoning

Leaflet (<http://leafletjs.com>) |
USDA, EPA, USGS, Intermap, IPC, TomTom, DeLorme, HERE, Esri, State of ...

SP R-30

Description

Proposed Zoning

Leaflet (<http://leafletjs.com>) |
USDA, EPA, USGS, Intermap, IPC, TomTom, DeLorme, HERE, Esri, State of ...

R-10

Description

Special Residential-30 (SP R-30)

Zoning

SP R-30 (Special R-30): This is a unique high density district. The Special R-30 zoning district allows 30 dwellings per acre, but features requirements that new structures be of a similar size and height as surrounding existing structures. These are called contextual regulations because they are based on the context of the existing neighborhood. The Special R-30 zoning district is found in the Glenwood-Brooklyn neighborhood north of Peace Street. This district permits multifamily dwellings on single lots. Though other scenarios are possible, these areas will generally be rezoned to RX- or R-10 w/NCOD under the UDO. Learn More (<http://www.raleighnc.gov/business/content/PlanDev/Articles/Zoning/PermittedUses.html>)

Residential-10 (R-10)

Base Zoning

R-10 (Residential-10): Subject to the density restriction of 10 units per acre, R-10 allows single-unit living in a detached house with a minimum lot size of 4,000 square feet and 2-unit living in an attached house with a minimum lot size of 6,000 square feet. Multi-unit living is also allowed in a townhouse or apartment building. Learn More (<http://www.raleighnc.gov/content/extra/Books/PlanDev/UnifiedDevelopmentOrdinance/#/30/>)



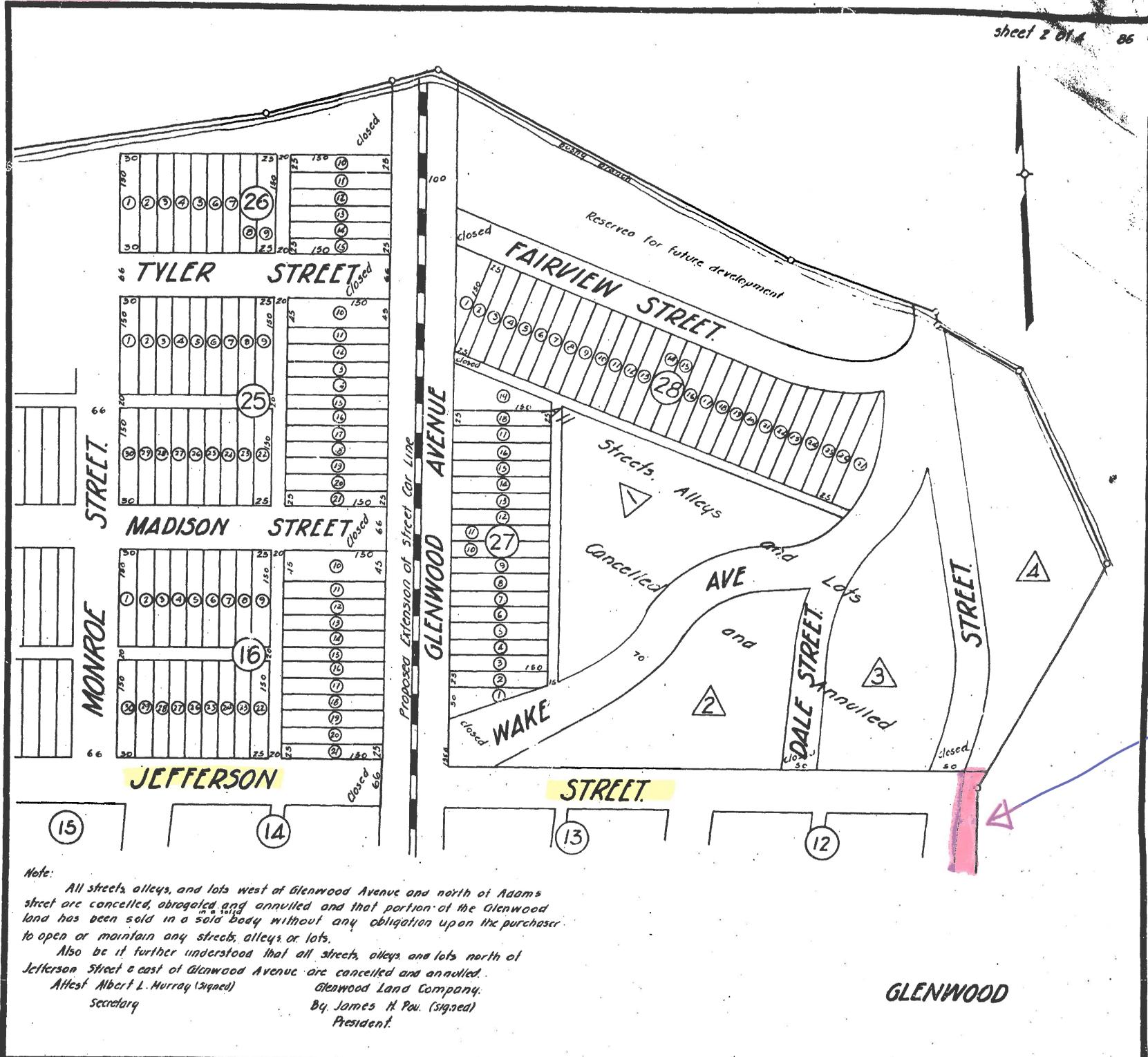
Application developed by the City of Raleigh Geographic Information Services (<http://www.raleighnc.gov/business/content/ITechAdmin/Articles/GeographicInformationServices.html>) division.

Application developed for the City of Raleigh Planning and Development (<http://www.raleighnc.gov/planning>) department.



(<http://www.raleighnc.gov>)

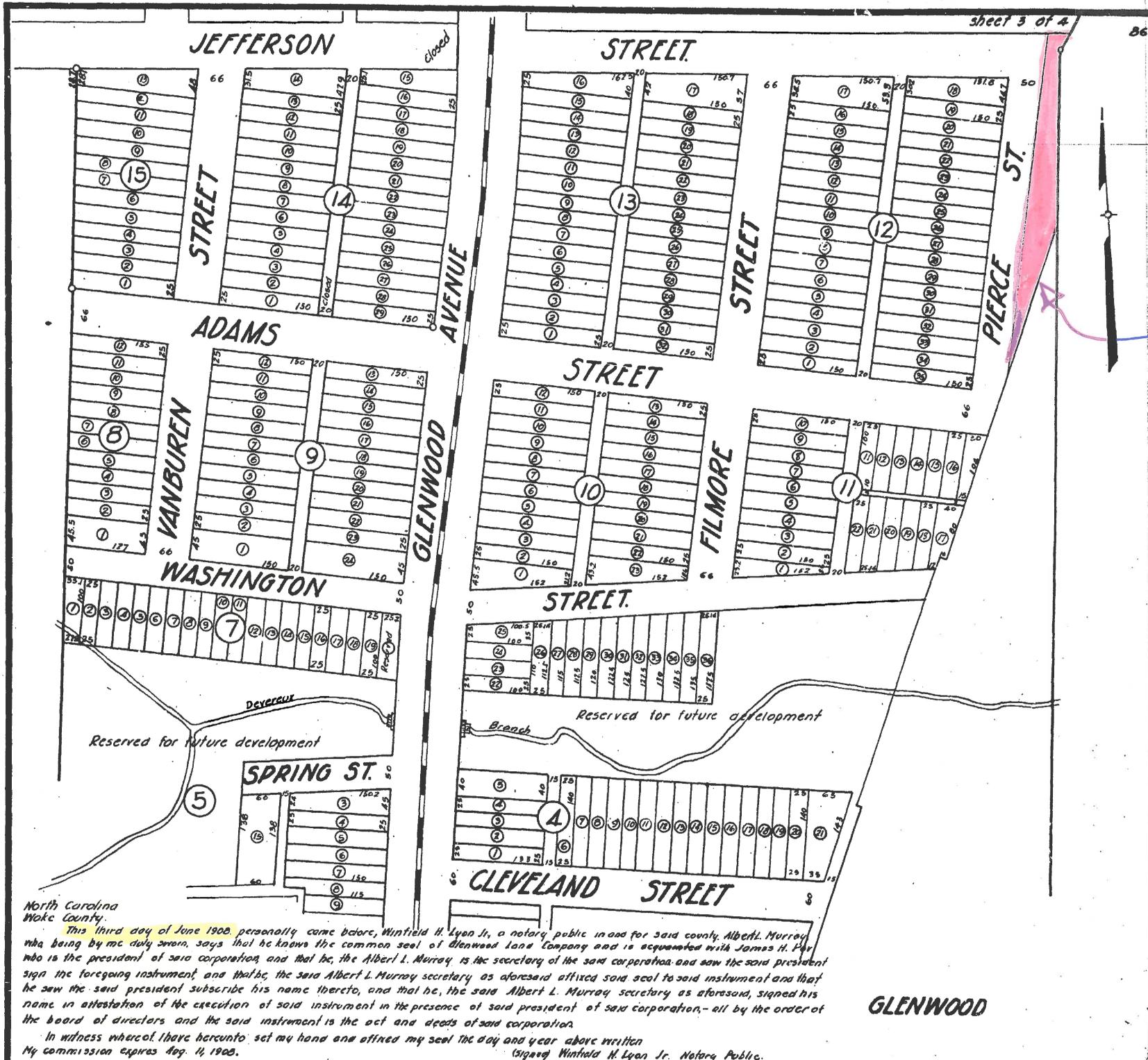
© 2014



First Plat of
 Glenwood Subdivision
 Showing Portion
 of Subject Property
 Fronting Pierce St.
at June 1908

Note:
 All streets, alleys, and lots west of Glenwood Avenue and north of Adams street are cancelled, abrogated and annulled and that portion of the Glenwood land has been sold in a sold body without any obligation upon the purchaser to open or maintain any streets, alleys, or lots.
 Also be it further understood that all streets, alleys and lots north of Jefferson Street east of Glenwood Avenue are cancelled and annulled.
 Attest Albert L. Murray (signed) Secretary
 Glenwood Land Company.
 By James H. Pau. (signed) President.

GLENWOOD



First Plat of
 Glenwood Subdivision
 Showing Portion of
 Subject Property
 Fronting Pierce St.
 @ June 1900

North Carolina
 Wake County.

This third day of June 1900, personally came before, Winfield H. Lyon Jr, a notary public in and for said county, Albert L. Murray, who being by me duly sworn, says that he knows the common seal of Glenwood Land Company and is acquainted with James H. Fox, who is the president of said corporation, and that he, the Albert L. Murray, is the secretary of the said corporation, and saw the said president sign the foregoing instrument, and that he, the said Albert L. Murray secretary as aforesaid affixed said seal to said instrument and that he saw the said president subscribe his name thereto, and that he, the said Albert L. Murray secretary as aforesaid, signed his name in attestation of the execution of said instrument in the presence of said president of said corporation, - all by the order of the board of directors and the said instrument is the act and deeds of said corporation.

In witness whereof, I have hereunto set my hand and affixed my seal the day and year above written
 My commission expires Aug. 11, 1900. (Signed) Winfield H. Lyon Jr. Notary Public.

GLENWOOD



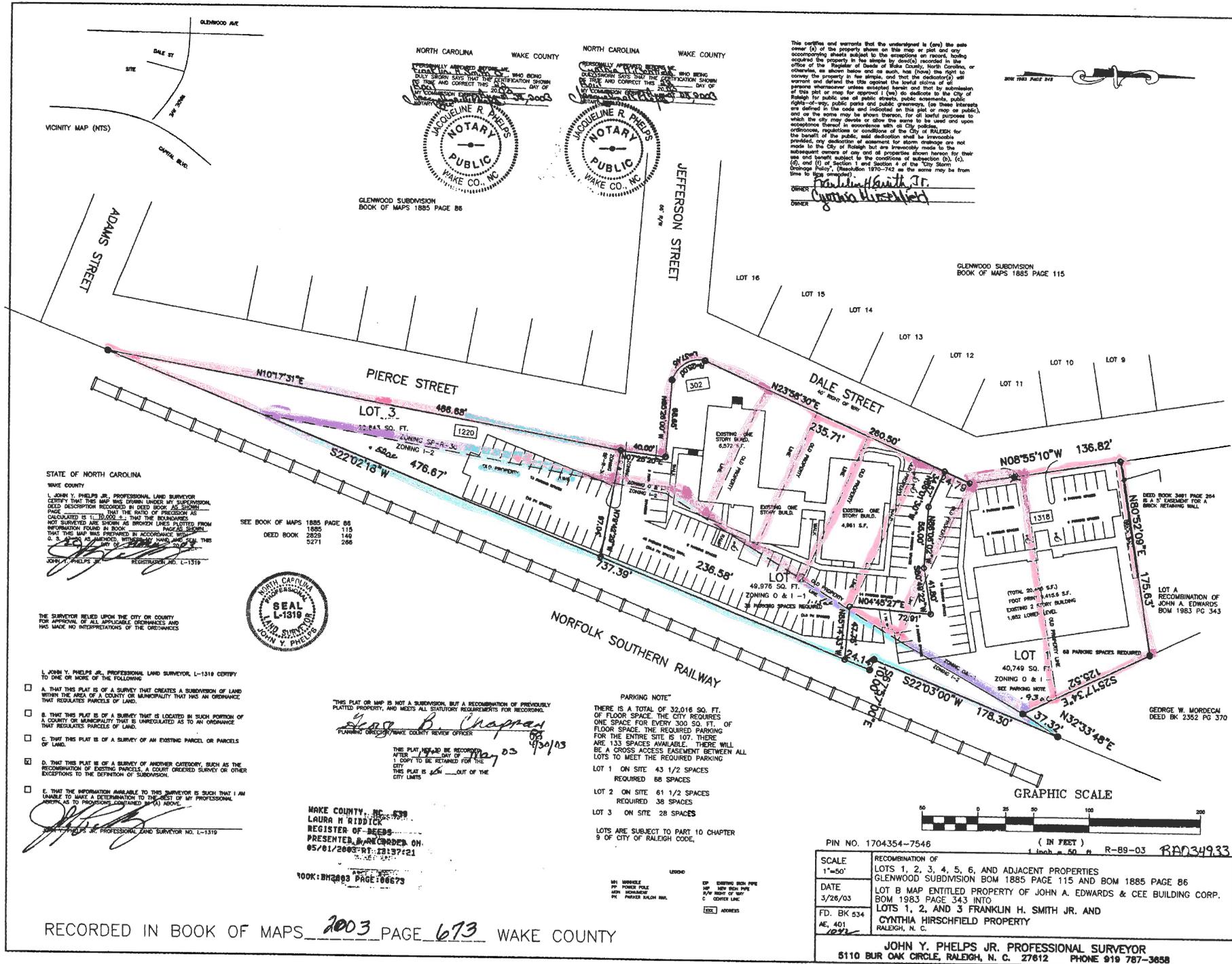
GLENWOOD
 PORTION OF GLENWOOD LYING NORTH OF JEFFERSON
 STREET AND EAST OF GLENWOOD AVENUE
 NOTE: - BLOCK NOS. INDICATED (⊕)
 LOT NOS. INDICATED (⊙)
 PROPERTY BOUNDARY COES (⊙)
 SURVEYED & PLOTTED BY RIDDICK & MANN
 SCALE 50'=1" DECEMBER 1, 1908
 Recorded this 16th day of July 1909
 J. J. Bernard, Register of Deeds
 By W. H. Saxner, Deputy

ACTUAL DATE UNKNOWN

Book 1885 Page 115

GEN-0485.pdf
 First Plat Showing
 Subdivision of
 Lots 1-6 of Glenwood
 Subdivision which
 were recombined
 in 2003 to
 create 302
 Jefferson

2003 Recombination Plat



Former NF Southern Property Recombined

Former Lots 1-6 recombined w/ NF Southern tract to create 302 Jefferson

STATE OF NORTH CAROLINA
WAKE COUNTY
I, JOHN Y. PHELPS JR., PROFESSIONAL LAND SURVEYOR, L-1319 CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION, DEED DESCRIPTION REQUIRED BY DEED BOOK AND SURVEY PAGE CALCULATED IS 1:10,000.±; THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION FOUND IN BOOK: PAGE(S) 1885 115 140 2829 140 5271 266 THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 170-10 AS AMENDED, WITHIN THE MEANING AND INTENT OF THIS ACT.
JOHN Y. PHELPS JR. REGISTRAR, NO. L-1319



THE SURVEYOR RELIES UPON THE CITY OR COUNTY FOR APPROVAL OF ALL APPLICABLE ORDINANCES AND HAS MADE NO INTERPRETATIONS OF THE ORDINANCES.

I, JOHN Y. PHELPS JR., PROFESSIONAL LAND SURVEYOR, L-1319 CERTIFY TO ONE OR MORE OF THE FOLLOWING:

- A. THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.
- B. THAT THIS PLAT IS OF A SURVEY THAT IS LOCATED IN SUCH PORTION OF A COUNTY OR MUNICIPALITY THAT IS UNREGULATED AS TO AN ORDINANCE THAT REGULATES PARCELS OF LAND.
- C. THAT THIS PLAT IS OF A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND.
- D. THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY OR OTHER EXCEPTIONS TO THE DEFINITION OF SUBDIVISION.
- E. THAT THE INFORMATION AVAILABLE TO THIS SURVEYOR IS SUCH THAT I AM UNABLE TO MAKE A DETERMINATION TO THE BEST OF MY PROFESSIONAL SKILL AS TO PROVISIONS CONTAINED IN (A) ABOVE.

THIS PLAT OR MAP IS NOT A SUBDIVISION, BUT A RECOMBINATION OF PREVIOUSLY PLATTED PROPERTY, AND MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

Yog B. Chapray
PLANNING DIRECTOR/WAKE COUNTY REVIEW OFFICER

THIS PLAT IS TO BE RECORDED AFTER _____ DAY OF _____ 2003.

THIS PLAT IS OUT OF THE CITY LIMITS.

WAKE COUNTY, NC 27603
LAURA M. RIDDICK, REGISTRAR
PRESENTED & RECORDED ON 05/01/2003 AT 12:37:21

PARKING NOTE

THERE IS A TOTAL OF 32,016 SQ. FT. OF FLOOR SPACE. THE CITY REQUIRES ONE SPACE FOR EVERY 300 SQ. FT. OF FLOOR SPACE. THE REQUIRED PARKING FOR THE ENTIRE SITE IS 107. THERE ARE 133 SPACES AVAILABLE. THERE WILL BE A CROSS ACCESS EASEMENT BETWEEN LOTS TO MEET THE REQUIRED PARKING.

LOT 1 ON SITE 43 1/2 SPACES
REQUIRED 66 SPACES

LOT 2 ON SITE 61 1/2 SPACES
REQUIRED 38 SPACES

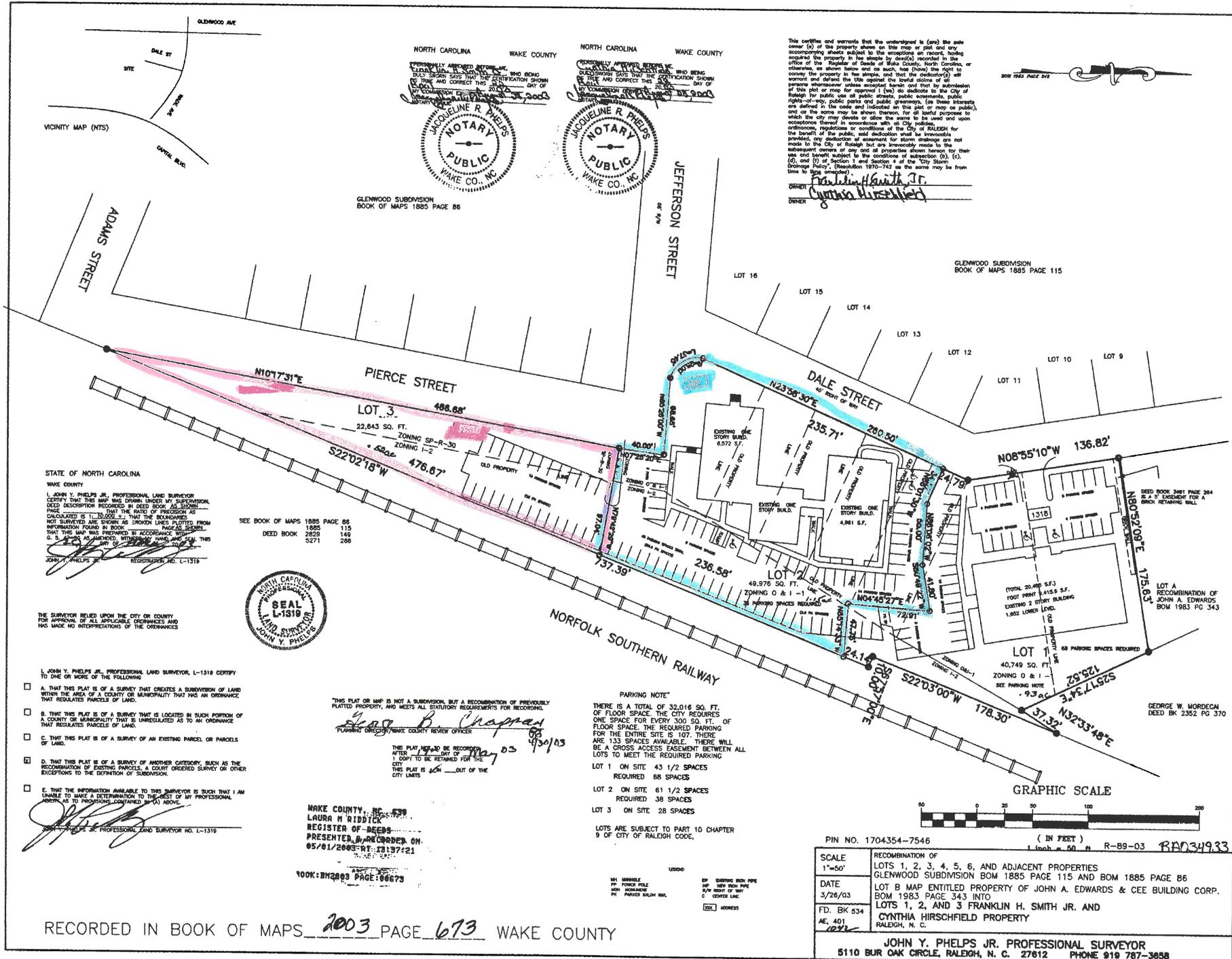
LOT 3 ON SITE 28 SPACES

LOTS ARE SUBJECT TO PART 10 CHAPTER 9 OF CITY OF RALEIGH CODE.

SCALE	1"=50'	RECOMBINATION OF LOTS 1, 2, 3, 4, 5, 6, AND ADJACENT PROPERTIES GLENWOOD SUBDIVISION BOM 1885 PAGE 115 AND BOM 1885 PAGE 86
DATE	3/26/03	LOT B MAP ENTITLED PROPERTY OF JOHN A. EDWARDS & CEE BUILDING CORP. BOM 1983 PAGE 343 INTO LOTS 1, 2, AND 3 FRANKLIN H. SMITH JR. AND CYNTHIA HIRSCHFELD PROPERTY
FD. BK	534	
AE, 401		
JOHN Y. PHELPS JR. PROFESSIONAL SURVEYOR 5110 BUR OAK CIRCLE, RALEIGH, N. C. 27612 PHONE 919 787-3658		

RECORDED IN BOOK OF MAPS 2003 PAGE 673 WAKE COUNTY

□ = 1220 Pierce
□ = 302 Jefferson



NORTH CAROLINA WAKE COUNTY
 I, JOHN Y. PHELPS JR., PROFESSIONAL LAND SURVEYOR, L-1319, WHO BEING DULY SWORN, CERTIFIES THAT THE CERTIFICATION SHOWN ON THIS MAP IS TRUE AND CORRECT THIS DAY OF 03/26/03.



This certifies and warrants that the undersigned is (are) the sole owner (s) of the property shown on this map or plat and any accompanying sheets related to the operations on record, having acquired the property in fee simple by deed(s) recorded in the office of the Register of Deeds of Wake County, North Carolina, or otherwise, as shown below and no such host (have) the right to convey the property in fee simple, and that the undersigned (s) warrant and defend the title against the lawful claims of all persons whatsoever unless excepted herein and that by submission of this plat or map for approval I (we) do dedicate to the City of Raleigh for public use all public streets, public easements, public rights-of-way, public parks and public greenways, (as these interests are defined in the code and indicated on this plat or map or public) and or the same may be shown thereon, for all lawful purposes to which the City may devote or intend the same to be used and upon acceptance thereof in accordance with all City policies, ordinances, resolutions or conditions of the City of Raleigh for the benefit of the public, said dedication shall be irrevocable. I (we) warrant that no portion of the same shall be used for any other purpose not made to the City of Raleigh but are irrevocably made to the independent owners of any and all properties shown hereon for their use and benefit subject to the conditions of subsection (b), (c), (d), and (f) of section 1 and section 4 of the "City Street Drainage Policy", (Resolution 1970-742 as the same may be from time to time amended).

OWNER: *Pauline Hawthorn Jr.*
 OWNER: *Cynthia Hirschfeld*

STATE OF NORTH CAROLINA
 WAKE COUNTY
 I, JOHN Y. PHELPS JR., PROFESSIONAL LAND SURVEYOR, L-1319, WHO BEING DULY SWORN, CERTIFIES THAT THE MAP WAS DRAWN UNDER MY SUPERVISION, BEEN DESCRIBED IN DEED BOOK AS SHOWN ON PAGE 6673, THAT THE RATIO OF PRECISION AS CALCULATED IS 1 TO 10000, THAT THE REQUIREMENTS NOT SURVEYED ARE SHOWN AS DASHED LINES, PLOTTED FROM INFORMATION FOUND IN BOOK PAGE 343, THAT THIS MAP WAS PREPARED BY ACCORDANCE WITH C.S. 1-100, AND THAT I AM A MEMBER OF THE N.C. SURVEYORS ASSOCIATION.

JOHN Y. PHELPS JR. REGISTERED NO. L-1319



THE SURVEYOR BELIEVES THE CITY OR COUNTY FOR APPROVAL OF ALL APPLICABLE ORDINANCES AND HAS MADE NO INTERPRETATIONS OF THE ORDINANCES.

- I, JOHN Y. PHELPS JR., PROFESSIONAL LAND SURVEYOR, L-1319 CERTIFY TO ONE OR MORE OF THE FOLLOWING
- A. THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.
 - B. THAT THIS PLAT IS OF A SURVEY THAT IS LOCATED IN SUCH PORTION OF A COUNTY OR MUNICIPALITY THAT IS UNREGULATED AS TO AN ORDINANCE THAT REGULATES PARCELS OF LAND.
 - C. THAT THIS PLAT IS OF A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND.
 - D. THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY OR OTHER EXCEPTIONS TO THE DEFINITION OF SUBDIVISION.
 - E. THAT THE INFORMATION AVAILABLE TO THIS SURVEYOR IS SUCH THAT I AM UNABLE TO MAKE A DETERMINATION TO THE BEST OF MY PROFESSIONAL JUDGMENT AS TO PROVISIONS CONTAINED IN (A) ABOVE.
- JOHN Y. PHELPS JR. PROFESSIONAL LAND SURVEYOR NO. L-1319

THIS PLAT OR MAP IS NOT A SUBDIVISION, BUT A RECOMBINATION OF PREVIOUSLY PLATTED PROPERTY, AND MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

Laura B. Chapman
 PLANNING ORDINANCE/WAKE COUNTY REVIEW OFFICER

THIS PLAT IS TO BE RECORDED AFTER 1 COPY TO BE RETAINED FOR THE CITY. THIS PLAT IS OUT OF THE CITY LIMITS.

WAKE COUNTY, NC 27601
 LAURA M. RIDDICK
 REGISTER OF DEEDS
 PRESENTER & RECORDED ON
 05/01/2003 RT: 13:37:21

PARKING NOTE
 THERE IS A TOTAL OF 32,016 SQ. FT. OF FLOOR SPACE. THE CITY REQUIRES ONE SPACE FOR EVERY 300 SQ. FT. OF FLOOR SPACE. THE REQUIRED PARKING FOR THE ENTIRE SITE IS 107. THERE ARE 133 SPACES AVAILABLE. THERE WILL BE A CROSS ACCESS EASEMENT BETWEEN ALL LOTS TO MEET THE REQUIRED PARKING.

LOT 1 ON SITE 43 1/2 SPACES REQUIRED 68 SPACES
 LOT 2 ON SITE 61 1/2 SPACES REQUIRED 38 SPACES
 LOT 3 ON SITE 28 SPACES

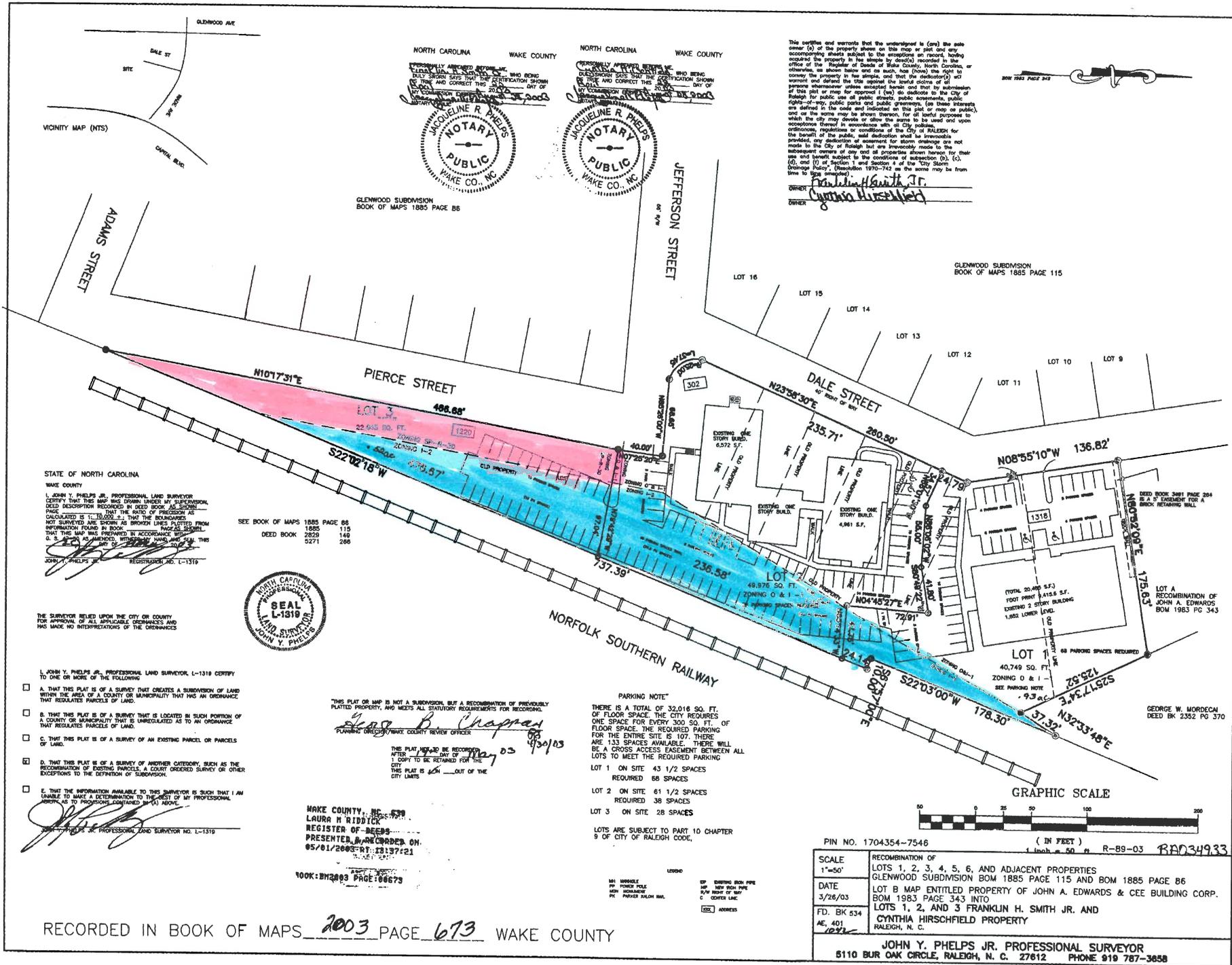
LOTS ARE SUBJECT TO PART 10 CHAPTER 9 OF CITY OF RALEIGH CODE.

SCALE 1"=50'	RECOMBINATION OF LOTS 1, 2, 3, 4, 5, 6, AND ADJACENT PROPERTIES GLENWOOD SUBDIVISION BOM 1885 PAGE 115 AND BOM 1885 PAGE 86
DATE 3/26/03	LOT B MAP ENTITLED PROPERTY OF JOHN A. EDWARDS & CEE BUILDING CORP. BOM 1983 PAGE 343 INTO LOTS 1, 2, AND 3 FRANKLIN H. SMITH JR. AND CYNTHIA HIRSCHFIELD PROPERTY
FD. BK 534 AE, 401 1222	JOHN Y. PHELPS JR. PROFESSIONAL SURVEYOR 5110 BUR OAK CIRCLE, RALEIGH, N. C. 27612 PHONE 919 787-3658

RECORDED IN BOOK OF MAPS 2003 PAGE 673 WAKE COUNTY

SPR-30

I-2



NORTH CAROLINA WAKE COUNTY

PERSONALLY APPEARED BEFORE ME... I, JACQUELINE R. PHELPS, NOTARY PUBLIC, WAKE CO., NC.



This certifies and warrants that the undersigned is (are) the sole owner (s) of the property shown on this map or plat and any... (text continues with legal disclaimer)

OWNER: Cynthia Hirschfeld, 401 Raleigh, N.C.

STATE OF NORTH CAROLINA WAKE COUNTY I, JOHN Y. PHELPS JR., PROFESSIONAL LAND SURVEYOR... (text continues with certification)



THE SURVEYOR BELIEVES UPON THE CITY OR COUNTY FOR APPROVAL OF ALL APPLICABLE ORDINANCES AND HAS MADE NO INTERPRETATIONS OF THE ORDINANCES

- I, JOHN Y. PHELPS JR., PROFESSIONAL LAND SURVEYOR, L-1319 CERTIFY TO ONE OR MORE OF THE FOLLOWING:
 - A. THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.
 - B. THAT THIS PLAT IS OF A SURVEY THAT IS LOCATED IN SUCH PORTION OF A COUNTY OR MUNICIPALITY THAT IS UNREGULATED AS TO AN ORDINANCE THAT REGULATES PARCELS OF LAND.
 - C. THAT THIS PLAT IS OF A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND.
 - D. THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY OR OTHER EXCEPTIONS TO THE DEFINITION OF SUBDIVISION.
 - E. THAT THE INFORMATION AVAILABLE TO THIS SURVEYOR IS SUCH THAT I AM UNABLE TO MAKE A DETERMINATION TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AS TO PROVISIONS CONTAINED IN (A) ABOVE.

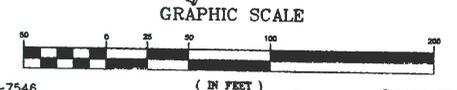
"THIS PLAT OR MAP IS NOT A SUBDIVISION, BUT A RECOMBINATION OF PREVIOUSLY PLATTED PROPERTY, AND MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING."

PLANNING OFFICER/WAKE COUNTY REVIEW OFFICER: Laura B. Chaparral

THIS PLAT SHOULD BE RECORDED AFTER THE FIRST DAY OF 12/03. THIS PLAT IS 1/2" OUT OF THE CITY LIMITS.

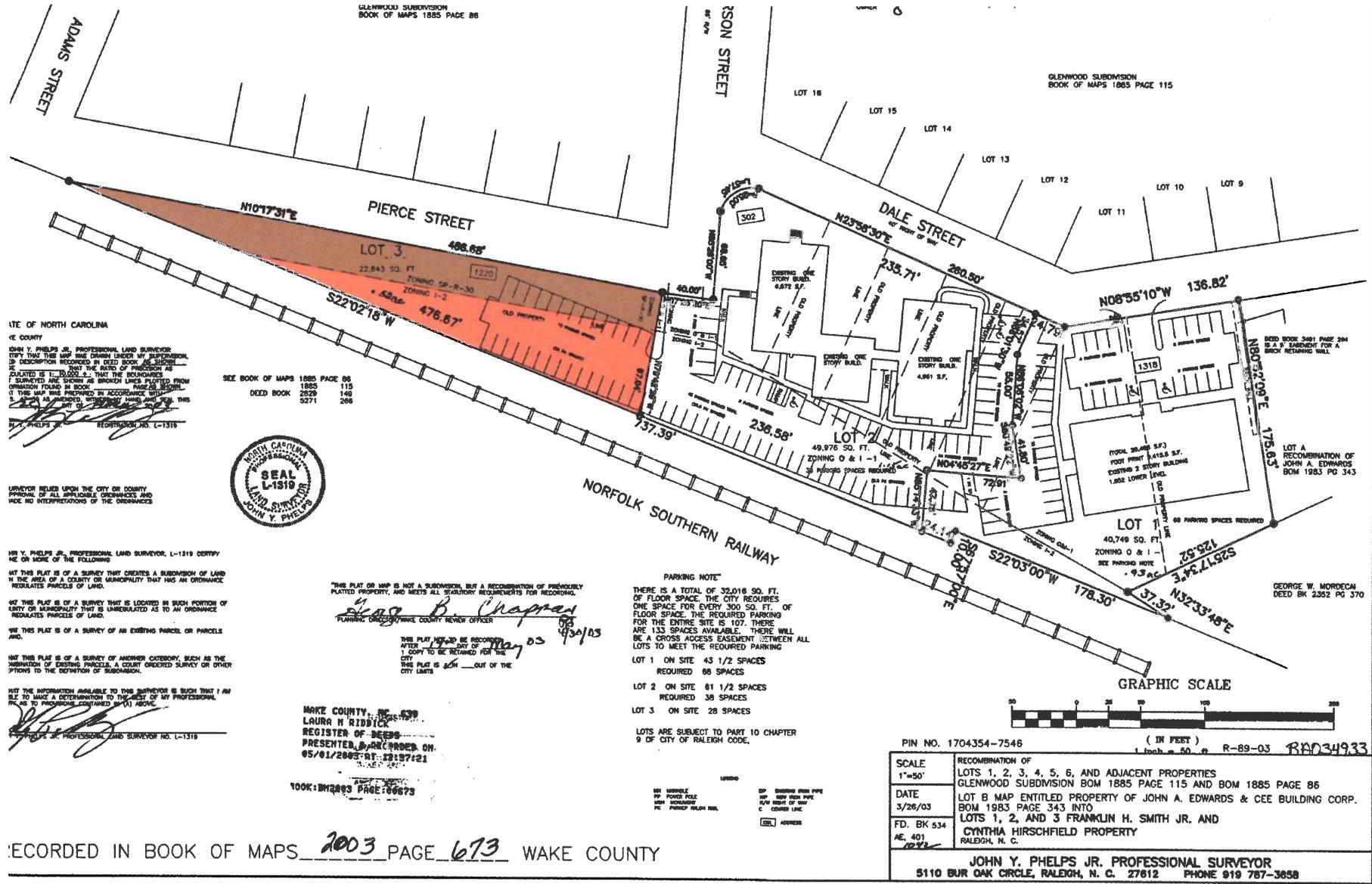
WAKE COUNTY, NC 27601 LAURA N. RIDDIK REGISTERED DEEDS PRESENTER, RECORDED ON 05/01/2003 AT 12:13:21

PARKING NOTE: THERE IS A TOTAL OF 32,016 SQ. FT. OF FLOOR SPACE... (text continues with parking requirements)



PIN NO. 1704354-7546 (IN FEET) 1 inch = 50 ft R-89-03 RAD34933	
SCALE 1"=50'	RECOMBINATION OF LOTS 1, 2, 3, 4, 5, 6, AND ADJACENT PROPERTIES GLENWOOD SUBDIVISION BOM 1885 PAGE 115 AND BOM 1885 PAGE 86
DATE 3/28/03	LOT B MAP ENTITLED PROPERTY OF JOHN A. EDWARDS & CEE BUILDING CORP. BOM 1983 PAGE 343 INTO LOTS 1, 2, AND 3 FRANKLIN H. SMITH JR. AND CYNTHIA HIRSCHFELD PROPERTY
FD. BK 634 AE, 401 12/22	JOHN Y. PHELPS JR. PROFESSIONAL SURVEYOR 6110 BUR OAK CIRCLE, RALEIGH, N. C. 27612 PHONE 919 787-3658

RECORDED IN BOOK OF MAPS 2003 PAGE 673 WAKE COUNTY



STATE OF NORTH CAROLINA
 WAKE COUNTY
 JOHN Y. PHELPS JR., PROFESSIONAL LAND SURVEYOR
 I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION,
 IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYING
 ACT OF 1979, AND THAT THE SURVEYING
 OPERATIONS WERE CONDUCTED IN ACCORDANCE WITH
 THE STANDARDS OF THE SURVEYING PROFESSION.
 I HAVE REVIEWED THE MAP AND THE RECORDING
 INFORMATION AND I HAVE FOUND THAT THE MAP
 ACCURATELY REPRESENTS THE SURVEYING
 OPERATIONS AS PERFORMED AND THAT THE
 INFORMATION IS TRUE AND CORRECT.
 JOHN Y. PHELPS JR. REGISTRAR NO. L-1319

SEE BOOK OF MAPS 1885 PAGE 86
 1885 115
 DEED BOOK 2529 149
 5271 206



SURVEYOR RELIES UPON THE CITY OR COUNTY
 APPROVAL OF ALL APPLICABLE ORDINANCES AND
 MAKES NO INTERPRETATION OF THE ORDINANCES

JOHN Y. PHELPS JR., PROFESSIONAL LAND SURVEYOR, L-1319 CERTIFY
 ME OR MORE OF THE FOLLOWING:
 1. THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND
 IN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE
 REGULATING PARCELS OF LAND.
 2. THIS PLAT IS OF A SURVEY THAT IS LOCATED IN SUCH PORTION OF
 A COUNTY OR MUNICIPALITY THAT IS UNINCORPORATED AS TO AN ORDINANCE
 REGULATING PARCELS OF LAND.
 3. THIS PLAT IS OF A SURVEY OF AN EXISTING PARCEL OR PARCELS
 AND.
 4. THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE
 SUBDIVISION OF EXISTING PARCELS, A COURT ORDERED SURVEY OR OTHER
 PLANS TO THE DEFINITION OF SUBDIVISION.

"THIS PLAT OR MAP IS NOT A SUBDIVISION, BUT A RECONSTRUCTION OF PREVIOUSLY
 PLATTED PROPERTY, AND MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING."
 Sean B. Chapman
 PLANNING DIRECTOR/WAKE COUNTY REVENUE OFFICER

THIS PLAT MAP TO BE RECORDED
 AFTER 19/03/03
 1 COPY TO BE RETAINED FOR THE
 CITY
 THIS PLAT IS 20% OUT OF THE
 CITY LIMITS

PARKING NOTE
 THERE IS A TOTAL OF 32,018 SQ. FT.
 OF FLOOR SPACE. THE CITY REQUIRES
 ONE SPACE FOR EVERY 300 SQ. FT. OF
 FLOOR SPACE. THE REQUIRED PARKING
 FOR THE ENTIRE SITE IS 107. THERE
 ARE 133 SPACES AVAILABLE. THERE WILL
 BE A GROSS ACCESS EASEMENT BETWEEN ALL
 LOTS TO MEET THE REQUIRED PARKING.
 LOT 1 ON SITE 43 1/2 SPACES
 REQUIRED 88 SPACES
 LOT 2 ON SITE 81 1/2 SPACES
 REQUIRED 38 SPACES
 LOT 3 ON SITE 28 SPACES

LOTS ARE SUBJECT TO PART 10 CHAPTER
 9 OF CITY OF RALEIGH CODE.

WAKE COUNTY, NC
 LAURA N. RIBBICK
 REGISTERED CLERK
 PRESENTED & RECORDED ON
 05/01/2003 AT 11:27:21

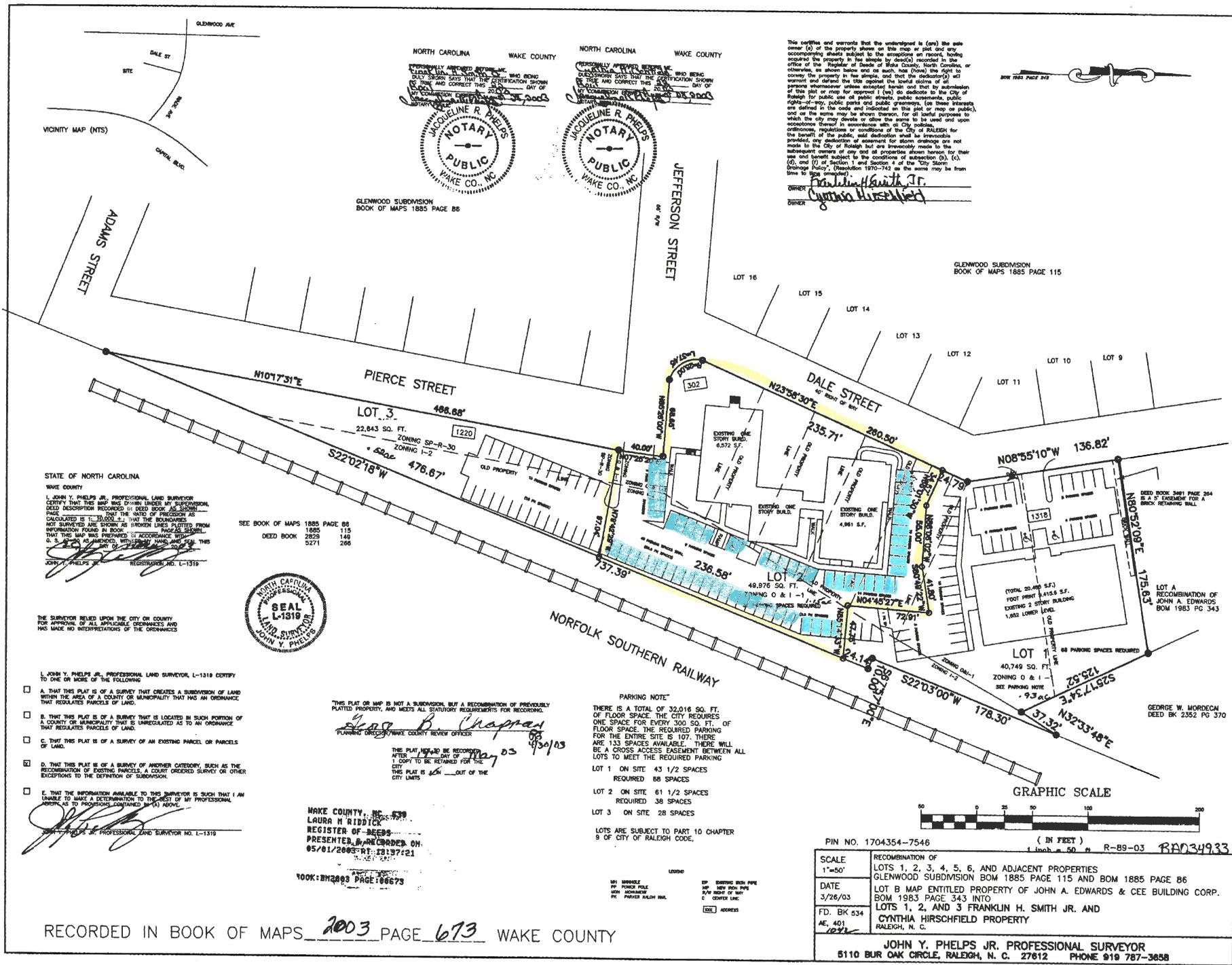
BOOK: 2003 PAGE: 673

RECORDED IN BOOK OF MAPS 2003 PAGE 673 WAKE COUNTY

PIN NO. 1704354-7546		(IN FEET) 1 inch = 50 ft R-89-03 RAD34933	
SCALE 1"=50'	RECONSTRUCTION OF LOTS 1, 2, 3, 4, 5, 6, AND ADJACENT PROPERTIES GLENWOOD SUBDIVISION BOM 1885 PAGE 115 AND BOM 1885 PAGE 86	DATE 3/26/03	LOT B MAP ENTITLED PROPERTY OF JOHN A. EDWARDS & CEE BUILDING CORP. BOM 1983 PAGE 343 INTO LOTS 1, 2, AND 3 FRANKLIN H. SMITH JR. AND CYNTHIA HIRSCHFELD PROPERTY RALEIGH, N. C.
FD. BK 534 AE, 401	JOHN Y. PHELPS JR., PROFESSIONAL SURVEYOR 5110 BUR OAK CIRCLE, RALEIGH, N. C. 27612 PHONE 919 787-3658		

= 57 parking spaces

= 302 Jefferson



NORTH CAROLINA WAKE COUNTY

PERSONALLY APPEARED *[Signature]* AND BEING DULY SWORN SAYS THAT THE CERTIFICATION SHOWN IS TRUE AND CORRECT THIS 20th DAY OF *May* 2003

JACQUELINE R. PHELPS
NOTARY PUBLIC
WAKE CO., NC

This certificate and warrants that the undersigned is (are) the sole owner (s) of the property shown on this map or plot or any accretions thereto subject to the exceptions on record, having acquired the property in fee simple by deed(s) recorded in the office of the Register of Deeds in Wake County, North Carolina, or otherwise, as shown below, and as such, have (have) the right to warrant and defend the title against the lawful claims of all persons whatsoever unless indicated herein and that by submission of this plot or map for approval I (we) do dedicate to the benefit of the public, public parks and public easements, public rights-of-way, public ports and public greenways, (or these interests as defined in the code and indicated on the plot or map as public), which the city may devote or otherwise use for all lawful purposes and on the same may be shown thereon, for all lawful purposes and accretions thereon in accordance with the City Ordinance for the benefit of the public, and dedication shall be irrevocable made to the City of Raleigh but one irrevocable made to the City of Raleigh for the benefit of the public are not subject to any of the provisions of the City Ordinance for the benefit of the public, and the same may be from time to time amended.

OWNER *[Signature]*
OWNER *[Signature]*

STATE OF NORTH CAROLINA
WAKE COUNTY

I, JOHN Y. PHELPS JR., PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION, DEED DESCRIPTION RECORDED IN DEED BOOK AS SHOWN ON PAGE *115* OF DEED BOOK *1885* AND THAT THE BOUNDARIES CALCULATED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF AND NOT SURVEYED AND SHOWN AS SHOWN LINES PLOTTED FROM INFORMATION FOUND IN BOOK *1885* PAGE *115* THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH SECTION 41.5 OF THE CONSTITUTION OF THE STATE OF NORTH CAROLINA AND THE PROFESSIONAL LAND SURVEYOR ACT, CHAPTER 170C, SECTION 170C-17.2 AS THE SAME MAY BE FROM TIME TO TIME AMENDED.

[Signature]
JOHN Y. PHELPS JR. REGISTRAR, NO. L-1319



THE SURVEYOR RELIED UPON THE CITY OR COUNTY FOR APPROVAL OF ALL APPLICABLE ORDINANCES AND HAS MADE NO INTERPRETATIONS OF THE ORDINANCES

- I, JOHN Y. PHELPS JR., PROFESSIONAL LAND SURVEYOR, L-1319 CERTIFY TO ONE OR MORE OF THE FOLLOWING
- A. THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.
 - B. THAT THIS PLAT IS OF A SURVEY THAT IS LOCATED IN SUCH PORTION OF A COUNTY OR MUNICIPALITY THAT IS UNREGULATED AS TO AN ORDINANCE THAT REGULATES PARCELS OF LAND.
 - C. THAT THIS PLAT IS OF A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND.
 - D. THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY OR OTHER EXCEPTIONS TO THE DEFINITION OF SUBDIVISION.
 - E. THAT THE INFORMATION AVAILABLE TO THIS SURVEYOR IS SUCH THAT I AM UNABLE TO MAKE A DETERMINATION TO THE BEST OF MY PROFESSIONAL JUDGMENT AS TO PROVISIONS CONTAINED IN (A) ABOVE.
- [Signature]*
JOHN Y. PHELPS JR. PROFESSIONAL LAND SURVEYOR NO. L-1319

THIS PLAT OR MAP IS NOT A SUBDIVISION, BUT A RECOMBINATION OF PREVIOUSLY PLATTED PROPERTY, AND MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

[Signature]
PLANNING ORDINANCE WAKE COUNTY REVIEW OFFICER

THIS PLAT *WAS* TO BE RECORDED AFTER *May 03* DAY OF *May* 2003. THIS PLAT IS *OUT* OF THE CITY LIMITS.

WAKE COUNTY, NC
LAURA H. RIDDICK
REGISTERED PROFESSIONAL
PRESENTED & RECORDED ON
05/01/2003 BY: 22137:21
TICKET # 2117

BOOK: 2003 PAGE: 6673

PARKING NOTE

THERE IS A TOTAL OF 32,016 SQ. FT. OF FLOOR SPACE. THE CITY REQUIRES ONE SPACE FOR EVERY 300 SQ. FT. OF FLOOR SPACE. THE REQUIRED PARKING FOR THE ENTIRE SITE IS 107. THERE ARE 133 SPACES AVAILABLE. THERE WILL BE A CROSS ACCESS EASEMENT BETWEEN LOTS TO MEET THE REQUIRED PARKING.

LOT 1 ON SITE 43 1/2 SPACES REQUIRED 68 SPACES
LOT 2 ON SITE 61 1/2 SPACES REQUIRED 38 SPACES
LOT 3 ON SITE 28 SPACES

LOTS ARE SUBJECT TO PART 10 CHAPTER 9 OF CITY OF RALEIGH CODE.

GRAPHIC SCALE

0 25 50 100 200
(IN FEET)
1 inch = 50 ft

PLN NO. 1704354-7546 (IN FEET)
1 inch = 50 ft R-89-03 *RA034933*

SCALE 1"=50'	RECOMBINATION OF LOTS 1, 2, 3, 4, 5, 6, AND ADJACENT PROPERTIES GLENWOOD SUBDIVISION BOM 1885 PAGE 115 AND BOM 1885 PAGE 86
DATE 3/26/03	LOT B MAP ENTITLED PROPERTY OF JOHN A. EDWARDS & CEE BUILDING CORP. BOM 1983 PAGE 343 INTO LOTS 1, 2, AND 3 FRANKLIN H. SMITH JR. AND CYNTHIA HIRSCHFIELD PROPERTY RALEIGH, N. C.
FD. BK 634 AE, 401 <i>1272</i>	JOHN Y. PHELPS JR. PROFESSIONAL SURVEYOR 5110 BUR OAK CIRCLE, RALEIGH, N. C. 27612 PHONE 919 787-3658

RECORDED IN BOOK OF MAPS 2003 PAGE 673 WAKE COUNTY



Action DT 1.7

Disposal of City-Owned Land

Develop criteria and a strategy for disposing of City-owned lands within the downtown. Explore the formation of partnerships between multiple public entities to master develop and maximize the utility of publicly-controlled land.

Policy DT 1.12

Reserved

Transitions, Buffering and Compatibility

The juxtaposition of different building types can be traced back to Raleigh's earliest history. Despite Raleigh's origin as a capital city, very few sites were developed according to a prevailing development pattern. Small homes were often sited next to larger commercial and governmental buildings. For nearly a century before the streetcar system was launched in 1891, the predominant method of transportation around the city was on foot or horseback. Proximity was paramount. Over time, market conditions favored higher uses on increasingly expensive land, resulting in a building up of the core area of downtown. At the edge areas of the built-up core are historic districts and neighborhoods including Boylan Heights, Cameron Park, **Glenwood Brooklyn**, Oakwood, Pullen and South Park. Transition zones are used to reduce or blur a sharp delineation between areas of disparate development intensity, often through appropriate and accepted controls of use, height, scale, and building materials. Such controls can weave the downtown and these historic areas together into one continuous urban fabric.

Policy DT 1.11

Downtown Edges

Appropriate transitions in height, scale, and design should be provided between Central Business District land uses and adjacent residential districts. (1, 6)

See A.5 'Land Use Compatibility' in Element A: 'Land Use' for more information on transitions.



Policy DT 1.13

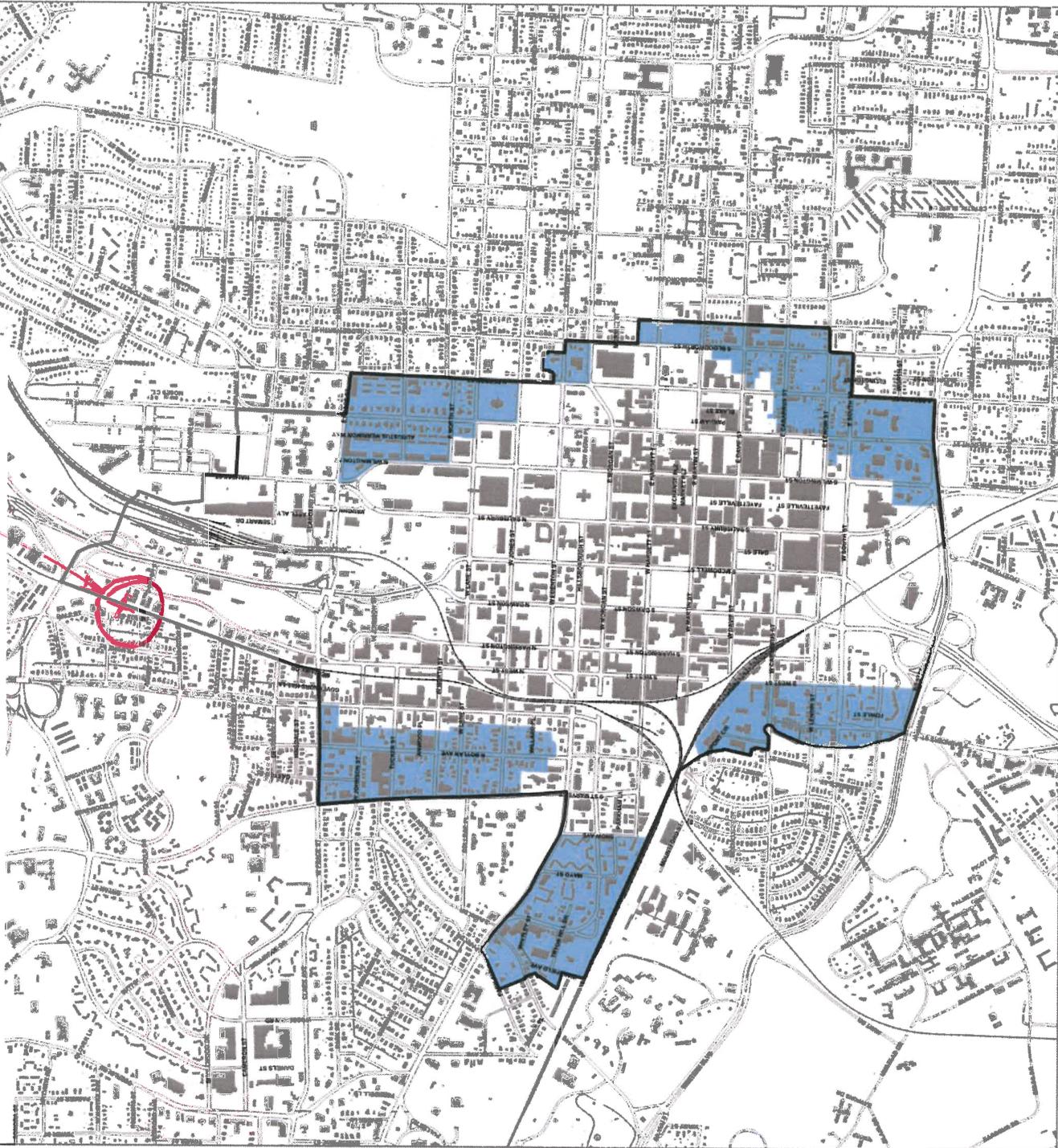
Downtown Transition Areas

In areas where the Downtown Element boundaries are located in proximity to established residential neighborhoods, residential densities should taper to be compatible with adjacent development. Non-residential uses with the greatest impacts—such as theaters, concentrated destination nightlife and retail, and sports and entertainment uses—should be directed away from these transition areas. Where existing zoning overlays are mapped, the height guidance in these districts should not be changed outside of an area planning process. See Map DT-3 for transition area locations. (1, 6)

1220 Pierce St.

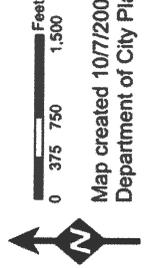


CITY OF RALEIGH COMPREHENSIVE PLAN Downtown Transition Areas



MAP DT-3

- Downtown Element Boundary
- Downtown Transition Areas
- Buildings
- Streets
- Railroads



Map created 10/7/2009 by the City of Raleigh
Department of City Planning & GIS Division

From: [Walter, Bynum](#)
To: [Ben Kuhn](#)
Cc: [Rezoning](#)
Subject: RE: Letter Comments re Rezoning of 1220 Pierce Street (GEN-0485)
Date: Thursday, October 09, 2014 12:25:30 PM

Dear Mr. Kuhn –

I wanted to follow up on your additional comments about the proposed zoning for 1220 Pierce Street. I had a chance to review your comment with other members of planning staff recently. Given the current split-zoning on the property and the existing development as a parking lot, we continue to feel that OX-3 is an appropriate recommendation.

While staff does not agree with your request, it will be forwarded to the Planning Commission for consideration as part of their review of the citywide remapping.

Please let me know if you have questions or need additional information – Bynum

From: Walter, Bynum
Sent: Tuesday, September 30, 2014 9:12 AM
To: 'Ben Kuhn'
Cc: Bowers, Kenneth; Becker, Dan; Crowder, Thomas
Subject: RE: Letter Comments re Rezoning of 1220 Pierce Street

Dear Ben Kuhn –

Thanks for your additional comments about the proposed zoning for 1220 Pierce Street. I will discuss your new correspondence with other members of the planning staff. We are scheduled to meet later this week and I will be back in touch with additional information after that meeting.

More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "[UDO - Unified Development Ordinance](#)." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Sincerely,

Bynum Walter, AICP
Senior Planner
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Suite 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2178 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Ben Kuhn [<mailto:bkuhn@rl-law.com>]
Sent: Monday, September 29, 2014 8:05 PM
To: Walter, Bynum
Cc: Bowers, Kenneth; Becker, Dan; Crowder, Thomas
Subject: Letter Comments re Rezoning of 1220 Pierce Street

Ms. Walter:

Please see attached letter comments re proposed rezoning of 1220 Pierce Street which are being hand-delivered to your office. Thank you for your careful consideration and attention to this matter.

Cc Ken Bowers
Dan Becker
Kay Crowder
Thomas Crowder

Benjamin R. Kuhn

2840 Plaza Place, Suite 400, Raleigh, N.C. 27612
D 919.881.2201 | C 919.280.8139
bkuhn@rl-law.com | [vcard](#)
www.rl-law.com

Notices and Reservations of Rights: This communication is intended solely for the addressee and may be legally privileged and confidential. If you are not an intended recipient, you are prohibited from reading, retaining and disseminating this communication. If you have received this communication in error, please immediately notify Ragsdale Liggett PLLC and destroy the correspondence and its attachments. As contemplated by IRS Circular 230, you are advised that, unless specifically indicated otherwise, any tax advice contained in this communication shall not be used for the purpose of avoiding tax-related penalties or for any purpose by any party other than the addressee.

From: [Kimberly J. Siran](#)
To: [Rezoning](#); [Hill, Doug](#); ["Henry Temple"](#)
Subject: 1307 and 1315 Filmore Street rezoning
Date: Friday, September 19, 2014 4:05:45 PM

This email is to provide a formal comment about the proposed rezoning at 1307 and 1315 Filmore Street in Raleigh.

The current zoning is SP R-30 and the proposed rezoning is R-10. The SP R-30 is a unique high density district. The Special R-30 zoning district allows 30 dwellings per acre, and features requirements that new structures be of a similar size and height as surrounding existing structures. The R-10 designation restricts the density to 10 units per acre.

The property owner would like to request these properties not be rezoned to R-10. Rezoning these parcels to R-10 is contradictive to the existing entitlement of the land, initiates a lower density, and would be an economic hardship. We are requesting the properties be rezoned to the RX designation to allow for a higher density than 10 units per acre.

Please contact me if any additional information is required.

Thank you,
Kimberly

Kimberly J. Siran, RLA, LEED AP
Coaly Design, PC
300-200 Parham Street
Suite G
Raleigh, NC 27601
(o) 919-539-0012
www.coalydesign.com

From: [Pettibone, Carter](#)
To: kimberly@coalydesign.com
Cc: [Rezoning](#)
Subject: RE: UDO Remapping Comments #GEN-0434 and GEN-0435 - 1307 and 1315 Filmore Street
Date: Tuesday, October 07, 2014 1:23:10 PM

Hey Kimberly,

Sorry for the delay in responding. I was out most of last week at the NC Planning Conference. I brought your requests for 1307 and 1315 Filmore Street to our Staff review team for discussion.

In regards to 1307 Filmore Street, Staff does not support the request for RX-3, due to the property's current single-family land use. Staff's guidance was to remap the single-family residential properties in the current SP R-30 districts to R-10.

On the other hand, Staff does support the request for RX-3 for 1315 Filmore Street, due to the current multi-family use and density greater than 10 dwellings units/acre, as well as its lot size being greater than 15,000 square feet, the minimum for apartments in the UDO.

Both of these requests will be forwarded to the Planning Commission for its consideration. More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "UDO - Unified Development Ordinance." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Please feel free to contact me with any questions.

Thank you.

Carter Pettibone, AICP

Urban Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department
220 Fayetteville Street, Suite 200, Raleigh, NC 27601
919.996.4643
carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign

From: Kimberly J. Siran [mailto:kimberly@coalydesign.com]
Sent: Tuesday, September 23, 2014 9:11 PM
To: Pettibone, Carter
Subject: RE: UDO Remapping Comments #GEN-0434 and GEN-0435 - 1307 and 1315 Filmore Street

Thanks, Carter!

Kimberly J. Siran, RLA, LEED AP
Coaly Design, PC
300-200 Parham Street

Suite G
Raleigh, NC 27601
(o) 919-539-0012
www.coalydesign.com

From: Pettibone, Carter [<mailto:Carter.Pettibone@raleighnc.gov>]
Sent: Tuesday, September 23, 2014 12:41 PM
To: kimberly@coalydesign.com
Cc: Rezoning
Subject: UDO Remapping Comments #GEN-0434 and GEN-0435 - 1307 and 1315 Filmore Street

Kimberly,

As a follow up to our conversation earlier, I wanted to send you an email to confirm I will be bringing your request(s) for RX-3 zoning for the lots on Filmore Street to our Staff Review Team, which meets this Thursday. I will follow up with you shortly after the meeting.

Please let me know if you have questions in the meantime.

Thanks.

Carter Pettibone, AICP
Urban Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department
220 Fayetteville Street, Suite 200, Raleigh, NC 27601
919.996.4643
carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign

From: [Pettibone, Carter](#)
To: [Rezoning](#)
Subject: FW: UDO Remapping Comment #GEN-0584 - 1315 Filmore Street
Date: Tuesday, October 14, 2014 12:40:05 PM

Carter Pettibone, AICP

Urban Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department
220 Fayetteville Street, Suite 200, Raleigh, NC 27601
919.996.4643
carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign

From: Pettibone, Carter
Sent: Tuesday, October 14, 2014 12:39 PM
To: 'Philip Poe'
Subject: UDO Remapping Comment #GEN-0584 - 1315 Filmore Street

Phil,

Thank you for your comments regarding the UDO remapping for The Glenwood Brooklyn Neighborhood. This response relates to the request to amend the proposed UDO zoning district for 1315 Filmore Street from R-10 to RX-3. This property is located in the Glenwood Brooklyn Neighborhood and identified in the neighborhood analysis spreadsheet you provided with your request.

I brought this request to a recent meeting of the UDO Staff Review team for discussion.

Staff agrees with the request to amend the zoning district to RX-3 for 1315 Filmore Street. Staff has also received a request from the property owner for the same thing.

More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "UDO - Unified Development Ordinance." The link is on the same webpage. You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Please let me know if you have any questions.

Thank you.

Carter Pettibone, AICP

Urban Planner
Raleigh Urban Design Center
An Office of the Planning & Development Department

220 Fayetteville Street, Suite 200, Raleigh, NC 27601
919.996.4643
carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign

From: [James H Johnson/FS/CU](#)
To: [Rezoning](#)
Subject: Rezoning of 719 and 725 N. Boylan Ave.
Date: Tuesday, June 03, 2014 5:05:19 PM

My wife and I own the LLC which holds title to the property at 719 N. Boylan. I have several comments regarding the proposed rezoning to R-10:

1. It was my understanding that a goal of the conversion of zonings is to avoid creating nonconforming properties.
2. 719 N. Boylan has been a duplex for about 37 years.
3. This was a confirming use under the R-30 zoning and its .12 acre lot.
4. A duplex under R-10 zoning requires a lot of 6000 square feet or more, which is several hundred more than the existing lot at 719 N. Boylan.
5. 719 N. Boylan is adjacent to Jenkins Memorial (Methodist) church, which towers over it, and is listed on the Wake County tax records as having a 3rd story.

[http://services.wakegov.com/realestate/Photo.asp?](http://services.wakegov.com/realestate/Photo.asp?id=0090109&stype=addr&stnum=&stname=boylan&locidList=303&spg=13&cd=01&loc=725+N+BOYLAN+AVE&des=725+N+BOYLAN+AVENUE&pin=1704420596)

[id=0090109&stype=addr&stnum=&stname=boylan&locidList=303&spg=13&cd=01&loc=725+N+BOYLAN+AVE&des=725+N+BOYLAN+AVENUE&pin=1704420596](http://services.wakegov.com/realestate/Photo.asp?id=0090109&stype=addr&stnum=&stname=boylan&locidList=303&spg=13&cd=01&loc=725+N+BOYLAN+AVE&des=725+N+BOYLAN+AVENUE&pin=1704420596)
(Photo)

[http://services.wakegov.com/realestate/Building.asp?](http://services.wakegov.com/realestate/Building.asp?id=0090109&stype=addr&stnum=&stname=boylan&locidList=303&spg=13&cd=01&loc=725+N+BOYLAN+AVE&des=725+N+BOYLAN+AVENUE&pin=1704420596)

[id=0090109&stype=addr&stnum=&stname=boylan&locidList=303&spg=13&cd=01&loc=725+N+BOYLAN+AVE&des=725+N+BOYLAN+AVENUE&pin=1704420596](http://services.wakegov.com/realestate/Building.asp?id=0090109&stype=addr&stnum=&stname=boylan&locidList=303&spg=13&cd=01&loc=725+N+BOYLAN+AVE&des=725+N+BOYLAN+AVENUE&pin=1704420596)
(See data for "addition" in lower panel of page)

6. The CHURCH lot is proposed also to be zoned R-10!
7. It would seem reasonable to use the OX-3 zoning for both the church (725 N. Boylan) and our duplex (719 N. Boylan), as this would better suit the church, which is NOT residential, and would allow a conforming duplex on our lot, and create a transition to other residential zonings of the neighborhood.

Thank you.

James H. Johnson
Member/Manager of Johnson Rental Properties, LLC

From: [Rezoning](#)
To: [Catrina Godwin](#)
Subject: RE: 501 Washington St. [GEN-0313]
Date: Friday, August 15, 2014 3:18:15 PM

Catrina—

The staff review team discussed your inquiry August 13.

We believe that the current staff recommendation for this parcel is the best interpretation of existing zoning entitlements and current land use and development context. The primary scope of the remapping project is to transition from the former zoning code to the new Unified Development Ordinance districts, not to engage in making substantive changes to the existing zoning entitlements. If it is desired that this parcel be rezoned in the future to allow for expansion of the neighborhood business/neighborhood mixed use designation, staff believes that that decision should be made as part of the public process of a privately initiated rezoning.

The public comment period for the remapping process will remain open until September 30. Subsequently, the remapping recommendations and all comments will be forwarded to the Planning Commission for its review beginning October 14. Your comments will be presented to the Commission for its consideration. Closer to time, we should be able to provide details about when the Planning Commission will discuss these particular properties. Following review and recommendation by the Planning Commission, a further revised draft map will be submitted to City Council for a public hearing and review.

You may wish to sign up to receive email updates on the UDO mapping process if you haven't done so already. You can sign up at www.raleighudo.us. Just follow the link near the top of the page in the orange "Subscribe" box for MyRaleigh Subscriptions. You can also visit www.raleighudo.us for more information on the remapping initiative, guidance documentation, common zoning district exchanges, and the review and approval process.

Regards,

Dan

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

-----Original Message-----

From: Catrina Godwin [mailto:catrina678@aol.com]
Sent: Monday, August 11, 2014 9:26 PM

To: Rezoning
Subject: Re: 501 Washington St. [GEN-0313]

Dan,
Thank you so much.
Sincerely,
Catrina Godwin

Sent from my iPhone

> On Aug 11, 2014, at 3:20 PM, Rezoning <Rezoning@raleighnc.gov> wrote:

>

> Dear Catrina Godwin-

>

> Thank you for your inquiry regarding the Remapping Raleigh zoning project. I am writing to acknowledge your email and to outline next steps.

>

> The Planning and Development Department has established a review team to evaluate requests for changes in the initially proposed zoning districts. The team's next meeting is this Wednesday, August 13. I will follow-up with you shortly after that discussion.

>

> Regards,

> Dan

> --

> Dan Becker, Division Manager

> Long Range Planning Division

> Raleigh Department of City Planning

> One Exchange Plaza, Ste 300 (27601)

> PO Box 590, Raleigh NC, 27602

> 919-996-2632 (v); 919-516-2684 (f)

> <http://www.raleighnc.gov>

>

>

> -----Original Message-----

> From: Catrina Godwin [<mailto:catrina678@aol.com>]

> Sent: Sunday, August 10, 2014 7:20 PM

> To: Rezoning

> Subject: 501 Washington St.

>

> I have owned the property at 501 Washington St. for ten years. My partner and I purchased the property (which had been Richard Milburn School, a school for kids that had been expelled from Wake Co.) and moved our dance studio to the location within Glenwood Brooklyn. When our partnership dissolved a few years back, I was faced with sustaining the building alone. I have done a tremendous amount of work on the property, both inside and outside, and rent the space for weddings, bar mitzvahs, non-profit events, etc., as well as some ballroom dance. I would eventually

like to build up and add a residence on top as soon as I can sell my current home.

>

> I have tried to be a good neighbor during the time I've owned 501. I served as Secretary/Treasurer to the Glenwood Brooklyn Neighborhood Association for several years and have hosted neighborhood events in our facility. As a Raleigh native for 61 years, I'm totally invested in making our city better and deeply love this neighborhood. I have tried to be respectful of all my surrounding neighbors and truly feel that my property enhances the diverse appeal of the area.

>

> It's my understanding that the proposed zoning(NX) wouldn't cover my entire lot. I would implore the City to please expand this NX zoning to cover the entire lot so that I could operate a business that is essential to my livelihood.

>

> Thank you,

> Catrina Godwin

> "E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official."

From: [Pettibone, Carter](#)
To: [Alice Harvey](#)
Cc: [Rezoning](#); [Hill, Doug](#)
Subject: RE: Blanket rezoning proposal [GEN-0114]
Date: Monday, July 07, 2014 3:15:30 PM

Ms. Harvey,

Thank you for your comments regarding the UDO remapping process. Dan asked me to follow up with you after bringing your comments forward to our review team.

The City is undergoing this remapping process as the final phase of implementing the recently adopted Unified Development Ordinance (UDO). It is a complete rewrite of the City's development regulations. The text of the ordinance went into effect in September, and at the same time approximately 70% of the City's jurisdiction (primarily single-family residential areas) was brought under the new UDO regulations. We are now in the process of bringing the remainder of the City under the UDO. In order to do that we need to rezone what we call "legacy districts", or those zoning districts which are part of the old zoning code but not the UDO, to a zoning district that is part of the UDO.

The draft zoning map released in May is the starting point for public input. It will be the first of several opportunities for comment during the process. Additional opportunities include Planning Commission review, the public hearing with City Council, and during City Council review. We want to make sure there is ample opportunity for the public to voice their concerns.

Typically, rezonings or other development proposals involve only one or a few properties at a time, and during those proceedings neighbors typically weigh in on the proposal like you mention in your email. This UDO remapping is city-wide, involving over 35,000 parcels. City Staff has had to develop a larger-scale mechanism for input for this rezoning process.

In developing the draft zoning map, Staff used a set of guiding principles and documents in selecting the proposed UDO zoning districts. Using this guidance Staff was charged with finding the closest or most appropriate match in the transition from old to new zoning districts. Properties such as yours, zoned Special Residential -30 (SP R-30), have presented Staff with a unique challenge for assigning proposed UDO zoning districts. The most appropriate choices in the UDO are Residential-10 units per acre (R-10) or Residential Mixed Use – 3 stories (RX-3). In addition to existing and permitted density, other factors in determining the proposed zoning include minimum lot size, neighborhood transitions, and existing context.

Due to the unique nature of the SP R-30 zoning, Staff reached out to neighborhoods zoned SP R-30 prior to the release of the draft UDO zoning map. In terms of the Ashe Avenue area, Staff met with members of the community multiple times. As there seemed to be no consensus from the neighbors on how to treat the overall neighborhood, Staff recommended that the neighborhood review the draft zoning map and make comments either as a whole or as individual property owners. To date, we have received over 10 comments related to the Ashe Avenue area.

You mentioned concerns about mixed use in the back streets of the area. Some of the properties in your neighborhood as well as properties immediately adjacent are proposed for Residential Mixed Use-3 stories (RX-3). While it is true that RX-3 allows some ground floor commercial uses, these commercial uses are limited in type and have restrictions for location, building type, and lot size. The limited commercial uses permitted in RX-3 would only be allowed on the first floor of an apartment type building at the intersection of two public streets. Apartment type buildings need to meet certain minimum requirements for lot size (10,000 square feet) and setbacks (5' front).

It is worth noting that two of the properties adjacent to the neighborhood are in fact proposed for downzoning from more intensive zoning districts. The property directly east of the neighborhood, on the west side of Wakefield Ave, is currently zoned to allow industrial uses (Industrial-2 district). The property to the south, immediately north of the train tracks, is in a district that allows a wide range of office and other non-residential uses (Office and Institutional-2). Staff proposes to rezone these properties to RX-3.

Staff will be taking comments on the proposed zoning map until September 30. A revised draft map, along with a summary of all the comments received, will be presented to the Planning Commission, which will begin its review October 14. Following review and recommendation by the Planning Commission, a further revised draft map will be submitted to City Council for a public hearing and review.

Due to the special nature of SP R-30 and the numerous comments we have received related to it, Staff plans to recommend that the Planning Commission devote dedicated time for additional review of the SP R-30 areas during the Commission's review period. We are not yet sure how and when this will occur, but we will let you know as soon as we have a better idea.

In the meantime, if neighborhood residents so choose, Staff would be happy to continue the dialogue and meet with the neighborhood as a group regarding R-10/RX-3 and potential character overlay districts.

Please feel free to contact me with any questions. If you haven't already, I encourage you to sign up to receive email updates on the UDO Mapping Process. You can sign up at www.raleighudo.us. Look on the right hand side for MyRaleigh Subscriptions. You can also visit www.raleighudo.us for more information on the remapping initiative, guidance documentation, common zoning district exchanges, and the review and approval process.

Thank you.

Carter

Carter Pettibone, AICP

Urban Planner

Raleigh Urban Design Center

An Office of the Planning & Development Department

220 Fayetteville Street, Suite 200, Raleigh, NC 27601

919.996.4643

carter.pettibone@raleighnc.gov
www.raleighnc.gov/urbandesign

From: Rezoning
Sent: Monday, June 30, 2014 4:37 PM
To: Alice Harvey
Cc: Rezoning
Subject: RE: Blanket rezoning proposal [GEN-0114]

Ms. Harvey—

Thank you for taking the time to comment on the proposed UDO rezoning maps.

Because your comments cover a broader area and issues than a single site, I am elevating your email to our review team to ensure a full discussion and thorough response.

The team next meets this coming Wednesday, July 2, and I will follow-up with you shortly thereafter.

Regards,

Dan

--

Dan Becker, Division Manager
Long Range Planning Division
Raleigh Department of City Planning
One Exchange Plaza, Ste 300 (27601)
PO Box 590, Raleigh NC, 27602
919-996-2632 (v); 919-516-2684 (f)
<http://www.raleighnc.gov>

From: Alice Harvey [<mailto:amharvey@ncsu.edu>]
Sent: Thursday, June 26, 2014 2:33 PM
To: Rezoning
Subject: Blanket rezoning proposal

I am a homeowner on Ashe Ave. I just heard a discussion about the redlining maps created for the FHA in the 1930s which favored white neighborhoods. The UDO rezoning maps come across in the same way except that they clearly favor developers, not the home owners and residents. I lived in Atlanta when it began it's expansion and all building and rezoning proposals were discussed with the communities the property was in, and the people that actually lived there determined what was appropriate. Each proposed project was voted on individually. It worked well.

This zoning designation based on a map and not the actual living community is upsetting to us. We will have no say, no defense. As in any other city, our neighborhood should have the right to vote on any proposed building and rezoning in

our area on an individual project basis. We own homes, maintain our properties and make the neighborhood attractive and our hope in doing so is to attract other long term homeowners, not more transient residents that have no respect for our efforts.

We want single family (2 story) homes that are in keeping with the restored 1930s homes typical in our neighborhood. We all want something like Dorothea Gardens which is sold out before they even build because it is what people want . There is plenty of rental space already, 927 Morgan still has many vacant apartments.

Mixed use is useless in our back streets. The much touted business spaces in the Morgan development have only attracted a hairdresser who does little business. There is 0 foot traffic on Wakefield, except for a few drunks from City Limits in the wee hours, so mixed use in that limited access hole where Wakefield meets Tryon Hill makes no sense.

Has anyone from the UDO ever actually walked through our neighborhood? Or lived there? Well, we have and we do every day, so please let us have the right to decide on the appropriateness of a proposed project.

Thank you.

Alice MacGregor Harvey
Medical Illustrator, BA, MA
Biomedical Communications
Educational Media & Design
College of Veterinary Medicine
919.513.6492

From: rezoning@raleighnc.gov
To: dane.wilson8@yahoo.com
Subject: City of Raleigh Response Ref #21762
Date: Thursday, August 07, 2014 4:15:17 PM

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

Feedback Received August 1st 2014, 5:23 am

Reference #: 21762

Location: 106 WAKEFIELD AVE

Comment Type: General Comment

Comment: I have hopes the city of Raleigh will contribute to the efforts put forth by so many Raleigh citizens to protect the historic stature while improving this neighborhood. I believe the city, as well as the developer, should maintain commitments previously made - this being a true "transition" between single family homes and multi-unit dwellings. A 50 ft. max height for this parcel would immediately create yet another wall surrounding the neighborhood and impact ALL homes on Ashe Ave in which significant personal investments were / are made. We've lost our skyline view, we now continuously hear the buzz of parking garage fans, and now have 20+ units with views into the back of our homes. Please, let's get this right. I strongly believe a 2 story (25 ft) limit would serve as a compromised transition that should satisfy both homeowners and the developer. The single family portion of the neighborhood continues to shrink - let's take one of our last opportunities to grow the community.

City Response on August 7th 2014, 04:15 pm

The property in question is proposed to be rezoned to Residential Mixed Use with a 3 story height limit (RX-3). The property is currently zoned Industrial-2. It is worth noting that this property is in fact proposed for downzoning from a more intensive zoning district. RX-3 will allow residential uses and limited accessory retail, but will not allow industrial uses (the limited commercial uses permitted in RX-3 would only be allowed on the first floor of a corner unit in an apartment building type located at the intersection of two public streets, which this parcel cannot satisfy). 3 stories is the minimum height limit under the new zoning code. There are also neighborhood transition requirements when development on a property that is zoned mixed use is adjacent to vacant or residential properties zoned R-10.

Thanks for your time,

City of Raleigh Remapping Team

Email: rezoning@raleighnc.gov

Web: www.RaleighUDO.us

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

From: rezoning@raleighnc.gov
To: charles@oxidearchitecture.com
Subject: City of Raleigh Response Ref #10242
Date: Tuesday, June 17, 2014 2:54:17 PM

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

Feedback Received June 9th 2014, 3:17 pm

Reference #: 10242

Location: 217 DEXTER PL

Comment Type: Existing Land Use/Proposed Zoning Mismatch

Comment: Correct zoning should be RX or NX to reflect existing and future land use for this neighborhood as well as make for a more contiguous zoning area. R-10 would devalue these properties and, over time, prove discriminatory. 2010 census data for the neighborhood confirms a) that the current density greatly exceeds R10 and b) that the average household income would not support single family housing on these parcels. Healthy growth - supporting both greater income/rent/taxes per acre and diversity of population can only be achieved thorough RX, NX, etc. Also, please confirm that all stakeholders are really being contacted. Two owners of multi-family property that I contacted last week (on this block alone) where unaware that their property was earmarked for down-zoning or might become non-conforming.

City Response on June 17th 2014, 02:54 pm

Staff has determined that Residential Mixed Use-3 Stories (RX-3) would be an acceptable zoning district for the properties. Staff will amend the draft zoning map to reflect this change. As an FYI, only one revised draft zoning map will be published prior to Planning Commission review. This will be in early October, after the public comment period ends on September 30. As such, the map viewer will not reflect these change until that time. It is worth mentioning that any redevelopment of these properties under the UDO would be subject to minimum lot size requirements, as well as any other lot, bulk, and density standards.

Thanks for your time,

City of Raleigh Remapping Team

Email: rezoning@raleighnc.gov

Web: www.RaleighUDO.us

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

From: rezoning@raleighnc.gov
To: Jay.Dawkins@gmail.com
Subject: City of Raleigh Response Ref #15366
Date: Thursday, July 03, 2014 9:33:48 AM

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

Feedback Received July 1st 2014, 1:33 am

Reference #: 15366

Location: 211 PARK AVE

Comment Type: Existing Land Use/Proposed Zoning Mismatch

Comment: This property is currently a multi-family structure my partner and I purchased under SP R-30 zoning. The current density of our properties (207 and 211 park) is 26 units/acre. It seems that avoiding spot-zoning is the primary reason these properties have been zoned R-10, however this block represents a special case as 5 of the 12 properties in have densities 10 units/acre, along with multi-family properties in the blocks north, south, and west of this block. The multi-family properties in this area serve a diverse array of individuals who bike and use transit, as well as students who walk to NC State. We respectfully request that these properties be zoned RX-3 consistent with their existing use and nearby properties. Doing so will preserve their long term stability as dense, affordable, diverse residential housing.

City Response on July 3rd 2014, 09:33 am

Properties zoned SP R-30 have presented Planning Staff with a unique challenge for assigning proposed UDO zoning districts. The most appropriate choices in the UDO are R-10 and RX-3. In addition to existing and permitted density, other factors in determining the proposed zoning include minimum lot size, neighborhood transitions, and existing context. Due to the special nature of SP R-30 and the numerous comments we have received relating to it, Staff plans to recommend that the Planning Commission devote dedicated time for additional review for the SP R-30 areas during the Commission's review period. We are not yet sure how and when this will occur, but we will let you know as soon as we have a better idea. In the meantime, if the neighborhood so wishes, Staff would be happy to continue the dialogue with your neighborhood regarding R-10/RX-3 and potential character overlay districts.

Thanks for your time,

City of Raleigh Remapping Team

Email: rezoning@raleighnc.gov

Web: www.RaleighUDO.us

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

From: rezoning@raleighnc.gov
To: jay.dawkins@gmail.com
Subject: City of Raleigh Response Ref #15367
Date: Thursday, July 03, 2014 9:34:06 AM

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

Feedback Received July 1st 2014, 1:38 am

Reference #: 15367

Location: 219 PARK AVE

Comment Type: Existing Land Use/Proposed Zoning Mismatch

Comment: This property is currently a multi-family structure with densities over 10 units/acre. I'm making this comment based on conversations I've had with owners on the block that have not voiced their opinion through this portal. It seems that avoiding spot-zoning is the primary reason these properties have been zoned R-10, however this block represents a special case as 5 of the 12 properties in have densities 10 units/acre, along with multi-family properties in the blocks north, south, and west of this block. The multi-family properties in this area serve a diverse array of individuals who bike and use transit, as well as students who walk to NC State. We respectfully request that these properties be zoned RX-3 consistent with their existing use and nearby properties. Doing so will preserve their long term stability as dense, affordable, diverse residential housing.

City Response on July 3rd 2014, 09:34 am

Properties zoned SP R-30 have presented Planning Staff with a unique challenge for assigning proposed UDO zoning districts. The most appropriate choices in the UDO are R-10 and RX-3. In addition to existing and permitted density, other factors in determining the proposed zoning include minimum lot size, neighborhood transitions, and existing context. Due to the special nature of SP R-30 and the numerous comments we have received relating to it, Staff plans to recommend that the Planning Commission devote dedicated time for additional review for the SP R-30 areas during the Commission's review period. We are not yet sure how and when this will occur, but we will let you know as soon as we have a better idea. In the meantime, if the neighborhood so wishes, Staff would be happy to continue the dialogue with your neighborhood regarding R-10/RX-3 and potential character overlay districts.

Thanks for your time,

City of Raleigh Remapping Team

Email: rezoning@raleighnc.gov

Web: www.RaleighUDO.us

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

From: rezoning@raleighnc.gov
To: jay.dawkins@gmail.com
Subject: City of Raleigh Response Ref #15368
Date: Thursday, July 03, 2014 9:34:21 AM

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

Feedback Received July 1st 2014, 1:42 am

Reference #: 15368

Location: 213 PARK AVE

Comment Type: Existing Land Use/Proposed Zoning Mismatch

Comment: This property is currently a multi-family structure with densities over 10 units/acre. I'm making this comment based on conversations I've had with owners on the block that have not voiced their opinion through this portal. It seems that avoiding spot-zoning is the primary reason these properties have been zoned R-10, however this block represents a special case as 6 of the 12 properties in have densities 10 units/acre, along with multi-family properties in the blocks north, south, and west of this block. The multi-family properties in this area serve a diverse array of individuals who bike and use transit, as well as students who walk to NC State. We respectfully request that these properties be zoned RX-3 consistent with their existing use and nearby properties. Doing so will preserve their long term stability as dense, affordable, diverse residential housing.

City Response on July 3rd 2014, 09:34 am

Properties zoned SP R-30 have presented Planning Staff with a unique challenge for assigning proposed UDO zoning districts. The most appropriate choices in the UDO are R-10 and RX-3. In addition to existing and permitted density, other factors in determining the proposed zoning include minimum lot size, neighborhood transitions, and existing context. Due to the special nature of SP R-30 and the numerous comments we have received relating to it, Staff plans to recommend that the Planning Commission devote dedicated time for additional review for the SP R-30 areas during the Commission's review period. We are not yet sure how and when this will occur, but we will let you know as soon as we have a better idea. In the meantime, if the neighborhood so wishes, Staff would be happy to continue the dialogue with your neighborhood regarding R-10/RX-3 and potential character overlay districts.

Thanks for your time,

City of Raleigh Remapping Team

Email: rezoning@raleighnc.gov

Web: www.RaleighUDO.us

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

From: rezoning@raleighnc.gov
To: adamjdowning@gmail.com
Subject: City of Raleigh Response Ref #16322
Date: Thursday, July 03, 2014 9:35:59 AM

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

Feedback Received July 1st 2014, 1:36 am

Reference #: 16322

Location: 207 PARK AVE

Comment Type: Existing Land Use/Proposed Zoning Mismatch

Comment: This property is currently a multi-family structure my partner and I purchased under SP R-30 zoning. The current density of our properties (207 and 211 park) is 26 units/acre. It seems that avoiding spot-zoning is the primary reason these properties have been zoned R-10, however this block represents a special case as 5 of the 12 properties in have densities 10 units/acre, along with multi-family properties in the blocks north, south, and west of this block. The multi-family properties in this area serve a diverse array of individuals who bike and use transit, as well as students who walk to NC State. We respectfully request that these properties be zoned RX-3 consistent with their existing use and nearby properties. Doing so will preserve their long term stability as dense, affordable, diverse residential housing.

City Response on July 3rd 2014, 09:35 am

Properties zoned SP R-30 have presented Planning Staff with a unique challenge for assigning proposed UDO zoning districts. The most appropriate choices in the UDO are R-10 and RX-3. In addition to existing and permitted density, other factors in determining the proposed zoning include minimum lot size, neighborhood transitions, and existing context. Due to the special nature of SP R-30 and the numerous comments we have received relating to it, Staff plans to recommend that the Planning Commission devote dedicated time for additional review for the SP R-30 areas during the Commission's review period. We are not yet sure how and when this will occur, but we will let you know as soon as we have a better idea. In the meantime, if the neighborhood so wishes, Staff would be happy to continue the dialogue with your neighborhood regarding R-10/RX-3 and potential character overlay districts.

Thanks for your time,

City of Raleigh Remapping Team

Email: rezoning@raleighnc.gov

Web: www.RaleighUDO.us

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

From: rezoning@raleighnc.gov
To: jay.dawkins@gmail.com
Subject: City of Raleigh Response Ref #16323
Date: Thursday, July 03, 2014 9:34:55 AM

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

Feedback Received July 1st 2014, 1:39 am

Reference #: 16323

Location: 216 DEXTER PL

Comment Type: Existing Land Use/Proposed Zoning Mismatch

Comment: This property is currently a multi-family structure with densities over 10 units/acre. I'm making this comment based on conversations I've had with other owners on the block that have not voiced their opinion through this portal. It seems that avoiding spot-zoning is the primary reason these properties have been zoned R-10, however this block represents a special case as 5 of the 12 properties in have densities 10 units/acre, along with multi-family properties in the blocks north, south, and west of this block. The multi-family properties in this area serve a diverse array of individuals who bike and use transit, as well as students who walk to NC State. We respectfully request that these properties be zoned RX-3 consistent with their existing use and nearby properties. Doing so will preserve their long term stability as dense, affordable, diverse residential housing.

City Response on July 3rd 2014, 09:34 am

Properties zoned SP R-30 have presented Planning Staff with a unique challenge for assigning proposed UDO zoning districts. The most appropriate choices in the UDO are R-10 and RX-3. In addition to existing and permitted density, other factors in determining the proposed zoning include minimum lot size, neighborhood transitions, and existing context. Due to the special nature of SP R-30 and the numerous comments we have received relating to it, Staff plans to recommend that the Planning Commission devote dedicated time for additional review for the SP R-30 areas during the Commission's review period. We are not yet sure how and when this will occur, but we will let you know as soon as we have a better idea. In the meantime, if the neighborhood so wishes, Staff would be happy to continue the dialogue with your neighborhood regarding R-10/RX-3 and potential character overlay districts.

Thanks for your time,

City of Raleigh Remapping Team

Email: rezoning@raleighnc.gov

Web: www.RaleighUDO.us

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

From: rezoning@raleighnc.gov
To: jay.dawkins@gmail.com
Subject: City of Raleigh Response Ref #16338
Date: Thursday, July 03, 2014 9:34:55 AM

Thanks again for your feedback on the draft rezoning map. See the response to your feedback below.

Feedback Received July 1st 2014, 1:40 am

Reference #: 16338

Location: 206 ASHE AVE

Comment Type: Existing Land Use/Proposed Zoning Mismatch

Comment: This property is currently a multi-family structure with densities over 10 units/acre. I'm making this comment based on conversations I've had with owners on the block that have not voiced their opinion through this portal. It seems that avoiding spot-zoning is the primary reason these properties have been zoned R-10, however this block represents a special case as 5 of the 12 properties in have densities 10 units/acre, along with multi-family properties in the blocks north, south, and west of this block. The multi-family properties in this area serve a diverse array of individuals who bike and use transit, as well as students who walk to NC State. We respectfully request that these properties be zoned RX-3 consistent with their existing use and nearby properties. Doing so will preserve their long term stability as dense, affordable, diverse residential housing.

City Response on July 3rd 2014, 09:34 am

Properties zoned SP R-30 have presented Planning Staff with a unique challenge for assigning proposed UDO zoning districts. The most appropriate choices in the UDO are R-10 and RX-3. In addition to existing and permitted density, other factors in determining the proposed zoning include minimum lot size, neighborhood transitions, and existing context. Due to the special nature of SP R-30 and the numerous comments we have received relating to it, Staff plans to recommend that the Planning Commission devote dedicated time for additional review for the SP R-30 areas during the Commission's review period. We are not yet sure how and when this will occur, but we will let you know as soon as we have a better idea. In the meantime, if the neighborhood so wishes, Staff would be happy to continue the dialogue with your neighborhood regarding R-10/RX-3 and potential character overlay districts.

Thanks for your time,

City of Raleigh Remapping Team

Email: rezoning@raleighnc.gov

Web: www.RaleighUDO.us

Phone: 919.996.6363 (8am-5pm, Mon-Fri)

From: [Amy Witynski Holmes](#)
To: [Rezoning](#)
Subject: Re-mapping in Pullen Park Neighborhood
Date: Saturday, September 20, 2014 9:00:24 AM

Greetings,

I and my husband own and live at 216 Cox Avenue in Pullen Park, and want to inquire about our own house, as well as the single-family at 212 and duplex at 214 Cox, which are colored on the proposed remapping as R10. It seems to make sense that these properties would be rezoned RX. 218 Cox, the house directly south and next to ours, also a single family residence, is slated for RX.

We are wondering why the 'line' stopped at 218 with RX, and just the 2 properties, ours and those mentioned above, were parceled for R10.

We spoke with our neighbor at 212 Cox who concurs that RX seems to make more sense for our properties.

Thanks for any insights regarding the differences between those two zonings for our street.

Amy Witynski

From: [Amy Witynski Holmes](#)
To: [Pettibone, Carter](#)
Cc: [Rezoning](#)
Subject: Re: UDO Remapping Comments #GEN-0436, 0437, and 0438 - Cox Avenue
Date: Tuesday, October 07, 2014 6:11:52 PM

Thanks so much.

Of note: Our next-door neighbor Tiffany Ingersoll owns 218 Cox which is a single-family house and lot as well. The proposed zoning has her RX-3. I think if the recommendation is to remain R-10 for 212-216, then 218 ought to be included in that designation, as it falls under the criteria you mention above for 212-216.

Kindly,
Amy Witynski Holmes

On Tue, Oct 7, 2014 at 1:44 PM, Pettibone, Carter
<Carter.Pettibone@raleighnc.gov> wrote:

Amy,

I apologize for my delay in getting back to you. I brought forward your requests for 212-216 Cox Avenue to our Staff Review Team.

Staff does not support the requests to remap these properties to RX-3. Staff's guidance was to generally remap single-family and two-family properties in the existing SP R-30 districts to R-10. Other consideration is lot size. Under the UDO, the minimum lot size for apartment building types (the only building type allowing more than two units per building) is 10,000 square feet. From reviewing Wake County tax records, it appears none of the three lots would meet the minimum lot size requirement.

As I mentioned previously, we will forward your requests to the Planning Commission for its review and consideration. More information on the remapping project as the Planning Commission begins its review is available at www.RaleighUDO.us. Be sure to sign up for MyRaleigh Subscriptions and subscribe to the topic "UDO - Unified Development Ordinance." You will then receive email notice of each Planning Commission UDO review agenda as it is posted. The draft map with all comments will be forwarded to the Commission at its October 14 meeting, and review will begin in earnest on October 21.

Please let me know if you have any questions.

Thank you.

Carter Pettibone, AICP

Urban Planner

Raleigh Urban Design Center
An Office of the Planning & Development Department

220 Fayetteville Street, Suite 200, Raleigh, NC 27601

[919.996.4643](tel:919.996.4643)

carter.pettibone@raleighnc.gov

www.raleighnc.gov/urbandesign

From: Amy Witynski Holmes [mailto:alloutwit@gmail.com]
Sent: Thursday, September 25, 2014 9:53 AM
To: Pettibone, Carter
Subject: Re: UDO Remapping Comments #GEN-0436, 0437, and 0438 - Cox Avenue

Thanks so much for your detailed response. I just heard from my neighbor Paul Shannon at 212 Cox who concurs that 212-216 should be zoned RX3. I look forward to keeping in touch with you in the coming weeks as this process moves along...

Kindly,

Amy Witynski

On Wed, Sep 24, 2014 at 12:46 PM, Pettibone, Carter
<Carter.Pettibone@raleighnc.gov> wrote:

Ms. Witynski,

Thank you for your comments regarding the properties located at 212, 214, and 216 Cox Avenue. It appears you have a questions about the boundaries of the proposed zoning districts, and whether Staff would consider Residential Mixed Use – 3 stories (RX-3) zoning for the three properties.

218 Cox Avenue is currently zoned Residential-30 (R-30). The properties further south of 218 Cox Avenue, while currently zoned Special Residential-30 (SP R-30) contain apartment buildings that have densities above 10 units per acre. In

selecting proposed UDO zoning districts, two of the primary considerations were existing zoning and land use. In the case of 218-302 Cox Avenue, these pointed to RX-3 for zoning under the UDO.

Properties currently zoned Special Residential-30 (SP R-30), such as yours and your neighbors, present a unique challenge in selecting zoning categories under the (UDO). In general, Staff considered R-10 zoning for properties currently zoned SP R-30 which contained single-family homes or duplexes (since those uses are permitted in the R-10 district).

I will bring your request to consider RX-3 for 212-216 Cox Avenue forward to our Staff Review Team, which considers such requests. It meets tomorrow (Thursday), so I will follow up with you shortly thereafter. Regardless of the Staff's recommendation, we will forward your comment and request on to the City's Planning Commission, when it begins its review of the draft zoning map in October. We also anticipate that the Planning Commission will devote time to further study to the general issue of SP R-30 zoning during its review.

You can find more information regarding Staff's guidance on the UDO Remapping by visiting www.raleighudo.us and selecting documents from the right-hand side column under the section titled "Technical Remapping Guidance to Staff". You can also scroll down the page to the section titled "Common District Exchanges", click on it, then select the "R-15 R-20 R-30 to RX" document to learn more about the comparison of existing SP R-30 and R-30 districts to the RX District under the UDO.

Please let me know if you have any questions prior to me getting back with you.

Thanks.

Carter Pettibone, AICP

Urban Planner

Raleigh Urban Design Center
An Office of the Planning & Development Department

220 Fayetteville Street, Suite 200, Raleigh, NC 27601

[919.996.4643](tel:919.996.4643)

carter.pettibone@raleighnc.gov

www.raleighnc.gov/urbandesign

"E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official."

"E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official."

Z-7-89 West Jones Street, north side, between Glenwood Avenue and Boylan Avenue, being Parcel 15, Block D-53, Zone Map D-15, Tax Map 523 rezoned to Residential Business Conditional Use District.

Conditions:

1. The building for the property will be limited to two stories or 35 feet in height.
2. There are two large oak trees (approximately 50 years old) located on the property. The development of the property will incorporate these into the overall building development. Though there is no guarantee that the trees will not become diseased, the trees will be replaced with other new trees (20-24 feet high, 3 1/2 inch caliper) if the existing oaks should die.

Ordinance (2012) 149 ZC 682
February 5, 2013

Z-35-12 (SSP-7-12) - Oberlin Road Conditional Use - located on Oberlin Road east side and Daniels Street west side, north of Smallwood Drive and Cameron Village Shopping Center being Wake County PIN(s), 1704035727, 1704032618 and a portion of 1704044002. Approximately 2.9 acre(s) to be rezoned from R-20 and O&I-1 to O&I-2 CUD and R-20 CUD with PBOD.

Conditions Dated: 01/17/13

Narrative of conditions being requested:

a. The following principal uses shall be prohibited on the property:

1. Stand-alone telecommunication tower
2. Landfill all types
3. Electrical sub-station
4. Manufacturing - specialized

b. Hours of operation for service of trash/recycle facilities shall be limited to the hours between 7:00 AM and 7:00 PM, Monday through Friday.

c. All outdoor pole-mounted lighting fixtures shall be cut-off design and the light source directed away from any adjacent residential use properties.

d. If visible from adjoining properties and/or public right of way, structured parking (parking deck) shall be clad in building materials similar and compatible to the principal building(s) located on the property.

e. With regard to traffic generation, the following shall apply:

- (i) residential development on the properties shall not exceed 250 dwelling units;
- (ii) office development on the "Oberlin Parcels ["616 Oberlin Parcel", PIN 1704-03-2618 and Deed Book 14577, Page 1521; "702 Oberlin Parcel", PIN 1704-04-4011 and DB 6264, PG 463; collectively, the "Oberlin Parcels" shall not exceed 90,000 square feet floor area gross;
- (iii) in the event that the Oberlin Parcels are developed for a mix of uses, the number of trips associated with the mixed use development shall not exceed 140 AM Peak Primary trips or 170 PM Peak Primary trips; and

Ordinance (2012) 149 ZC 682
February 5, 2013

- (iv) vehicle trips shall be measured by the most recent version of the ITE Trip Generation Manual, and deductions for internal capture and pass-by trips will be allowed when calculating Primary trip volumes for mixed use.
- f. No drive-through window shall be permitted on the properties. This shall not prohibit any porte-cochere, covered drive aisle or other similar feature used for the drop-off or pick-up of passengers.
- g. Prior to recordation of a subdivision plat or issuance of a building permit for new development on the 616 Oberlin Parcel (1704-03-2618; DR 14577, PG 1521), as may be recombined, a transit easement shall be deeded to the City and recorded in the Wake County Registry. Prior to recordation of the transit easement, the dimensions (not to exceed 15 feet in depth or 20 feet in width) and location of the easement along Oberlin Road shall be approved by the Public Works Department and the easement document approved by the City Attorney's Office. This transit easement shall be coordinated with any public sidewalk access easement if such access easement is required. Prior to issuance of a certificate of occupancy for new development on this property, a transit waiting shelter (free-standing or incorporated into a building façade), with construction plans approved by the Public Works Department, shall be constructed by the property owner.
- h. In the event the 616 Oberlin Parcel (1704-03-2618; DB 14577, PG 1521), as may be recombined, contains residential uses or is redeveloped for residential uses, there shall be at least two direct, handicapped accessible, pedestrian access points from the building to the sidewalk located in the Oberlin Road right-of-way, and such building entrances shall be oriented toward, and visible from, the Oberlin Road right-of-way, and shall open into a common apace, lobby or hallway accessible to all residents and/or tenants,
- i. In the event the 616 Oberlin Parcel (1704-03-2618; DB 14577, PG 1521), as may be recombined, contains residential dwelling units or is redeveloped for residential dwelling units on the ground floor elevation fronting along the Oberlin Road right-of-way, such façade shall incorporate at least six building entry stoops, each of which provides access to an individual residential dwelling unit.
- j. In the event the 616 Oberlin Parcel is redeveloped such that the ground-floor fronting along Oberlin Road contains a non-residential use (except for residential-related service use), there shall be at least one direct, handicapped accessible, pedestrian access point from the building to the sidewalk located in the Oberlin Road right-of-way, and such building entrance shall be oriented toward, and visible from, the Oberlin Road right-of-way.
- k. That building façade fronting along and parallel to the Oberlin Road right-of-way shall incorporate one or more of the following architectural features every 50 feet: projecting bays, footprint setbacks (1'-0" minimum), balconies, building entrances, or changes in building materials (change in paint color is not a change of building material).
- l. No more than 30% of the total number of dwelling units located within any single "group housing development" or "multi-family dwelling development" as defined by the Raleigh City Code shall contain more than two bedrooms.

Ordinance (2012) 149 ZC 682
February 5, 2013

m. Redevelopment of the property shall be in accordance with the 616 Oberlin Streetscape and Parking Plan adopted as part of this rezoning ordinance, as may be amended from time to time.

n. Prior to issuance of a building permit for redevelopment of the 616 Oberlin Parcel (1704-03-2618; DB 14577, PG 1521), as may be recombined, the owner shall record an offer of cross access in favor of the owner of the 702 Oberlin Parcel (1704-04-4002; DB 6264, PG 463) and an offer of cross access in favor of the Daniels Parcel (PIN 1704-03-5727; DB 14741, PG 2597). However, in no event shall the 616 Oberlin Parcel have access to more than one access point on Daniels Street.

o. Prior to issuance of a building permit for redevelopment of the property, construction drawings for replacement of those sewer lines identified on the attached Exhibit 1 shall be approved by the City of Raleigh. Prior to issuance of a certificate of occupancy for redevelopment of the property, the replacement of those sewer lines identified on Exhibit 1 shall be installed in accordance with the approved construction drawings and accepted by the City of Raleigh. Also, if so requested by the Public Utilities Department director, that segment of sewer line identified on the attached Exhibit 2 shall be subject to the same requirements of this rezoning condition applicable to the sewer lines identified on Exhibit 1. This condition does not obligate the owner of the property nor the City of Raleigh to design and/or construct those sewer lines identified on Exhibits 1 and 2; this condition only regulates the timing of redevelopment of the property relative to the design and construction of those sewer lines identified on Exhibits 1 and 2. This condition is applicable only when redevelopment of the property (singularly or collectively) results in a use (or uses) that exceeds the total combined existing gallons per day flow associated with the existing 32,101 square feet office building and four multi-family dwelling units.

p. No above-ground parking structure (not including surface parking or area associated with subterranean parking structure) shall be located within 30 feet of the Oberlin Road right-of-way unless there is intervening heated space (located between the above-ground parking structure and the Oberlin Road right-of-way for those portions of the parking structure located within 30 feet of the right-of-way).

q. At each point of vehicular egress from the Property to the public right-of-way, a “Stop” sign and Watch for Pedestrian” sign shall be installed, directed at vehicles leaving the Property.

r. Redevelopment of the 616 Oberlin Parcel (1704-03-2618; DB 14577, PG 1521), as may be recombined, shall provide the following:

(i) A Traffic Impact Analysis submitted with a Preliminary Site Plan shall demonstrate Level of Service “E” (LOS E) or better for the overall intersection for those signalized intersections along Oberlin Road at Clark Avenue, Cameron Street and Smallwood Drive. In the event Level of Service “E” or better is not maintained by the development of the property, the development will be appropriately scaled down or improvements will be made to fail intersection(s).

Ordinance (2012) 149 ZC 682
February 5, 2013

(ii) A Level of Service Analysis which shall take into account existing development and projects that have obtained site plan approval fronting along Oberlin Road between Clark Avenue and Wade Avenue. The level of service analysis shall also take into account the streetscape concepts for Oberlin Road based on the Wade Oberlin Area Plan. The analysis shall also address internal capture between proposed development and nearby services, transit, and trip distribution.

s. Upon redevelopment, any traffic accessing the 616 Oberlin Parcel (1704-03-2618; DB 14577, PG 1521), as may be recombined, shall have to drive through a parking structure prior to accessing Daniels Street.

t. Any access for the 616 Oberlin Parcel (1704-03-2618; DB 14577, PG 1521), as may be recombined, on to Daniels Street shall be limited to a right in/right out movement, and the developer shall bear the cost of installing the infrastructure necessary to implement the restricted movement.

u. Upon the filing of the first site plan for redevelopment of the 616 Oberlin Parcel (1704-03-2618; DB 14577, PG 1521), as may be recombined, the site plan applicant shall request authorization from the City to install a total of three traffic calming islands in Daniels Street at the intersections with Graham Street (southern leg), Sutton Drive, and Graham Street (northern leg). If the City authorizes this work prior to approval of the construction drawings associated with the above-referenced site plan, then the islands shall be installed by and at the sole cost of the site plan applicant in accordance with the approved construction drawings and accepted by the City of Raleigh prior to the issuance of a certificate of occupancy for the Property.

v. Conditions (b) through (u) of this rezoning ordinance shall only apply upon redevelopment of the property that is initiated by a site plan. The current use of the properties shall be allowed to remain in place and operation until redevelopment of the property commences.

616 OBERLIN

STREETSCAPE & PARKING PLAN

JUNE 14, 2012

REVISED: JANUARY 17, 2013



TABLE OF CONTENTS

	<u>PAGE</u>
LOCATION	3
GOALS:	3
FEATURES:	3-12
<i>SIDEWALKS</i>	
<i>STREET FURNITURE</i>	
<i>CANOPIES AND AWNINGS</i>	
<i>STREET TREE SPECIES</i>	
<i>CROSSWALKS</i>	
<i>UTILITY LINES</i>	
<i>MAINTENANCE</i>	
<i>SIGNS</i>	
<i>PARKING</i>	
<i>PARKING REDUCTION</i>	
<i>SIDEWALK WIDTH</i>	
<i>MAXIMUM BUILDING HEIGHT</i>	
<i>BUILDING FACADES AND MATERIALS</i>	
<i>COMMITTED ELEMENTS</i>	
MAP EXHIBITS:	13-18
• <i>TYPICAL DETAILS</i>	
• <i>STREET FURNISHINGS</i>	
ACKNOWLEDGEMENTS	19

616 OBERLIN STREETScape & PARKING PLAN

LOCATION:

The 616 OBERLIN Streetscape and Parking Plan shall emulate the existing Cameron Village Streetscape Plan (refer to plan dated April 17, 2003, and plan amendment dated September 9, 2008) but this document shall establish specific criteria for an assemblage of properties located at/near the northeast quadrant of the intersection of Smallwood Drive and Oberlin Road. The 616 OBERLIN Streetscape and Parking Plan shall apply to the shall apply to the right-of-way frontage(s) for the following parcels:

616 Oberlin Road; WAKE PIN: 1704-03-2618

702 Oberlin Road; WAKE PIN: 1704-03-2618 (portion of)

GOALS:

The 616 OBERLIN Streetscape and Parking Plan shall incorporate the following goals from the Wade/Oberlin Small Area Plan into the Oberlin Streetscape and Parking Plan:

Policy AP-WO 1

“The Wade-Oberlin area should evolve into a livelier pedestrian and transit-oriented mixed-use center.”

Policy AP-WO 7

“Oberlin Road should evolve as the “main street” of the area, with improved pedestrian amenities and streetscaping.”

Policy LU 5.4

“Low- to medium-density residential development and/or low-impact office uses should serve as transitional densities between lower-density neighborhoods and more intensive commercial and residential uses. Where two areas designated for significantly different development intensity abut on the Future Land Use Map, the

implementing zoning should ensure that the appropriate transition occurs on the site with the higher intensity.

FEATURES:

1. Sidewalks:

Sidewalks shall primarily be constructed of scored concrete, with broom finish, utilizing either a 4' x 4' or 6' X 6' grid pattern. Accent red clay brick shall be allowed, and the pavers shall be compatible with the pavers utilized on the adjoining Cameron Village Streetscape. Pavers shall be utilized to direct pedestrian traffic, announce intersections/pedestrian crossings and to reduce visual impact of wide sidewalks. Where driveway(s) enter the subject properties, a raised ramp-style approach shall be utilized with continuous sidewalk paving, and no street-type driveways shall be permitted.

2. Street Furniture:

Street furnishings, shall utilize but not be limited to bench, light pole and bicycle rack, and shall adhere to and be compatible with the furnishings prescribed for the adjoining Cameron Village Streetscape. The City Planning Director, or his/her designee, shall approve streetscape furnishings prior to issuance of building permit or Preliminary Site Plan Approval.

The following components are listed from the approved Cameron Village Streetscape document, and shall be utilized for the 616 OBERLIN Streetscape and Parking Plan:

Bench - “Classic Series VC-12” (Victor Stanley Company)

Light Pole - “Dover 6100-T4” (Sternberg Vintage Lighting) 14' HT.

Bike Rack - 5-Loop Heavy Duty “Challenger” (Madrax)

616 OBERLIN STREETScape & PARKING PLAN

In addition to the items listed above, the following streetscape furnishings, specific to the 616 OBERLIN Streetscape and Parking Plan shall be utilized:

Light Fixture: "Hometown" G743SR" Solid Roof (Sternberg Co.)

Bike Rack: "U" 2-Space Rack "U-158-SF-G (Madrax) (within ROW)

In the event that these items are no longer readily available, suitable and reasonable substitutions are allowed, subject to approval by the City Planning Director or his/her designee.

3. Canopies and Awnings:

Multiple awning materials are allowed, including but not limited to fabric and metal canopies, metal and wood trellises. No awning, canopy or trellis located within or adjacent to a public right-of-way shall provide no less than nine feet (9') of clearance measured from finished grade.

4. Street Tree Species:

The following schedule of public right of way street trees is allowed in the streetscape plan:

"Wynstar" Willow Oak Quercus phellos "Wynstar" 3" caliper/12' ht.

'Tuskegee' Crape Myrtle Lagerstroemia x Tuskegee (10 Ft. Height)

Multi-Stem and Single Stem are approved

With the exception of Daniels Street tree lawn, all street tree installations shall incorporate the following features, unless otherwise approved by the City of Raleigh as a "transitional element":

4' x 6" Tree Gate; City of Raleigh Standard Specification and Detail and be located behind back of curb. Alternately, Crape Myrtles may also be located within tree lawn where applicable.

Incorporate tree root soil cells and/or root pathways in accord with City of Raleigh standard specification and detail, where applicable.

5. Crosswalks:

Crosswalks shall be marked with elastomeric reflective paint in accord with City of Raleigh and/or NCDOT standard specification and detail (refer to parking plan for location). Location(s) to be approved by the City of Raleigh.

6. Utility Lines:

Existing overhead utility lines are located in the right-of-way of all streets that adjoin the subject properties. There are no plans to modify these facilities. Proposed service lines from the right of way to new buildings shall be located underground in accord with City of Raleigh code standards.

7. Maintenance:

It shall be the responsibility of the property owner adjoining the streetscape right of way to maintain street tree plantings, furnishings and sidewalks. The maintenance shall include reasonable monitoring and collection of trash and other refuse at least three times per week.

8. Signs:

It is anticipated that there will be no private streets in this development, and therefore all regulated signage shall be in compliance with the City of Raleigh Sign Ordinance.

Signage: The design and location of sign(s) shall be in keeping with the goals of the Wade/Oberlin Small Area Plan stated above. Signs shall

reflect that this streetscape plan is scaled to the pedestrian, and also be compatible with the architectural character of the building(s).

The following signage types are encouraged and allowed in this district:

- *Awning Signs*
- *Window Stencil Signs*
- *Wall Signs **
- *Paddle Signs***

Permanent ground signs shall not be allowed, however temporary ground signs and ground-mounted directional/directory signs shall be allowed in accord with City of Raleigh code standards.

** Wall signs that are internally illuminated shall light only text and graphics, with the remainder of the sign face to be an opaque background.*

***Paddle signs shall maintain a minimum clear height of 9'-0" above finish grade.*

9. Parking:

Parking shall be located in accord with the following policies:

If visible from adjoining properties and/or public right of way, structured parking (parking deck) shall be clad in building materials similar and compatible (in terms of texture, quality, materials, and color) to the principal building(s) located on the property.

Vertical openings in the parking structure visible from public right of way shall have a translucent screen (to include, but not limited to: evergreen vine; metal grill/screen; translucent glass/plexiglass; and other architectural treatments) or other screening device so

that no less than 50% of the opening is covered, while still allowing reasonable air and light to reach the interior of the structure.

Vehicular entrances, pedestrian entrances and the top level of the deck shall not be screened.

Existing surface parking in use on the subject properties (approximately 171 spaces) at time of adoption of this plan shall be allowed to remain in use.

10. Parking Reduction:

Parking reduction from code standards shall only be allowed upon:

Submittal of a parking reduction report prepared by a Professional Traffic Engineer.

Approval of the report's findings and recommendations by the City of Raleigh.

11. Sidewalk Width:

Unless approved otherwise by the City of Raleigh Planning Commission, the following sidewalk widths shall be provided:

Oberlin Road: Fourteen feet (14') for the entire frontage in the streetscape plan. The travel width of the sidewalk can be reduced to accommodate encroachment by street trees and street furnishings subject to City of Raleigh approvals at time of site plan approval.

616 OBERLIN STREETScape & PARKING PLAN

12. Maximum Building Height:

Maximum Building height shall comply with the regulations set forth in this 616 Oberlin Streetscape and Parking Plan, including the attached Exhibit A.

As shown on Exhibit A, and as measured per this 616 Oberlin Streetscape and Parking Plan, the following building height standards apply:

1. A five-story (5 story) building shall be no taller than seventy-five feet (75') for commercial/office uses and no taller than sixty-five (65') for residential uses.

2. A four-story (4 story) building shall be no taller than sixty feet (60') for commercial/office uses and no taller than fifty-five (55') for residential uses.

3. Under the above restrictions, height shall be measured in accord with the following criteria:

i. Top of building shall be the peak for a pitched roof or top of roof deck for a flat roof.

ii. Base of building shall be measured from the finish floor elevation of the main entry level of the building and shall not include foundation, stem wall or basement. Measurements shall be in accord with NCSBC definitions.

iii. Roof-top mechanical equipment and respective screening apparatus, elevator and stair enclosures, parapet wall extensions and other decorative elements shall not be included when establishing maximum building height.

4. For any building containing a residential use, the building height where it fronts Oberlin Road shall be limited to four (4) stories, when measured from the lowest floor elevation at the northernmost point of the site. Where the site grade allows, a basement or additional floor may be permitted, however, in no case shall this five story condition (where directly facing Oberlin Road), exceed more than 33% of the length of the elevation as measured along the property line. Basement conditions are unlimited where they do not face Oberlin Road. Stem wall of foundation wall conditions along Oberlin Road are unlimited.

13. Building Facades and Materials:

Building Facades:

Facades visible from a public right of way or adjoining properties shall reinforce the goals for the project being a pedestrian-oriented and creating a main street character for Oberlin Road. A mixture of the following elements shall be utilized:

- *Building entrances principally oriented toward the public rights of way.*
- *Building facades facing the right-of-way shall be broken up visually such that there is a vertical element or facade detail at least every 25 linear feet along the building elevation.*
- *However, limited exceptions to this requirement for required life-safety standards shall be allowed upon approval by the Chief Planning and Development Officer Director of the Department of City Planning and Economic Development.*
- *Building fenestration shall provide for reasonable views both from within and into the building and where appropriate to the building use.*

If the property is developed as non-residential use (i.e. – office), the first floor (as defined by the North Carolina State Building Code) elevation facing Oberlin Road shall include visual transparency, where the ground floor elevation provides no less than 50% transparent glazing (including door glazing). The area of measurement shall not include set aside areas for uses that typically do not provide

transparency (including but not limited to: sprinkler riser room, utility room, transit shelter, fire-rated exit corridors). Non-transparent uses shall comprise no greater than 20% of the ground floor elevation along Oberlin Road.

Building Elevation:

With regard to describing a building elevation associated with a specific street or streetscape, the term elevation shall include the major plane of the building wall(s) parallel to the road and any section of wall up to no twenty feet (20') in length where the building footprint steps forward or backward from the principal wall of the building. The shorter sections of wall elevation shall be subject to any architectural standards established for the major plane of the building; specifically standards for building materials and design required for principal wall of an elevation shall also apply to short sections of wall (i.e. – walls used to “step” the building façade), and are considered to be part of the overall elevation.

616 OBERLIN STREETScape & PARKING PLAN

Building Materials:

New building facades shall be composed of durable materials to be compatible with the adjacent Cameron Village Streetscape.

The following building siding materials for the 616 OBERLIN Streetscape Plan shall include the following:

- *Concrete and/or clay brick (masonry)*
- *Cementitious Stucco (masonry)*
- *Native and manufactured stone (masonry)*
- *Pre-Cast Concrete/Concrete Tile (masonry)*
- *Cementitious Siding, including lap and panel products*
- *Metal and composite panel systems*

The following building siding materials shall be prohibited:

- *Vinyl Siding*
- *Fiber Board Siding*
- *Pressure-Treated Wood*
- *Synthetic Stucco (EIFS); however EIFS shall be allowed for trim applications such as a roof cornice*

Incidental building materials and assorted trim elements composed of glass, wood, metal, aluminum storefront, and similar systems shall be allowed.

At minimum, the majority of siding materials (no less than 51%) of all ground floor level(s) of building facades (including parking structures where visible from right-of-way or neighboring properties) shall be clad with masonry and/or traditional cementitious stucco.

For the exterior elevations of the building, the amount of masonry cladding

(exclusive of fenestration – doors, windows, vents, etc) shall be no less than 25% of the total elevation area. For both the Oberlin Road elevation and the Daniels Street elevation, the amount of masonry cladding shall be no less than 50% of the wall area for that elevation (exclusive of fenestration – doors, windows, vents, etc). The distribution of masonry cladding is at the discretion of the owner.

Along the Oberlin Road elevation, the vertical plane of a building with ground-floor residential units shall incorporate the following features:

- 1. 1st/2nd Floor Delineation: In order to delineate the pedestrian realm along Oberlin Road, the building design shall incorporate at least two of the following architectural elements:
 - a.) Box Bay Extension: of no less than twelve inches (12”) depth and not to extend beyond the 2nd floor above the main level, no fewer than six (6) Box Bay shall be provided.*
 - b.) Covered Entry: to include but not limited to porch roof, fabric awning, metal awning, or similar overhead plane feature at either the first and/or the second floor; no less than six (6) covered entries shall be provided.*
 - c.) Building Footprint Step Forward: The wall surface of the first floor (at a minimum) - and the third floor (at a maximum) - shall project beyond the walls of the floors above. When measured against the overall length of the Oberlin Road elevation, no less than ten percent (10%) of the floor projection shall be provided in order to qualify for this condition.**

2. NON RESIDENTIAL USE:

If the property is developed primarily as a residential use, residential support services (leasing office, management office, community room, etc.) shall be located on the main floor, adjacent to the Oberlin Road elevation. The location of this feature shall be discernible from Oberlin Road. Where residential support services are adjacent to the street corridor, that portion of the frontage shall provide the no less than thirty percent (30%) visual transparency along that portion of the storefront, or other acceptable and reasonable means approved by the City of Raleigh to meet intent of activating the streetscape. Residential support services shall adhere to this condition for any facility equal to or greater than five hundred square feet (500 SF) in area.

616 OBERLIN STREETScape & PARKING PLAN

14. Committed Elements :

- a. *Trash dumpster/compactor and/or recycle dumpster shall either be enclosed within the building(s) or within a masonry structure, with the siding material to be compatible with the building material(s) used on the principal building(s); opaque doors shall screen the opening; screening shall not apply to trash and recycle facilities located within a building. No door or gate utilized primarily utilized for access to a trash room or trash enclosure shall be located on the properties where directly across the street from existing residential uses located along Daniels Street. This restriction shall apply only to those properties determined to be residential use at time of submittal of these zoning conditions.*
- b. *Hours of operation for service of trash/recycle facilities shall be limited to the hours between 7:00 AM and 7:00 PM, Monday through Friday.*
- c. *Bicycle parking shall be provided as follows:*
 1. *At least twelve (12) bike rack spaces shall be provided within or adjacent to the streetscape sidewalk area of the two public rights-of-way adjoining the subject properties, subject to approval by the City of Raleigh for an Encroachment Agreement. The spaces shall be located so as to be convenient for use by visitors to the properties, especially with regard to proximity to building entrances.*
 2. *At least one (1) bicycle rack space shall for every five (5) dwelling units located on the properties, and shall be in addition to the spaces specified in condition c.1 above.*
 3. *If the amount of bicycle parking provided (in subparagraphs c.1. and c. 2. above) are less than the requirement for City of Raleigh code, additional bicycle parking shall be provided to meet code standard.*
- d. *No pole-mounted light fixture shall be located on top level(s) of a parking structure. All outdoor pole-mounted fixtures shall be "full cut-off" type fixture and maximum mounting height shall be no greater than twenty feet (20') in height.*
- e. *"Internal illumination of a parking structure shall be accomplished so that the light source (lamp) shall not be directly seen from any residential use located adjacent to the subject property."*
- f. *All building mounted light fixtures visible from the Mettre property (Wake County PIN 1704-03-4664 / Deed Book 5668, Page 774) abutting the subject properties shall be full-cutoff design - or shall have a frosted globe - such that the lamp is not visible.*
- g. *Light level produced on the subject properties at the perimeter property line adjacent to the Mettre property (Wake County PIN 1704-03-4664 / Deed Book 5668, Page 774) shall be no more than four-tenths (4/10's) of a foot candle.*
- h. *HVAC equipment shall be regulated in accord with the following:*
 1. *No HVAC units shall be ground-mounted within fifty feet (50') of the boundary with the Mettre property (Wake County PIN 1704-03-4664 / Deed Book 5668, Page 774).*
 2. *Individual exterior HVAC equipment shall be primarily (85%) located on the roof of building(s) or behind buildings. If ground-mounted HVAC equipment is utilized, it shall be located within masonry enclosures. Openings within the enclosures to allow air movement are permitted.*
- i. *The owner shall provide a "Dog Waste Station" within the western open space shown on Exhibit "A", and maintain a stock of dog waste collection bags available to the residents of the building and provide and maintain a trash can for disposal of dog waste.*

- j. In addition to the condition addressing durable siding material for the ground-floor elevation of the building(s), no less than 25% of the cumulative building siding materials (exclusive of fenestration) visible from off-site view shall be clad with masonry. Masonry shall be defined as, but not limited to brick, stone, pre-cast, or cementitious stucco.*
- k. All required trees located in a Transitional Protective Yard (TPY), adjacent to Wake County PIN 1704-03-4664; DB 5668, page 1521, shall be evergreen species, and the minimum size of these trees at time of installation shall be no less than twelve feet (12') height, and at least 25% of the required trees shall be no less than sixteen foot (16'). In addition to increasing the minimum heights at time of installation, the quantity of buffer trees shall be increased by twenty-five percent (25%). As the City of Raleigh Landscape Ordinance allows "Alternate Means of Compliance", this streetscape plan encourages and allows a planting solution that meets the intent to provide buffering between adjacent uses, as approved by the City of Raleigh. To provide year-round screening, selected evergreen species including but not limited to "Nellie Stevens Holly", "Little Gem Magnolia", "Cruptomeria, and "Brody Eastern Red Cedar" shall be selected as suitable tree species for this application.*
- l. Signage shall be in accord with City of Raleigh Sign Ordinance, and no sign alternates or exceptions are included as part of the 616 OBERLIN Streetscape and Parking Plan. If applicable, any request to the City of Raleigh for Preliminary Subdivision or Preliminary Site Plan Approval shall be accompanied by Unified Sign Criteria Application.*
- m. The owner of the subject properties provides accommodation for updates in the specification of design features in this streetscape plan. Design*

features are subject to reasonable modification as the OBERLIN/WADE community is redeveloped as it is anticipated that the City of Raleigh shall implement future streetscape plans for both Daniels Street and Oberlin Road. Reasonable modification shall require demonstrating equal or better to the original specification. Streetscape features including but not limited to sidewalk details, street tree selection, light pole/fixture, bike rack, bench, transit stop and related street furnishing specifications may be updated upon the recommendation and approval of the Chief Planning and Development Officer Director, Department of City Planning and Economic Development.

616 OBERLIN STREETSCAPE & PARKING PLAN

o. Open Space:

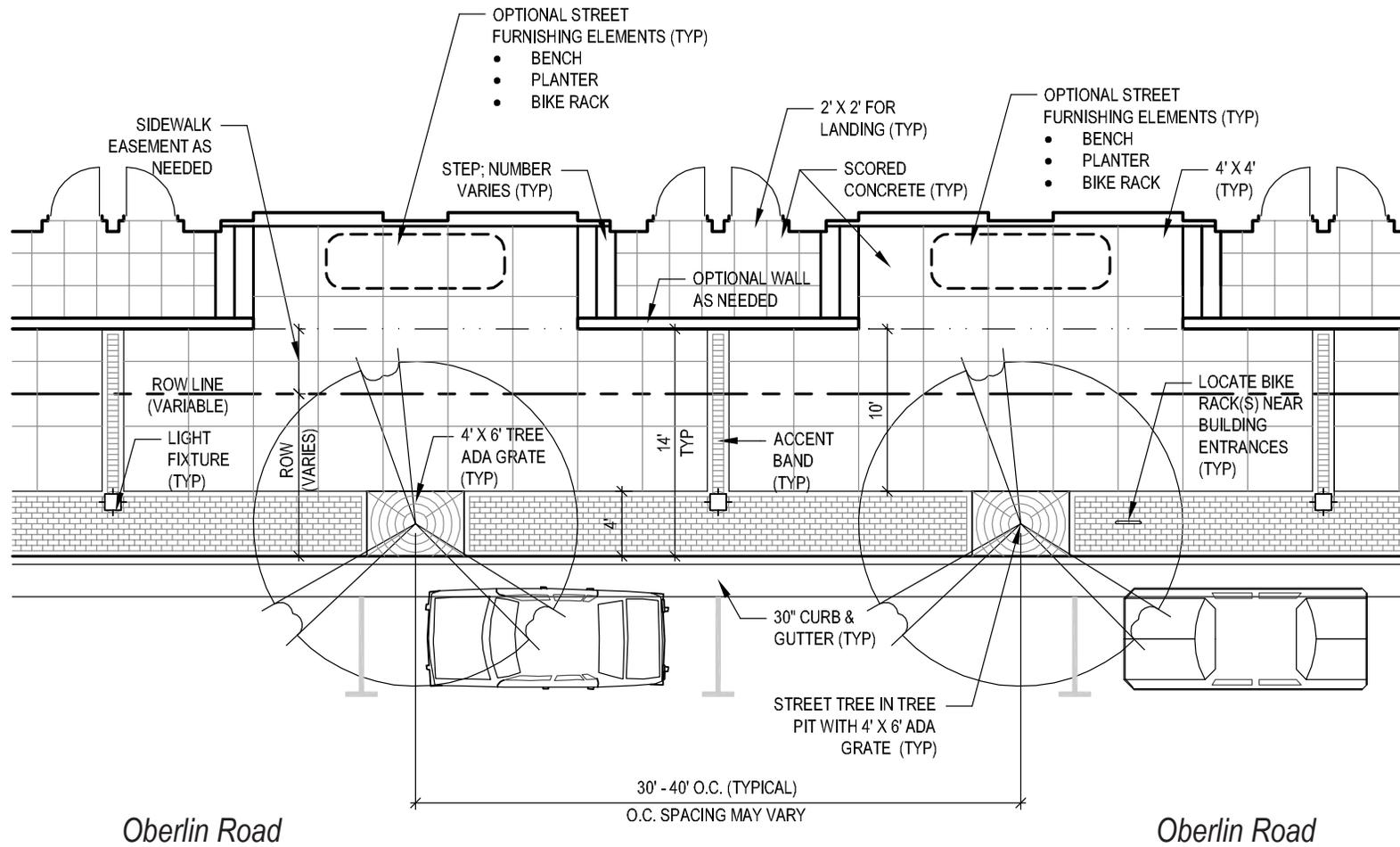
A portion of the required Open Space for this PBOD shall be provided adjacent to Oberlin Road, and the “Oberlin Road Open Space” shall adhere to the following criteria:

- 1. The goals of the open space shall be to provide opportunity for building entry points, outdoor seating and landscape gardening. In addition to accommodating physical improvements, the open space shall contribute to the pedestrian experience by softening the impact of building wall on pedestrians, and stepping portions of the principal building wall away from Oberlin Road.*
- 2. The open space shall be no less than three thousand; two-hundred square feet (3200 SF) in cumulative area, and at least three distinct areas shall be provided. (Note: 5% Open Space for 2.88 Acres = +/-6275 SF; this condition would provide just over half of the OS requirement along Oberlin Road)*
- 3. At least two (2) of the open space areas shall constitute no less than fifty percent (50%) of the required area*
- 4. The open space shall be located between the front façade of the building along Oberlin Road, and the Thoroughfare Sidewalk.*
- 5. The open space shall have a minimum dimension of five feet (5') to qualify toward meeting the minimum area calculation.*
- 6. Open stoops, walks, landings, sidewalks and other pedestrian features may be located within these open spaces.*
- 7. Refer to Exhibit “A” of the Zoning Conditions for Z-35-12; the exact location, shape, dimension, and arrangement of Oberlin Road Open Space shall be determined at time of request for either*

Preliminary Site Plan Approval or Building Permit.

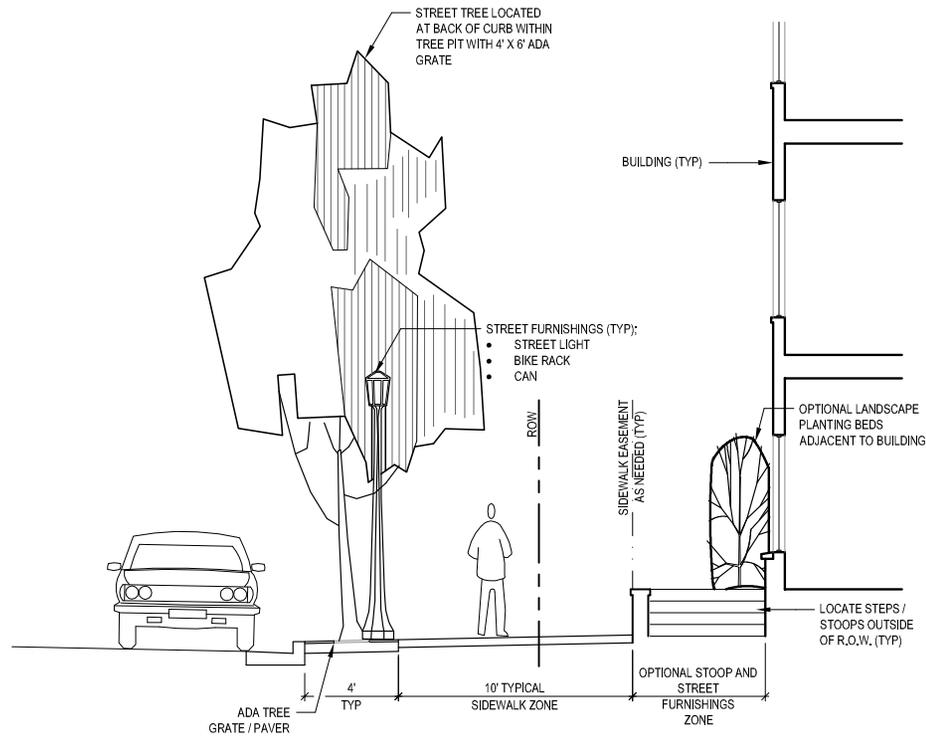
- p. The 10' wide private open space located along the side yard of [the Mettre parcel] shall be measured from the property line. However, in the event that certain easement recorded at Book 1187, Page 381, Wake County Registry impacts that area measuring approximately 10 feet from the common property line, then such 10' private open space shall be measured from the easement boundary line on the Property.*

616 OBERLIN STREETSCAPE & PARKING PLAN



URBAN FORM
N . T . S .

616 OBERLIN STREETScape & PARKING PLAN

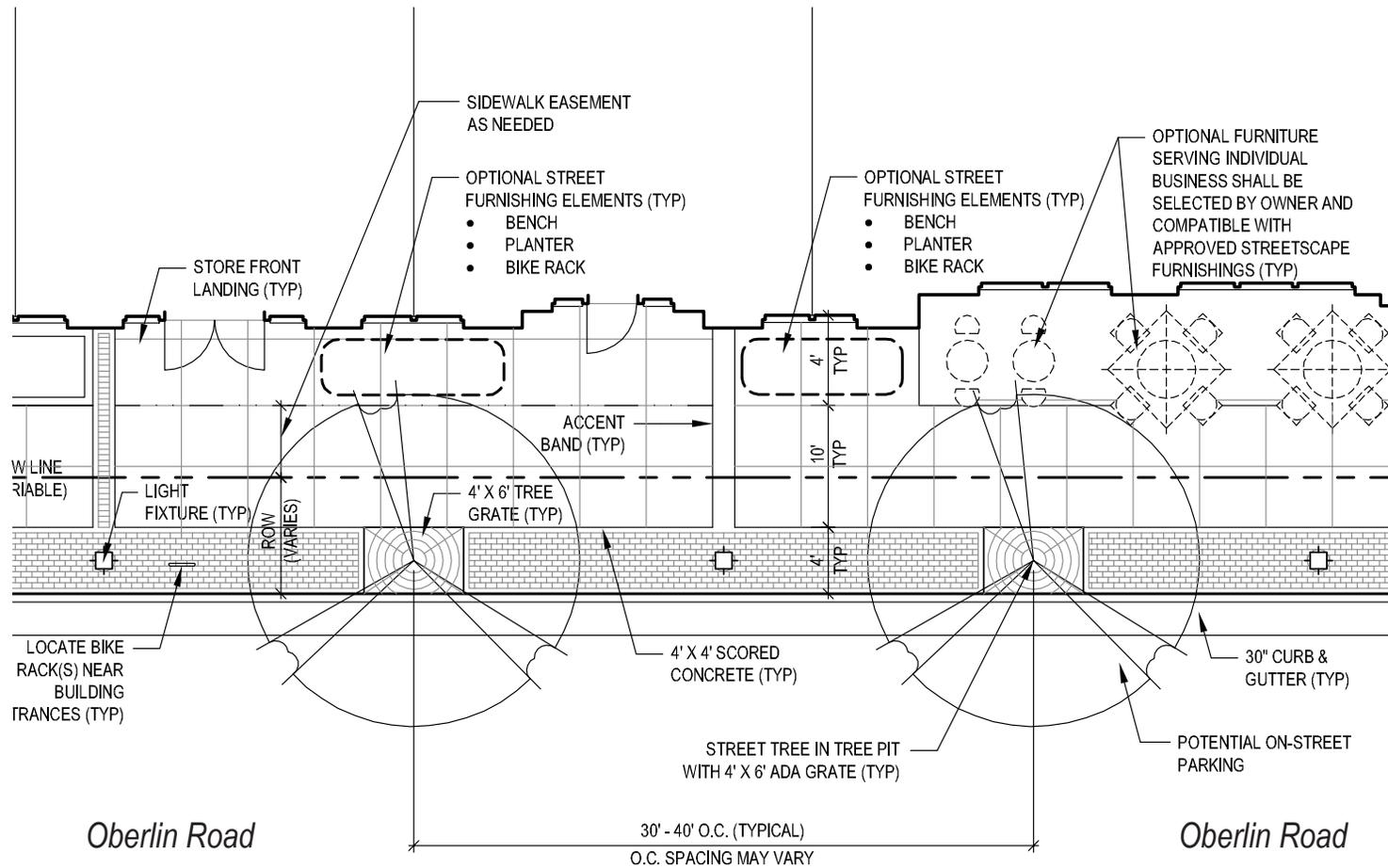


URBAN FORM

N. T. S.

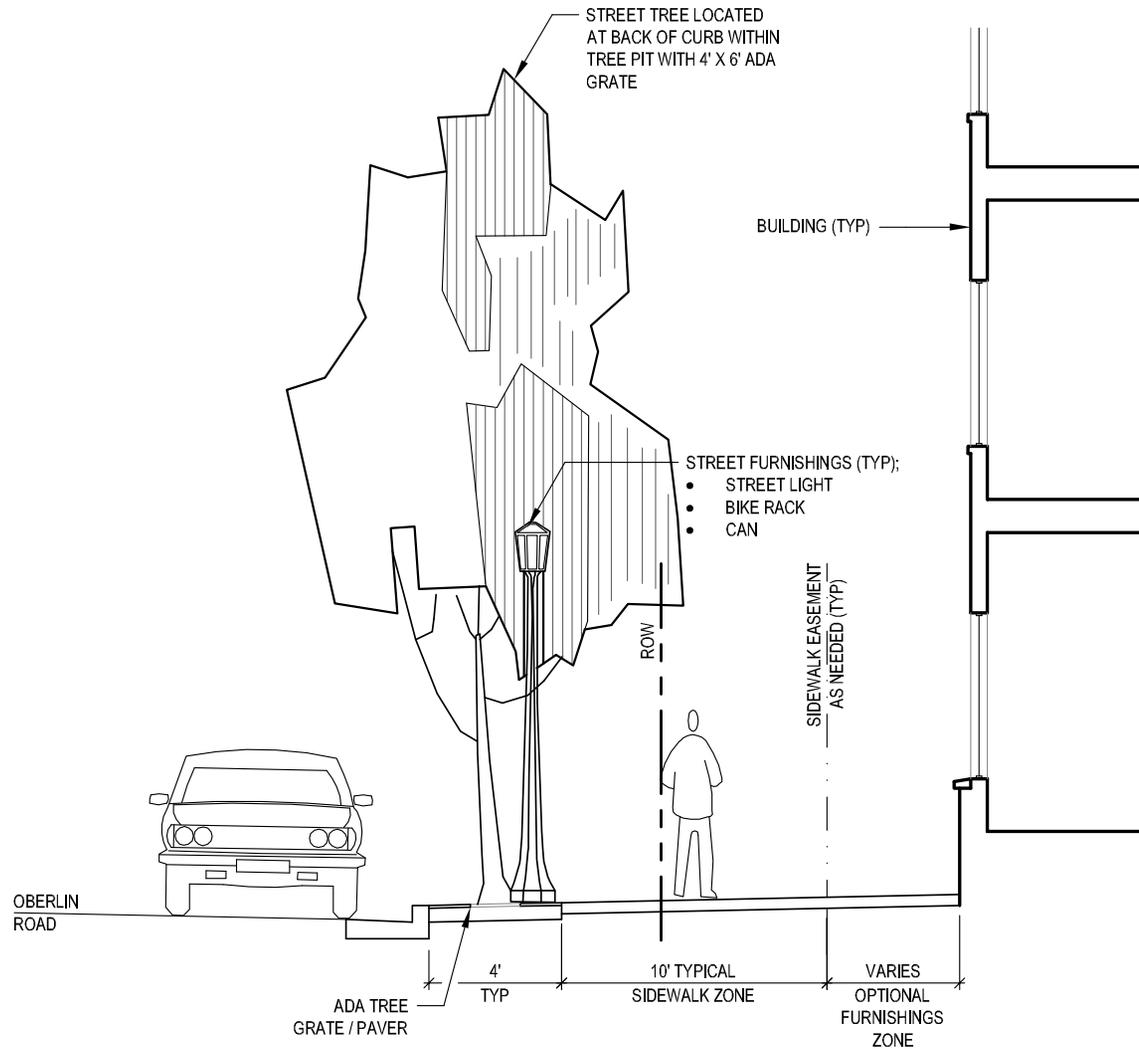
Oberlin Road

616 OBERLIN STREETSCAPE & PARKING PLAN



URBAN FORM
 N . T . S .

616 OBERLIN STREETScape & PARKING PLAN



TYPICAL OBERLIN ROAD STREETScape SECTION

URBAN FORM

N. T. S.

616 OBERLIN STREETScape & PARKING PLAN DETAILS



"IRONSITES SERIES: SD-42" (VICTOR STANLEY CO.)



R-8811 BOULEVARD COLLECTION TREE GRATE
BY NEENAH FOUNDRY (PHONE: 800-558-5075)

NOTES (FROM CITY OF RALEIGH):

1. GRATE DESIGN SHALL BE ADA COMPLIANT
2. DUCTILE IRON SHALL COMPLY WITH ASTM A536 DI 80-55-06
3. GENERAL PATTERN DESIGN SHALL BE AS SHOWN. UPON REVIEW AND APPROVAL BY CITY OF RALEIGH, PATTERNS CAN BE MODIFIED TO INCORPORATE CUSTOM LOGOS AND ARTWORK.

© 2011 J.DAVIS ARCHITECTS LLP. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF J.DAVIS ARCHITECTS LLP. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF J.DAVIS ARCHITECTS LLP IS STRICTLY PROHIBITED.



5 LOOP HEAVY DUTY CHALLENGER (MADRAX)
(NOT TO BE LOCATED WITHIN STREET RIGHT-OF-WAY)

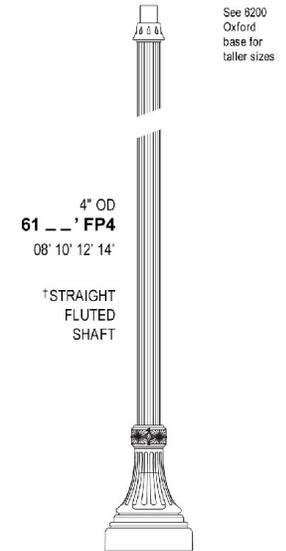


"U" 2-SPACE RACK U-158-SF-G (MADRAX)
(LOCATE WITHIN STREET RIGHT-OF-WAY)

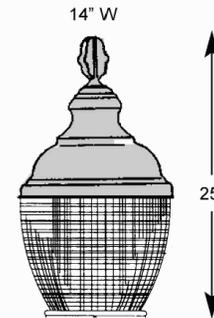


"CLASSIC SERIES VC-12"
(VICTOR STANLEY CO.)

15" Diameter Base x 21" High



"DOVER 6100-T4" (STERNBERG
VINTAGE LIGHTING)



G743SR
G745SR
Solid Roof

"HOME TOWN G-743"
(STERNBERG VINTAGE LIGHTING)

PROJECT TEAM

OWNERS:

616 OBERLIN ROAD, LLC; OBERLIN INVESTORS, L.L.C.

DEVELOPMENT ADVISOR: AACRE

JIM ANTHONY; MARCUS JACKSON; JAMES RICH

ARCHITECT/LANDSCAPE ARCHITECT: J DAVIS ARCHITECTS, PLLC

NEIL GRAY, AIA; DAVID BROWN, RLA

CIVIL ENGINEER / SURVEYOR: PRIST, CRAVEN & ASSOCIATES, INC.

TOMMY CRAVEN, PE; BRADLEY BOWLING, PE; GREG JONES, RLS

TRAFFIC ENGINEER: STANTEC

CHRISTA GREENE, PE

ATTORNEY: MORNINGSTAR LAW GROUP

MACK A. PAUL, IV; R. MICHAEL BIRCH, JR.

OPEN SPACE NOTES:

1. THE EXACT LOCATION, SHAPE, DIMENSION, AND ARRANGEMENT OF OBERLIN ROAD OPEN SPACE SHALL BE DETERMINED AT TIME OF REQUEST FOR EITHER PRELIMINARY SITE PLAN APPROVAL OR BUILDING PERMIT.

OBERLIN OPEN SPACE; VARIABLE WIDTH & LOCATION (TYP)

THOROUGHFARE SIDEWALK (14' TYP)

OBERLIN ROAD SETBACK SHALL BE THE GREATER OF EITHER:

- FIFTEEN FEET (15') FROM BACK OF EXISTING CURB.
- ZERO FEET (0') FROM EXISTING OR FUTURE RIGHT-OF-WAY.

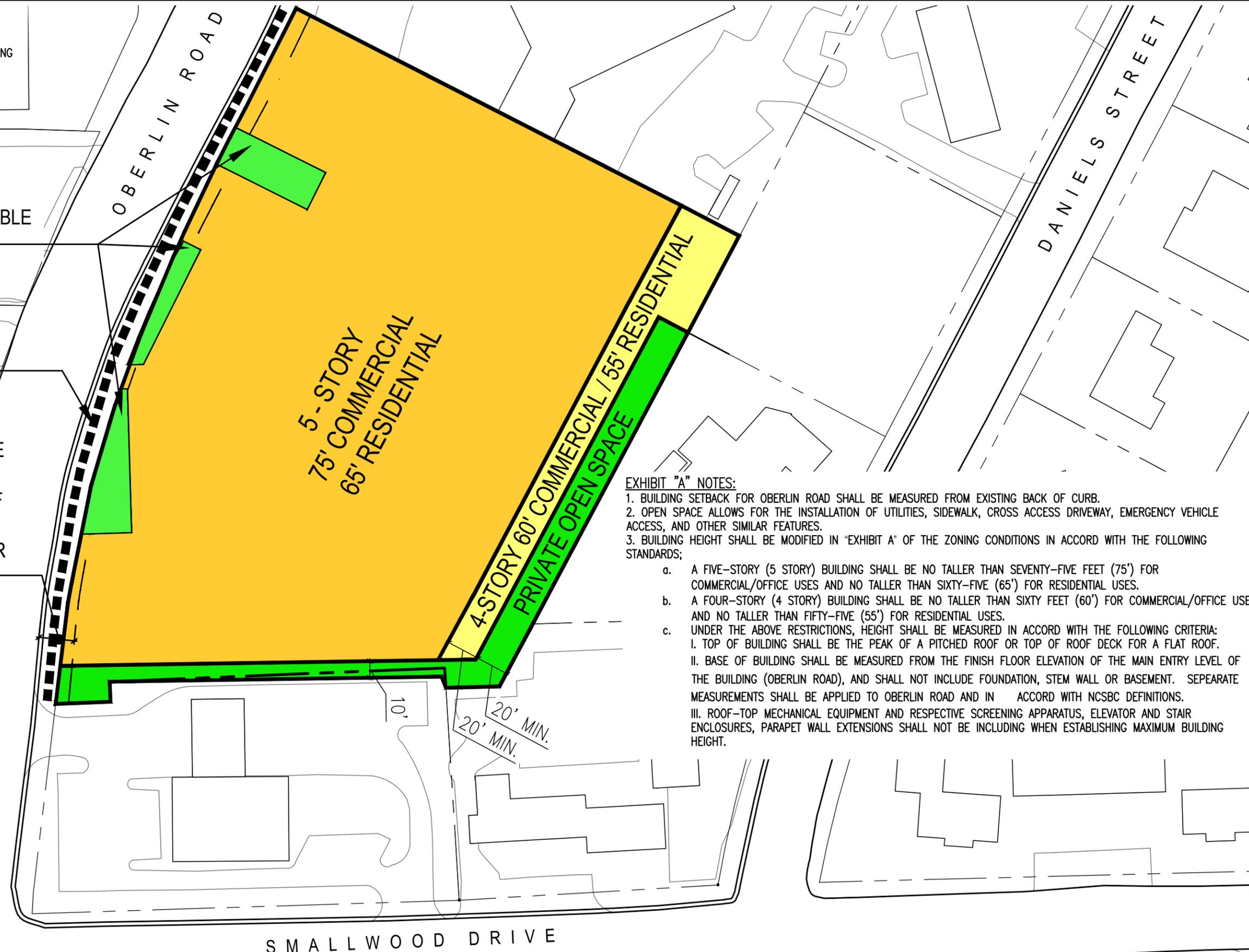


EXHIBIT "A" NOTES:

1. BUILDING SETBACK FOR OBERLIN ROAD SHALL BE MEASURED FROM EXISTING BACK OF CURB.
2. OPEN SPACE ALLOWS FOR THE INSTALLATION OF UTILITIES, SIDEWALK, CROSS ACCESS DRIVEWAY, EMERGENCY VEHICLE ACCESS, AND OTHER SIMILAR FEATURES.
3. BUILDING HEIGHT SHALL BE MODIFIED IN "EXHIBIT A" OF THE ZONING CONDITIONS IN ACCORD WITH THE FOLLOWING STANDARDS;
 - a. A FIVE-STORY (5 STORY) BUILDING SHALL BE NO TALLER THAN SEVENTY-FIVE FEET (75') FOR COMMERCIAL/OFFICE USES AND NO TALLER THAN SIXTY-FIVE (65') FOR RESIDENTIAL USES.
 - b. A FOUR-STORY (4 STORY) BUILDING SHALL BE NO TALLER THAN SIXTY FEET (60') FOR COMMERCIAL/OFFICE USES AND NO TALLER THAN FIFTY-FIVE (55') FOR RESIDENTIAL USES.
 - c. UNDER THE ABOVE RESTRICTIONS, HEIGHT SHALL BE MEASURED IN ACCORD WITH THE FOLLOWING CRITERIA:
 - I. TOP OF BUILDING SHALL BE THE PEAK OF A PITCHED ROOF OR TOP OF ROOF DECK FOR A FLAT ROOF.
 - II. BASE OF BUILDING SHALL BE MEASURED FROM THE FINISH FLOOR ELEVATION OF THE MAIN ENTRY LEVEL OF THE BUILDING (OBERLIN ROAD), AND SHALL NOT INCLUDE FOUNDATION, STEM WALL OR BASEMENT. SEPEARATE MEASUREMENTS SHALL BE APPLIED TO OBERLIN ROAD AND IN ACCORD WITH NCSBC DEFINITIONS.
 - III. ROOF-TOP MECHANICAL EQUIPMENT AND RESPECTIVE SCREENING APPARATUS, ELEVATOR AND STAIR ENCLOSURES, PARAPET WALL EXTENSIONS SHALL NOT BE INCLUDING WHEN ESTABLISHING MAXIMUM BUILDING HEIGHT.

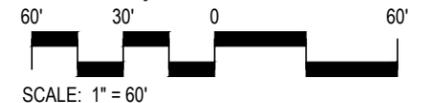
1/17/2013 4:06 PM P:\Land12\12039-616_Oberlin.dwg\12039-Exhibit_A-Bldg_H-Setback10.dwg



510 Glenwood Ave., Suite 201 | Raleigh, NC 27603 | Tel 919.835.1500 | Fax 919.835.1510

616 Oberlin Z-35-12
 EXHIBIT "A" - 616 OBERLIN STREETScape AND PARKING PLAN
 OPEN SPACE; BUILDING HEIGHT; BUILDING SETBACK

Date: January 17, 2013



©2013 JDAVISA ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF JDAVISA ARCHITECTS, PLLC

ORDINANCE NO. (1986) 757ZC 184
Effective: 4-1-86

GEN-0507
WEB-37764
WEB-38404

Z-22-86 North Blount Street to Harp Street, between Franklin and Peace Streets, being parcels 116-118, Tax Map 524, rezoned to Office & Institution-1 Conditional Use District.

Conditions as follows:

Uses will be limited to college uses - such as without limitation, classrooms, administration, medical facility, housing, dormitory, library and assembly.

Z-21-00 E. Franklin Street, and Harp Street, northwest intersection, being a portion of Wake County PIN Map 1704.16 73 7830. Approximately 3.07 acres rezoned to Office & Institution-1 Conditional Use.

Conditions: (03/29/00)

1. Reimbursement for excess street right-of-way conveyed to the City shall be at the value of the existing R-20 zoning.
2. Stormwater will be designed for compliance with CR 7107.
3. An inventory will be undertaken of all trees within 50 feet of existing rights-of-way. All trees over 12 inches DBH will be actively protected. Any inventoried trees that must be removed for development will be replaced with one 4.5 inch caliper tree.
4. Unity of Development standards will be developed that visually tie the proposed development with neighboring development. Prior to issuance of a building permit, the Appearance Commission will review building elevations.
5. All site lighting will be directed downward and designed so that a light source will not be visible from neighboring residential properties.

Z-46-97 Peace Street, north side, between Glenwood Avenue and N. West Street, being Map 1704.18 42 9272 and 9321. Approximately .6 acre rezoned to Residential-30 Conditional Use.

Conditions: 7/10/97

1. The resulting residential development shall consist of either a townhouse development or unit ownership development of single family or attached dwelling units limited to a maximum yield of twelve (12) dwelling units.

2. An attached townhouse development or unit ownership development of the entire zoned area shall be limited to a total of not more than three (3) buildings containing attached dwelling units.

3. Exterior building materials shall be in terms of texture, appearance and quality be made of the same or compatible materials used on the homes fronting Glenwood Avenue and Devereux Street that backup to and abut the subject area. Vinyl and aluminum siding shall not be used.

4. The main roof of proposed buildings or additions shall have a minimum slope of four (4) to twelve (12).

5. Building heights as calculated by applicable City of Raleigh ordinances shall not exceed the height of the highest apex for a roof of a house on the southeast side of the 500 block of Devereux Street.

6. Exterior Lighting

a. Exterior area lights of any type shall be located outside of any required transitional protective yards.

b. Pole style lights shall not exceed a height of eighteen (18) feet. They shall employ fixtures that create downlighting only and shield the view of the light source from the sides.

c. Within one hundred (100) feet of the existing rear lot lines of parcels fronting on Devereux Street and the subject parcel, exterior lighting shall be limited to either:

1. bollard style fixtures of a maximum height of three and one-half feet with the light source shielded from adjacent parcels; or

2. wall mounted light fixtures that create primarily down lighting with the light source shielded from view and the fixture at a maximum height of twelve (12) feet on the wall: or

3. combinations of 1 and 2 above.

7. Dwelling units constructed on the subject property shall have a minimum of 1200 square feet of floor area gross not including any garage space.

8. A preliminary site plan shall be submitted to the Raleigh Planning Commission and be reviewed in accordance with Code Section 10-2132.2(c).

9. At the time of filing for preliminary site plan approval, a copy of the site plan shall be mailed to the owners of the following residentially used properties abutting the subject site:

Wake County PIN #:	
1704.14-42-9504 (Barker)	1704.18-42-7374 (Durham)
1704.14-42-9555 (DiGregorio)	1704.18-42-7350 (Byrd)
1704.15-52-0514 (Armentrout)	1704.18-42-7379 (House)
1704.15-52-0554 (Higgins)	

10. Within the side development area exclusive of rights-of-way, utility services shall be placed underground to the point where they connect to the new buildings.

11. HVAC units shall be screened from view from adjacent parcels on either Glenwood Avenue or Devereux Street.

12. Chimneys (if used) shall be of masonry construction.

13. There shall be no exposed external stairwells leading to second floor levels for any buildings or dwelling units constructed on the site.

14. Subject to the provision by the owners of the parcels listed herein of an easement area at the rear of their respective Wake County parcels being PIN Numbers:

1704.14-42-9504 (Barker)	1704.15-52-0514 (Armentrout)
1704.14-42-9555 (DiGregorio)	1704.15-52-0554 (Higgins)

The developer shall install a minimum six (6) foot tall closed wooden fence to shield these parcels from vehicular surface areas and parking spaces occurring within fifty (50) feet of the common boundaries of the subject area and these parcels.

ORDINANCE (1997) 168 ZC 418 CORRECTED COPY
Effective: August 5, 1997

GEN-0574
GEN-0578
GEN-0580

Z-70-97 Gaston Street, north side, west of Boylan Avenue and east of Clay Street, being 1704.14 33 (portion of) 8089. Approximately .29 acre rezoned to Residential-30 Conditional Use.

Conditions: 6/17/97

1. Residential Density: Residential uses shall be limited to not more than 7 single family dwellings (attached townhouses or detached) and accessory uses.
2. Height: Buildings and structures constructed upon the subject property shall not exceed 39 feet in height, measured as provided in the Code of the City of Raleigh.

Z-94-98 Boylan Avenue, east side, between Devereux Street and Hinsdale Street, being Wake County Tax Map Parcels 1704 42 2660, 2555, 2551, and 2465. Approximately .5 acre is requested to amend the existing Office & Institution-2 Conditional Use conditions.

Conditions: (10/07/98)

- A. The property being rezoned shall be restricted to the following uses:
1. Office uses as specified in the Schedule of Permitted Uses, Section 10-2071, of the City of Raleigh Development Regulations for O&I-2 zoning districts.
 2. Dwelling units
 3. Schools
 4. Recreational areas accessory to schools
 5. Vehicular access and loading area accessory to schools.
 6. Parking accessory to schools
 7. Parking accessory to dwelling units
 8. Parking accessory to office uses

The maximum residential density shall be that allowed in O&I-1. Use of the site for modular or mobile buildings or telecommunication towers as a primary use or accessory use to a school shall be prohibited. There shall be no provision for hotels, motels, commercial parking facilities or special and related service uses that may otherwise be permitted in O&I districts or allowed by the Board of Adjustment.

B. The addition of any vehicular surface area (including the substitution of new vehicular area for existing vehicular surface area) or building on any land area within the property being rezoned shall require that a Street Protective Yard with a minimum width of fifteen (15) feet be installed along the entire abutting public right of way frontage of the property being rezoned. With the exception of the width requirement already specified in this condition, the installation of the Street Protective Yard shall comply with Section 10-2082, et. seq. of the City of Raleigh Development regulations. Recreational playground equipment, playground structures, loading area screening structures and storage buildings with less than 200 square feet of gross floor area shall be exempted from this condition.

C. All future buildings including single family dwelling units, duplexes and non-residential buildings including offices and schools constructed on the property being rezoned shall conform to the design standards for the Special R-30 district as set forth in Section 10-2072(b) and shall have a required minimum and maximum front yard setback of either 15 feet or within 10% of the median front yard setback established by buildings on the same side of the block face of the proposed building. Recreational playground equipment, playground structures, loading area screening structures and storage buildings with less than 200 square feet of gross floor area shall be exempted from this condition.

Ordinance: 391 ZC 620
Effective: May 6, 2008

GEN-0574
GEN-0578
GEN-0580

1. **Z-12-08/SSP-1-08 – Hinsdale Street**, located on the south side of Hinsdale Street, west of its intersection with Glenwood Avenue, being various Wake County PINs. Approximately 0.92 acre to be rezoned to Residential-30 Conditional Use District with Pedestrian Business Overlay District.

Conditions: April 7, 2008

Streetscape and Parking Plan:

- a) Residential development shall not exceed a maximum of twenty (20) dwelling units.
- b) Uses on the subject property shall be limited to single family detached homes, townhouse developments, residential unit ownership (condominium) developments and duplexes and any accessory uses allowed in R-30 districts, under Section 10-2071 of the City Code;
- c) Buildings constructed on the rezoned Property after the effective date of this rezoning shall not exceed forty feet (40') in height, determined in accordance with City Code Section 10-2076.
- d) All garbage disposal containers used by an individual dwelling unit shall be stored in a closed storage unit or otherwise screened from view of public street rights-of-way by a fence or vegetation of a height which is in excess of the height of the garbage disposal container, except during collection times.
- e) There shall be no parking located between the front of any building and any public right-of-way.
- f) No vehicular access or curb cut shall be permitted from the subject property to Glenwood Avenue. No more than one vehicular access point shall be permitted from the subject property to Boylan Avenue; and no vehicular access point or curb cut shall be permitted from the subject property to Hinsdale Street, unless such access is required by the City of Raleigh, State of North Carolina or local fire or emergency department.
- g) Preliminary site plan approval by Raleigh City Council in accordance with

Z-3-12 – Glenwood Avenue - located on the west side of Glenwood Avenue, north of Wills Forest Street, being Wake County PINs 1704-43-5490 and 1704-43-6321. Approximately 0.6 acres are to be rezoned from Special Residential-30 (SP R-30) to Residential Business Conditional Use District (RB CUD).

Conditions Dated: 03/26/12

Conditional Use District requested: Residential Business Conditional Use

Narrative of conditions being requested:

As used herein, the “Properties” means and refers to all of those certain tracts or parcels of land containing an aggregate of approximately 0.60 acres, located along Glenwood Avenue, north of its intersection with Wills Forest Street, in the City of Raleigh, NC, and having Wake County Parcel Identification Numbers: 1704-43-5490 (Deed Book 14071, Page 2771; 909 Glenwood Avenue) and 1704-43-6321 (Deed Book 14526, Page 2172; 907 Glenwood Avenue) (collectively, “Properties”).

(a) The following principal uses, as listed in Raleigh City Code section 10-2071 “Schedule of Permitted Land Uses in Zoning Districts” shall be the only principal uses permitted on the Properties:

- Agriculture – all
- Recreation:
 - non-governmental, not for profit – all
- Residential – all, except for rooming house, boarding house, lodging house or tourist home
- Institution/Civic/Services:
 - church
 - civic club
 - family child care home
 - library or museum - non-governmental
- Office – all
- Commercial:
 - residential related service

(b) The existing structures located on the Properties shall not be demolished or moved. However, if a structure is damaged or destroyed as a result of the exercise of eminent domain; man-made acts, such as riot, fire, accident, explosion; or flood, lightning, wind or other calamity or natural act, the owner of the property shall not be obligated to restore, rebuild or reconstruct the structure to its previous condition.

(c) The development of any new principal building on the Properties shall conform to the following standards:

1. The maximum building height for the principal building shall be 12 feet higher than any other residential structure located on property residentially

Ordinance No. (2012) 34ZC671
Adopted: 04/03/12 Effective: 04/03/12

- zoned and located within 30 feet of the lot on which the structure is to be located. Notwithstanding this maximum height limitation, any building greater than 40 feet in height shall add one foot of additional width to each required district yard setback for each foot in height over 40 feet, except that any building greater than 40 feet in height located closer than 50 feet to either the lot line of any dwelling, congregare care or congregare care living structure or the boundary line of any residential zoning district shall add two feet of additional width to the required district yard setback adjacent thereto for each foot in height greater than 40 feet.
2. The minimum front yard setback shall be 15 feet and the maximum front yard setback shall be 45 feet.
 3. The minimum side yard setback shall be 5 feet.
 4. No structure shall contain more than 5,000 square feet floor area gross.
 5. Any new vehicular parking areas shall be located behind the front façade of the principal building.
 6. At least one building entrance shall be oriented toward Glenwood Avenue.
 7. Subject to condition (h) below for office uses, the maximum building lot coverage shall not exceed 50%.
 8. The materials, including their direction, dimension, and application, used on the exterior portion of the building shall be the same as those materials used on any two or more existing buildings on those blocks within or fronting along the streets within the areas (i) to the west of Glenwood Avenue, bound by Wills Forest Street, North Boylan Avenue and Devereux Street; and (ii) to the east of Glenwood Avenue, bound by Washington Street, the railroad right-of-way and Devereux Street.
 9. The main roof of any building shall have a minimum rise-to-run pitch of 4 to 12.
- (d) A total of only one sign may be located on the Properties, collectively. No sign on the Properties may be internally illuminated. The maximum dimension of any sign located on the Properties shall be 2.5 feet in height by 6.5 feet in length.
- (e) Any new vehicular parking areas associated with the existing principal buildings shall be located to the rear of the principal building. This condition (e) shall not prohibit the maintenance and improvement of the vehicular parking areas in their current locations existing as of the day of adoption of this zoning ordinance.

Ordinance No. (2012) 34ZC671
Adopted: 04/03/12 Effective: 04/03/12

(f) Direct access to the Properties from Glenwood Avenue shall be limited to one access point This condition (f) shall not limit access to the Properties from Glenwood Avenue via access over 913 Glenwood Avenue (PIN 1704-43-5467; DB 11579, PG 2381) or 905 Glenwood Avenue (PIN 1704-43-6226; DB 5002 PG 383) or Spring Street.

(g) Prior to issuance of a building permit for a new principal building on one of the Properties, the owner of the redeveloping Property shall record In the Wake County Registry a specific offer of vehicular cross- access over and upon the redeveloping Property in favor of the other Property.

(h) Any office use on the Properties is subject to a maximum building lot coverage of 30%. Building lot coverage is the amount of net lot area or land surface area, expressed in terms of a percentage, that is covered by all principal buildings, including: (i) overhangs or cantilevered portions of the building (other than roof overhangs), such as bay windows; (ii) roofs or canopies covering areas where a principal use is conducted, such as a gasoline pump island canopy or display area; (iii) enclosed breezeways or walkways; and (iv) decks, balconies more than 3.5 feet high. Building lot coverage shall exclude roof overhangs; unenclosed walkways or stairs; unenclosed stoops, decks, patios, balconies less than 3.5 feet high; vehicular surface areas and parking structures; uncovered paved areas; and accessory uses and structures, such as signs, decorative items and lighting.

(i) Any office use on the Properties is subject to a maximum floor area ratio of 1.0. Floor area ratio is the numerical value obtained by dividing the floor area gross of the building by the net lot area. Floor area gross is the sum in square feet of the gross horizontal areas of all floors of the building measured from the exterior walls. The floor area gross of a building shall include basement floor area when more than one-half of the basement height is above the established curb level or above the finished lot grade where the curb level has not been established. Elevator shafts, stairwells, floor space used for mechanical equipment, attics, balconies and mezzanines, enclosed porches, and floor area devoted to accessory uses shall be included in the calculation of floor area gross. However, the following shall not be included in the floor area gross: any space devoted exclusively to off-street parking; outdoor loading, display, utility service areas; mechanical equipment and uninhabited enclosed space on top of roofs; attic space having head room of less than seven feet, ten inches (7' 10").