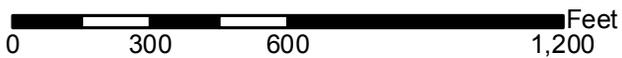
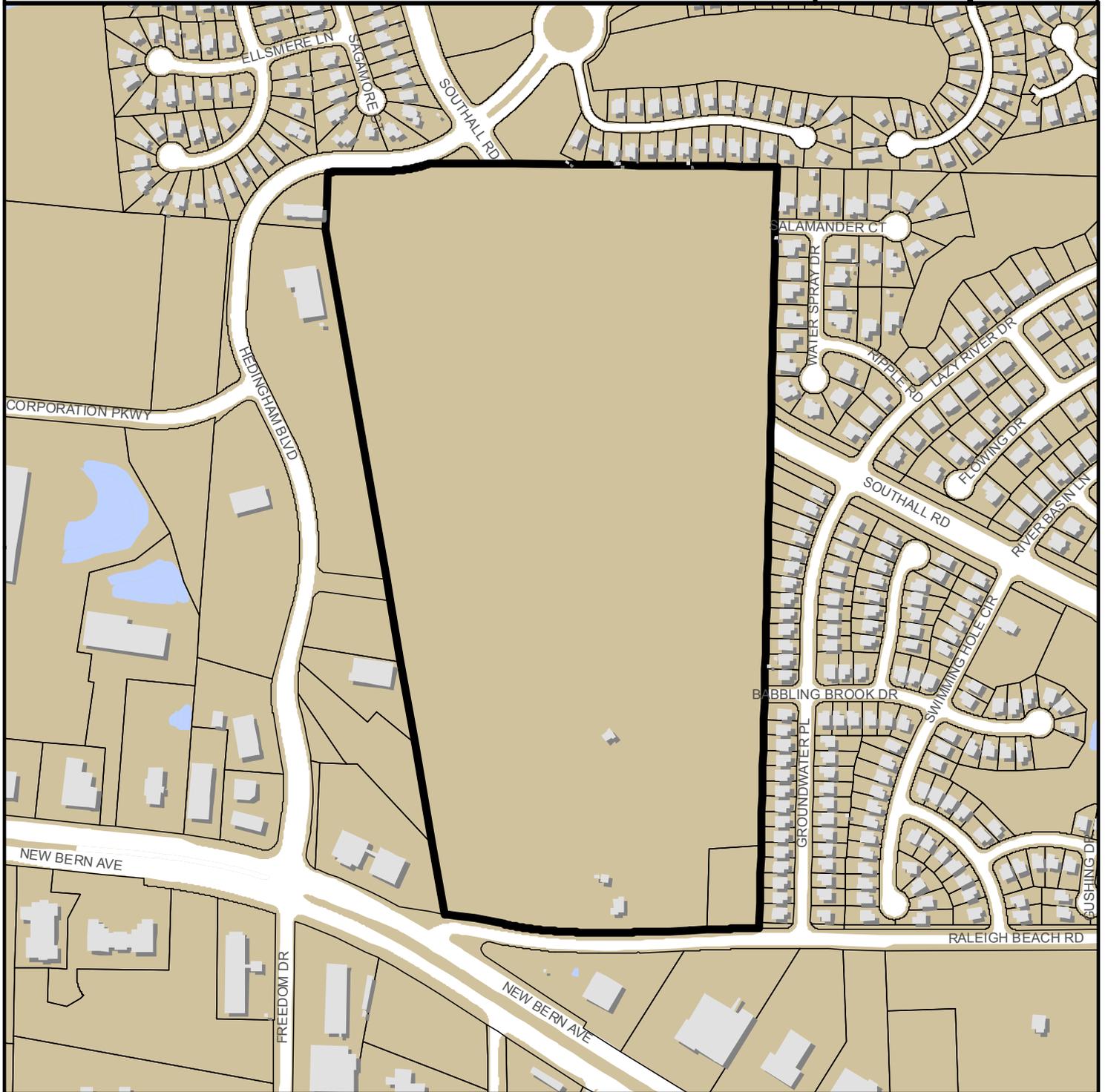


RALEIGH BEACH ROAD SUBDIVISION S-59-2014



Zoning: **RX-3-CU**
CAC: **Northeast**
Drainage Basin: **Crabtree Basin**
Acreage: **58.27**
Number of Lots: **3**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**
Applicant: **Raleigh Beach Road**
Phone: **(919) 796-4425**





Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 Fax 919-516-2685

Preliminary Development Plan Application

When submitting plans, please check appropriate review type and include the Plan Checklist document.

Preliminary Approvals		FOR OFFICE USE ONLY
<input type="checkbox"/> Site Plans for Planning Commission <input type="checkbox"/> Preliminary Administrative Site Plans <input type="checkbox"/> Group Housing ** <input type="checkbox"/> Multifamily (Infill)**	<input checked="" type="checkbox"/> Subdivision* <input type="checkbox"/> Cluster Subdivision** <input type="checkbox"/> Infill Subdivision** <input type="checkbox"/> Expedited Subdivision Review <input type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Compact Development <input type="checkbox"/> Conservation Subdivision	Transaction Number 417597 Assigned Project Coordinator <i>[Signature]</i> Assigned Team Leader <i>[Signature]</i> S.59-14
* May require Planning Commission or City Council Approval ** Legacy Districts Only		

Has your project previously been through the Due Diligence process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: Raleigh Beach Road Subdivision

Proposed Use: Residential

Property Address(es): 4805 and 4901 Raleigh Beach Road, Raleigh, NC 27610

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. Recorded Deed 1734-26-1556	P.I.N. Recorded Deed 1734-25-8509	P.I.N. Recorded Deed	P.I.N. Recorded Deed
--------------------------------------	--------------------------------------	----------------------	----------------------

What is your project type? Apartment Banks Elderly Facilities Hospitals Hotels/Motels Industrial Building
 Mixed Residential Non-Residential Condo Office Religious Institutions Residential Condo Retail School Shopping Center
 Single Family Telecommunication Tower Townhouse Other: If other, please describe: Subdivision

PRELIMINARY ADMINISTRATIVE REVIEW
 Per City Code Section 10-2132.2, summarize the reason(s) this plan can be reviewed administratively not requiring Planning Commission or City Council approval.
 We are not aware of any reason that this plan cannot receive preliminary approval.

PLANNING COMMISSION
 Per City Code Section 10-2132.2, summarize the reason(s) this plan requires Planning Commission or City Council Preliminary Approval. N/A

CLIENT (Owner or Developer)

Company: Raleigh Beach Road WEH, LP	Name (s): Mike Howington
Address: 56 Hunter Street, Suite 230, Apex, North Carolina 27502	
Phone: 919-796-4425	Email: mhowington@hallecompanies.com
	Fax: N/A

CONSULTANT (Contact Person for Plans)

Company: JDavis Architects	Name (s): Ken Thompson
Address: 510 Glenwood Ave, Suite 201, Raleigh, North Carolina 27603	
Phone: 919-835-1500	Email: kent@jdavisarchitects.com
	Fax: 919-835-1510

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s): RX-3-CU	Proposed building use(s): N/A
If more than one district, provide the acreage of each: N/A	Existing Building(s) sq. ft. gross: 0 SF
Overlay District: N/A	Proposed Building(s) sq. ft. gross: 0 SF
Total Site Acres: 58.27 Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed): 0 SF
Off street parking Required: N/A Provided: N/A	Proposed height of building(s): N/A
COA (Certificate of Appropriateness) case #: N/A	FAR (floor area ratio percentage): N/A
BOA (Board of Adjustment) case: N/A	Building Lot Coverage percentage: N/A (site plans only)
CUD (Conditional Use District) case # Z-6-2014	

Stormwater Information	
Existing Impervious Surface: 0 acres/0 square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 0 acres/0 square feet	If Yes, please provide
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #

CONFORMITY WITH THE COMPREHENSIVE PLAN (Applicable to all developments)

Provide a description of how your plan conforms to the guidelines of the Comprehensive Plan 2030.

The subject property is designated for "Community Mixed Use" in the Future Land Use Map. The proposed subdivision does not create any conflict with that guideline.

FOR SUBDIVISION, APARTMENT, TOWNHOUSE, CONDOMINIUM PROJECTS ONLY

1. Total # Of Townhouse Lots: N/A Detached: N/A Attached: N/A	11. Total number of all lots: 3
2. Total # Of Single Family Lots: N/A	12. Is your project a cluster unit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
3. Total # Of Apartment Or Condominium Units: N/A	If Yes, please answer the questions below:
4. Total # Of Congregate Care Or Life Care Dwelling Units: N/A	a) Total number of Townhouse Lots
5. Total # Of Mobile Home Lots: N/A	b) Total number of Single Family Lots
6. Total Number of Hotel Units: N/A	c) Total number of Group Housing Units
7. Overall Total # Of Dwelling Units (1-6 Above): N/A	d) Total number of Open Space Lots
8. Bedroom Units 1br: N/A 2br: N/A 3br: N/A 4br or more: N/A	e) Minimum Lot Size
9. Overall Unit(s)/Acre Densities Per Zoning District(s): N/A	f) Total Number of Phases
10. Total number of Open Space (only) lots: N/A	g) Perimeter Protective Yard Provided <input type="checkbox"/> Yes <input type="checkbox"/> No
	h) Must provide open space quotient per City Code 10-3071 (5)

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the City.

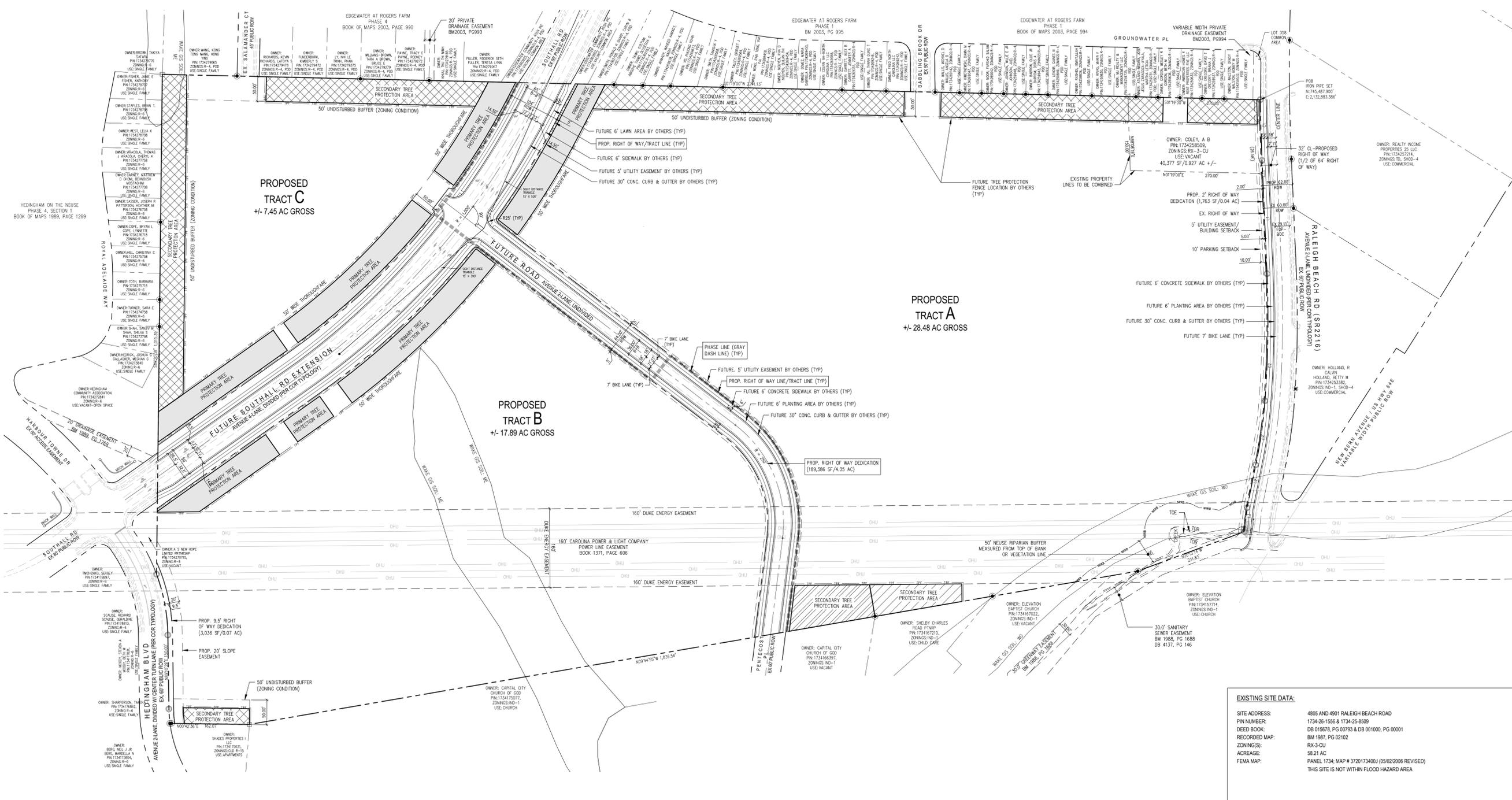
I hereby designate Kenneth D. Thompson / JDavis Architects to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed _____ Date 12-10-14
 Signed _____ Date _____

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY				
	YES	N/A	YES	NO	N/A
General Requirements					
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to: City of Raleigh (No fee for Infill recombination)	<input checked="" type="checkbox"/>		✓		
2. Preliminary Development Plan Application completed and signed by the property owner	<input checked="" type="checkbox"/>		✓		
3. Client must complete and print page 1 and 2 of the Preliminary Development Plan Application to the plan cover sheet (not applicable for infill recombination)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
4. I have referenced the Preliminary Development Plan Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>		✓		
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
c) Proposed Site or Subdivision Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading and Stormwater Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
e) Proposed Utility Plan, including Fire	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
f) Proposed Tree Conservation Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Landscaping Plan (Landscape Plan not required for commercial subdivisions)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
h) Building elevations that show maximum height from natural and finished grade, buildings to be removed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
i) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	✓		✓
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals only – include all revision dates</u>	<input checked="" type="checkbox"/>		✓		
7. Plan size 18"x24" or 24"x36"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the subdivision with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD with the plan name, case file number, and indicate how many times the plan has been resubmitted for review	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
12. Preliminary stormwater quantity and quality summary and calculations package	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
13. For secondary tree conservation areas, include two (2) copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina registered forester	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		

1/22/2015 10:15 AM P:\Users\131\3085-RALEIGH BEACH ROAD\DWG\13085-SP13.dwg



HEDINGHAM ON THE NEUSE
PHASE 4, SECTION 1
BOOK OF MAPS 2003, PAGE 1269

PROPOSED
TRACT C
+/- 7.45 AC GROSS

PROPOSED
TRACT A
+/- 28.48 AC GROSS

PROPOSED
TRACT B
+/- 17.89 AC GROSS

TREE CONSERVATION AREA LEGEND:

	PRIMARY TREE CONSERVATION AREA - 50' WIDE THOROUGHFARE YARD
	30' - WIDE SECONDARY TREE CONSERVATION AREA REQUIRED BY Z-6-14
	ALTERNATE COMPLIANCE SECONDARY TREE CONSERVATION AREA - 65' PERIMETER YARD
	ALTERNATE COMPLIANCE SECONDARY TREE CONSERVATION AREA - 32' PERIMETER YARD

City of Raleigh Zoning Requirements
Project: Raleigh Beach Subdivision
Date: 12.12.2014 (revised 01.22.2015)

Overall Site Data	
Zoning	RX-3 CU & R-4
Tract area	
parcel 1734-26-1556	57.27 AC
parcel 1734-25-8509	0.93 AC
Gross tract area	58.21 AC
less R/W dedication	4.46 AC
Net tract area	53.75 AC
Proposed lots	
Tract A	28.48 AC
Tract B	17.89 AC
Tract C	7.45 AC
R/W dedication	4.46 AC
Gross tract area	58.28 AC
Required Tree Conservation Area	
Net tract area	53.75 AC
10% requirement	10%
Total Required	5.38 AC
TCA provided	5.54 AC

EXISTING SITE DATA:

SITE ADDRESS:	4805 AND 4901 RALEIGH BEACH ROAD
PIN NUMBER:	1734-26-1556 & 1734-25-8509
DEED BOOK:	DB 015678, PG 00793 & DB 001000, PG 00001
RECORDED MAP:	BM 1987, PG 02102
ZONING(S):	RX-3 CU
ACREAGE:	58.21 AC
FEMA MAP:	PANEL 1734 MAP # 3720173400J (05/02/2006 REVISED)

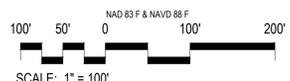
THIS SITE IS NOT WITHIN FLOOD HAZARD AREA

GENERAL NOTES:

- ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY MSS LAND CONSULTANTS, PC IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN OCTOBER, 2014, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN MARCH, 2014.

S-59-14
REFERENCES: Z-6-14 & SR-XX-14

SUBDIVISION PLAN



JDAVIS ARCHITECTS
S-59-14
TRANSACTION NO: 417597 (Prelim. Subdivision)

Raleigh Beach Road WEH, LP
Raleigh Beach Road Subdivision
4805 Raleigh Beach Road
Raleigh, North Carolina 27610

PRELIMINARY

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

PROJECT:	ISSUE:	DATE
HALLE-13085		12.12.2014
Prelim. Subdivision Plan		12.12.2014
REVISIONS:	1st Review Comments	01.23.2015
DRAWN BY:	KT, SB	
CHECKED BY:	KT	
CONTENT:	SUBDIVISION PLAN	

L2.1

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