

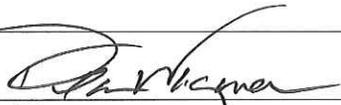


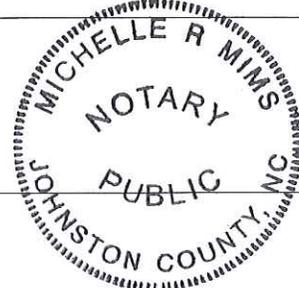
# Planning & Development

**Development Services Customer Service Center**  
 One Exchange Plaza, Suite 400  
 Raleigh, North Carolina 27601  
 Phone 919-996-2495  
 Fax 919-516-2685

## Administrative Alternate

Administrative Alternate Request	OFFICE USE ONLY
Section(s) of UDO affected: <b>1.5.9 Transparency</b> <b>3.2.6 Mixed Use Building</b>  Provide an explanation of the alternate requested, along with an applicant's statement of the findings <b>See attached documents</b>  <hr/> Provide all associated case plan numbers including zoning and site plan: <b>Z-1-2015</b>	Transaction Number

GENERAL INFORMATION		
<b>Property Address</b> 223 S West , 410 W Martin, 218 S Harrington, 403 W Hargett, 406 W Hargett, 126 S Harrington, 210 S Harrington, 401 W Hargett		<b>Date</b> 12/3/15
<b>Property PIN</b> 1703580296,1703581503,1703581004,1703581586,1703581165,1703582309,1703581357,1703582304	<b>Current Zoning</b> DX-20-SH-CU	
<b>Nearest Intersection</b> West St and Martin St		<b>Property size (in acres)</b> 2.52 ac
<b>Property Owner</b> Dillon Supply Co	<b>Phone</b> 919-838-4200	<b>Mail</b> 440 Civic Boulevard Raleigh, NC 27610
	<b>Email</b> ahicks@dillonsupply.com	
<b>Project Contact Person</b> Greg Kuruc	<b>Phone</b> 919-719-5438	<b>Mail</b> 4321 Lassiter At North Hills Ave, Suite 250, Raleigh, NC 27609
	<b>Email</b> gkuruc@kanerealtycorp.com	
<b>Property Owner Signature</b> 	<b>Email</b> ahicks@dillonsupply.com	
<b>Notary</b>  Sworn and subscribed before me this <u>2<sup>ND</sup></u> day of <u>December</u> , 20 <u>15</u>	<b>Notary Signature and Seal</b>	





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## Administrative Alternate Checklist

TO BE COMPLETED BY APPLICANT	YES	N/A
<b>ADMINISTRATIVE ALTERNATE REQUIREMENTS</b>		
1. The property owner must be the applicant.	X	
2. An application, signed by the property owner and notarized to that effect, is required.	X	
3. The applicant must submit stamped envelopes addressed to the property owners within 100 feet of the subject property as indicated in Chapter 10.2 of the Unified Development Ordinance. City staff will mail the public hearing notices.	X	
4. The applicant shall submit pertinent material necessary for review of the alternate; in addition to the submittal material required for a subdivision, plot plan or site plan. This may include architectural renderings, materials samples or other project-specific information.	X	

## **Administrative Alternate – Transparency Sec 1.5.9**

### Summary

The transparency requirement within the Mixed Use DX district on the ground story is 66% between 0' and 12' above the adjacent sidewalk. More than 50% of the required transparency must be located between 3' and 8' feet of the building façade. A minimum of 60% of street level window pane surface area must allow view into the ground story use for a depth of at least 8'. The transparency solution proposed does not meet the 66% requirement in the areas where the existing wall is being preserved along Harrington, West and Martin Streets. The transparency percentage based on the included diagrams when combined with the connected residential building to the north yields 25% along Harrington Street and 58% along West Street. The existing Martin Street wall has no openings that contribute to the transparency requirement, however, through new masonry openings along the length of the historic wall being preserved, 39% of the wall is being made transparent. Finally, the north elevation of the south block is 63% transparent.

The residential building north of Hargett Street is 68% transparent on the south, 35% transparent on the east and 50% transparent on the west.

The elevations do not meet the requirement for 50% of the required transparency to fall between 3' and 8' per Sec 1.5.9.B.1; however, the position of the transparency meets the intent of this condition (see diagrams).

The proposed design does meet the intent of Section 1.5.9 by creating visual street interest while still maintaining the character and authenticity of the existing masonry wall. Additionally, section 7.2.5 (Screening) requires the screening of back of house service and loading docks from the public street right of way. The current design mediates between the required screening needed for service functions that must be on the exterior face of the building, and activating the pedestrian zone with ample storefront and visual interest. The project meets the applicable requirements for Upper Story and Blank wall area conditions for Transparency.

### **Administrative Alternate Findings**

The Planning and Development Officer may in accordance with Sec. 10.2.17. reduce the required transparency subject to the following findings:

- 1. The approved alternate meets the intent of the transparency requirements**
  - a. The approved zoning conditions require the project to integrate the existing historic brick wall along Martin Street into the building design. Currently, the existing wall has no street level

openings, providing no pedestrian activity or identifiable entrances. The proposed building design provides six large, evenly spaced, storefront openings along Martin Street, including the required plaza space at the corner of Martin and West Streets. There are two proposed street facing entrances on Martin: one across from CAM at the corner of Harrington and Martin and the other across from Union Station at the corner of Martin and West. These conditions, along with the sidewalk width increase, are intended to lend visual interest to street facing building facades for both pedestrians and building occupants and minimize blank wall areas. The sections of preserved wall along West and Harrington preserve the existing large openings once used for access by the freight trains that would load and unload in the building.

- b. The proposed new elevations compliment the aesthetic quality and authenticity of the warehouse district by creating punched openings in masonry walls. The proposed elevations create active storefront along every block, consolidate service areas to limited lengths of the elevations and preserve the character of the existing masonry Dillon Supply Co. Building.

**2. The approved alternate conforms with the Comprehensive Plan and adopted City plans.**

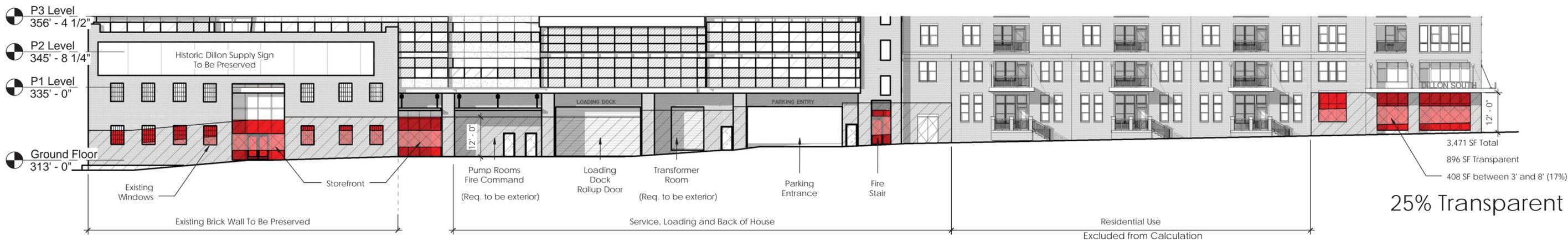
- a. We have included a select grouping of examples from the Comprehensive Plan policies that the new development conforms to:
  - i. Policy AP-DWG 4 "Historic Preservation" states "Historically significant and contributing structures should be preserved and renovated wherever feasible and not in conflict with other major plan goals. New construction should use the existing architectural and historic character within the area as a guide." The proposed development complies with this policy by retaining the warehouse building façade while balancing new storefront openings to maintain an active street presence.
  - ii. Policy DT 2.8 "Priority Pedestrian Streets" states "For all public/private sector design and traffic engineering / operations decisions made for Priority Pedestrian Streets shown on Map DT-4, the needs, safety, and comfort of pedestrians should be given priority." Martin Street is a priority pedestrian street. The proposed development complies with this policy, even with the requested alternate, by providing a high level of transparency and pedestrian-level interest.

- iii. Policy DT 7.4 “Building Entries” states “The main entrance of new buildings should front onto a public street. Where buildings abut multiple streets and one of which is an axial street, the main entrance of the building should front onto the axial street. This policy also applies, where practicable, to existing buildings undergoing major renovations or rehabilitation.” The proposed development complies with this policy by locating main entrances along Martin Street. Also, this policy recognizes that primary building entrances may be constrained when an existing building is being renovated/rehabilitated by stating that entrances should comply with the policy “where practicable”. Based on the project retaining the warehouse building façade along Martin Street, it is not practicable to meet the 66% and still retain the integrity and authenticity of the existing masonry wall.

**3. The street facing building façade utilizes other architectural treatments to create visual interest to offset the reduction in transparency**

- a. The Dillon project is in a unique position to be able to preserve a significant portion of the existing masonry façade; from its oversized locomotive doors to the iconic Dillon Supply sign along Harrington. The current zoning conditions require the preservation of 95’ of the wall along Harrington and the entire southern façade along Martin Street. The current design also preserves a portion of the wall along West street as well. Currently there are no street level openings along Martin Street. The proposed building design provides six large, evenly spaced, storefront openings along Martin Street, including the required plaza space at the corner of Martin and West Streets. There are two proposed street facing entrances on Martin: one across from CAM at the corner of Harrington and Martin and the other across from Union Station at the corner of Martin and West.
- b. The residential project to the north takes visual cues from existing warehouse as well. The texture and scale of the new brick provides a base for active storefront openings along all elevations. On the south side of Martin Street, CAM provides an excellent example of the balance between masonry walls and glass storefront that peers into an active and vibrant space. A portion of residential units on the ground level along Harrington is exempt from the transparency calculations due to the residential use of the space.

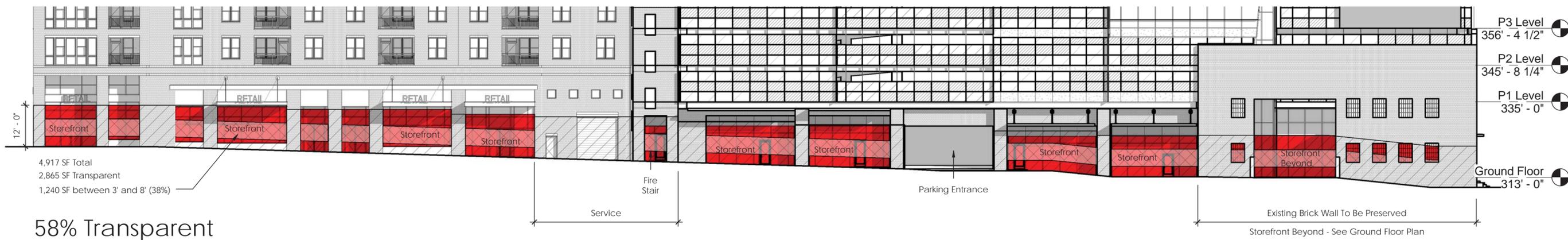
# EAST ELEVATION - HARRINGTON STREET

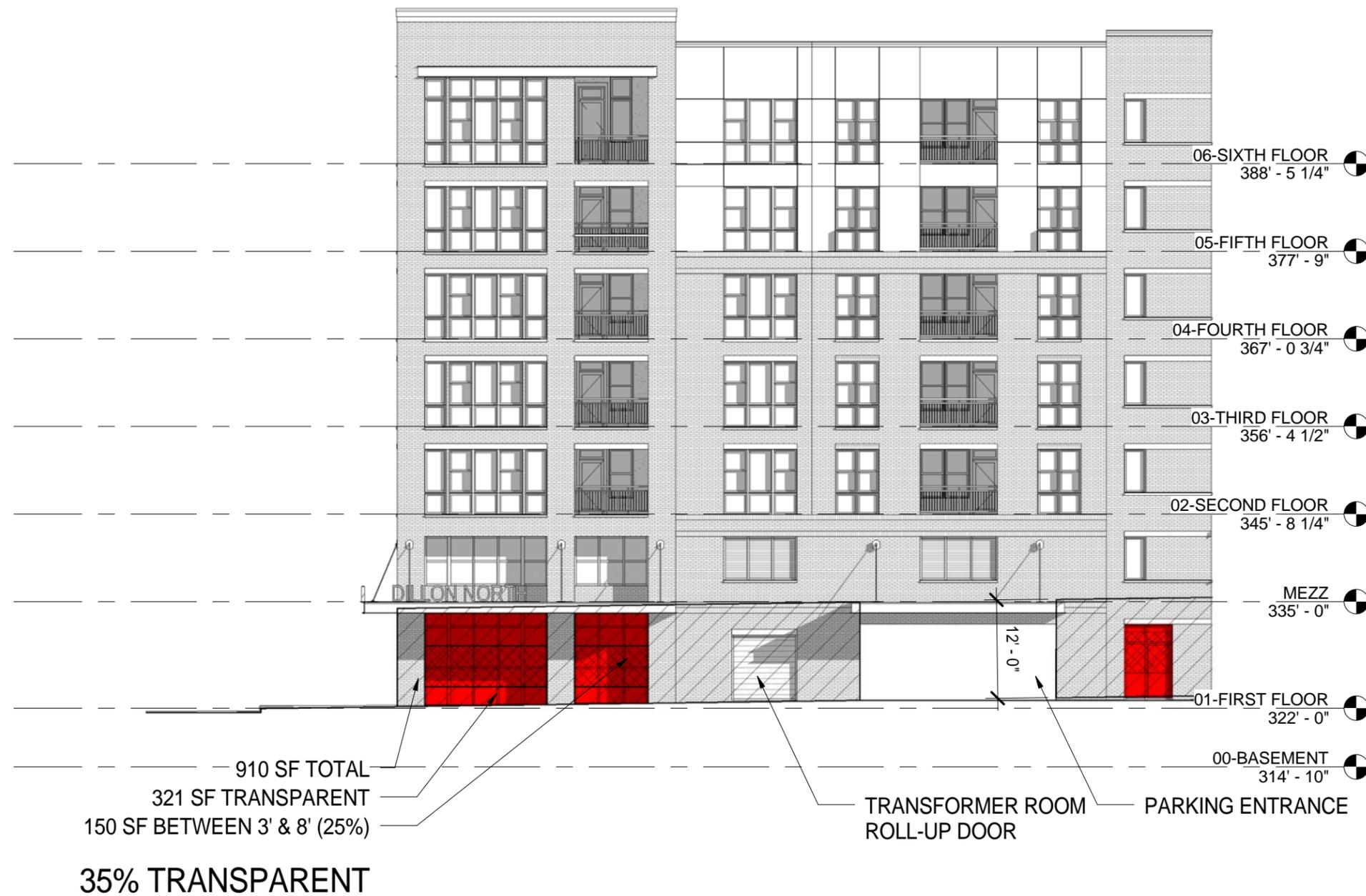


# SOUTH ELEVATION - MARTIN STREET



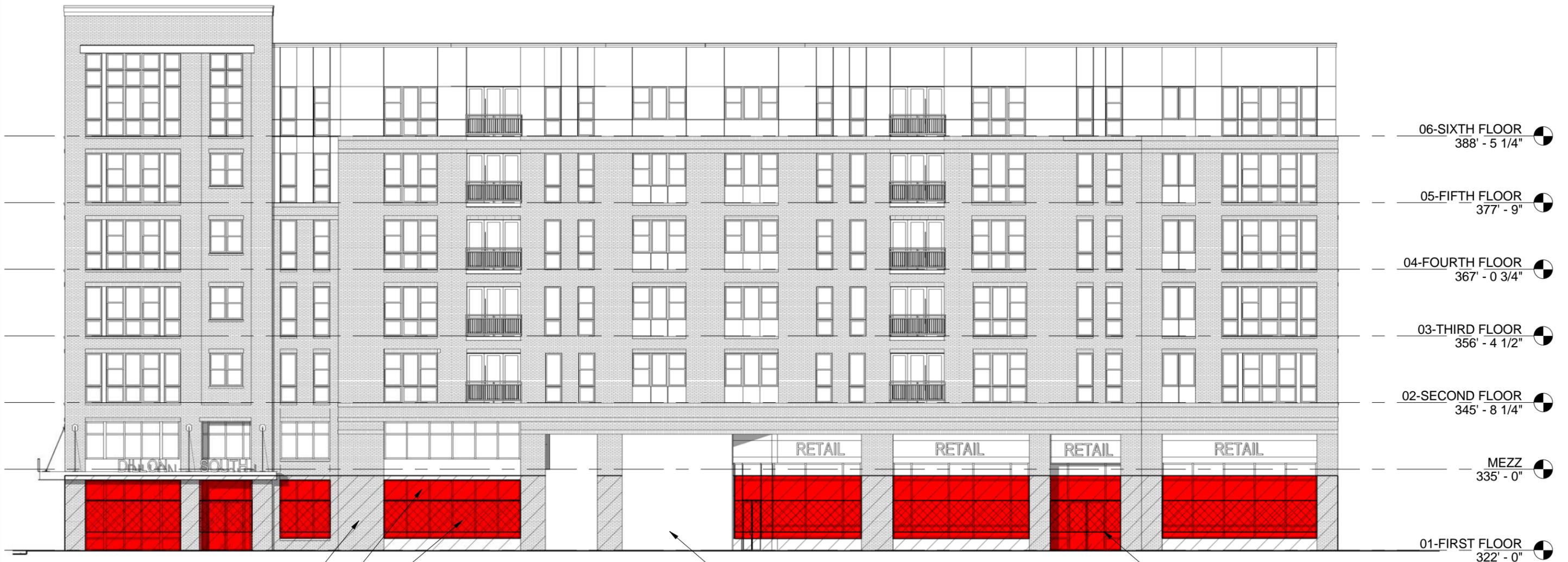
# WEST ELEVATION - WEST STREET





# EAST ELEVATION TRANSPARENCY - NORTH BLDG

12/11/2015



2144 SF TOTAL  
1360 SF TRANSPARENT  
663 SF BETWEEN 3' & 8' (51%)  
63% TRANSPARENT

COVERED PUBLIC PLAZA

STOREFRONT

# NORTH ELEVATION TRANSPARENCY

12/11/2015

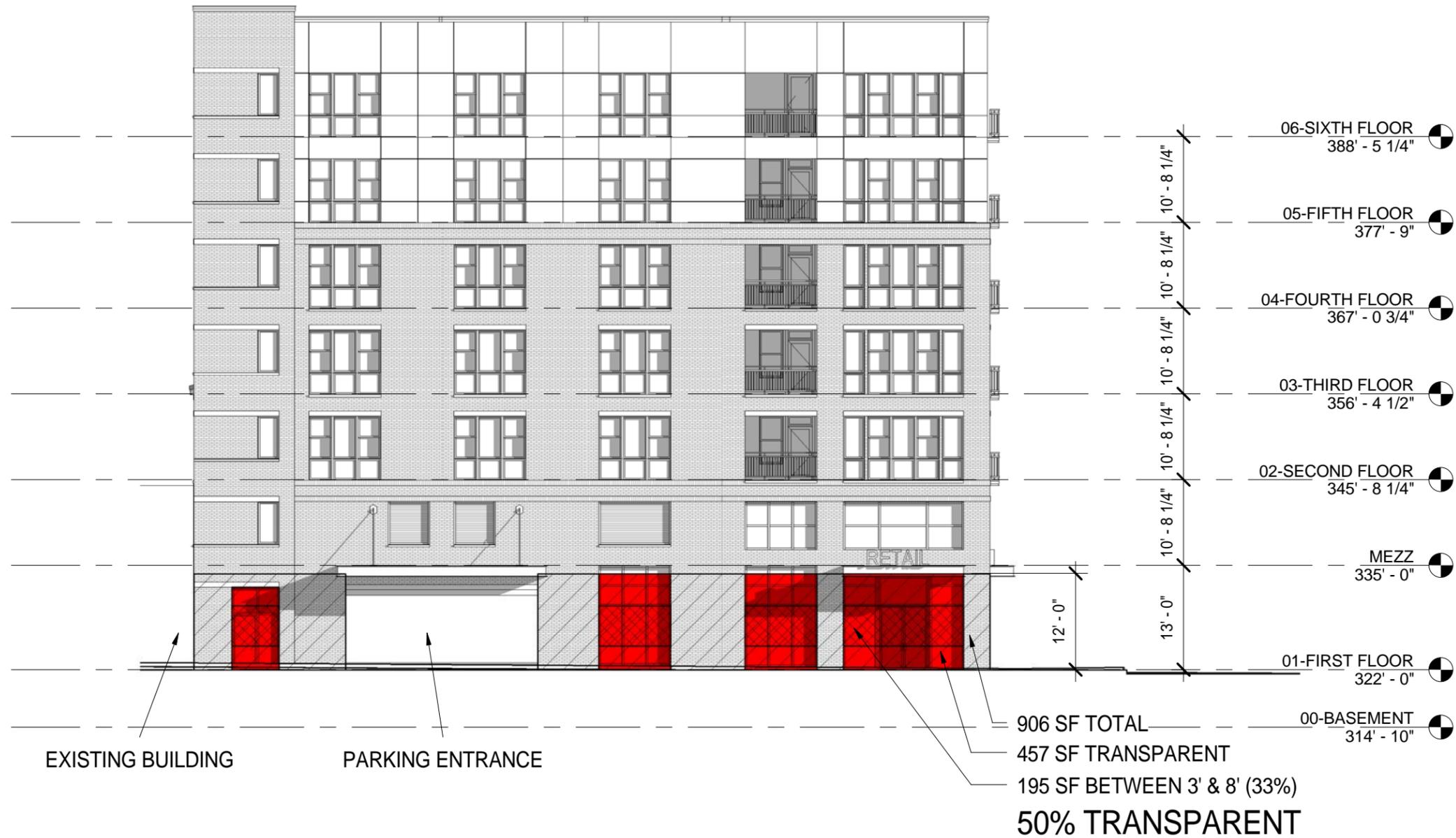


STOREFRONT

2458 SF TOTAL  
 1664 SF TRANSPARENT  
 787 SF BETWEEN 3' TO 8' (49%)  
 68% TRANSPARENT

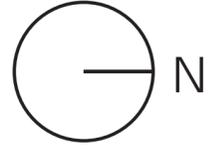
# SOUTH ELEVATION TRANSPARENCY

12/11/2015



# WEST ELEVATION TRANSPARENCY - NORTH BUILDING

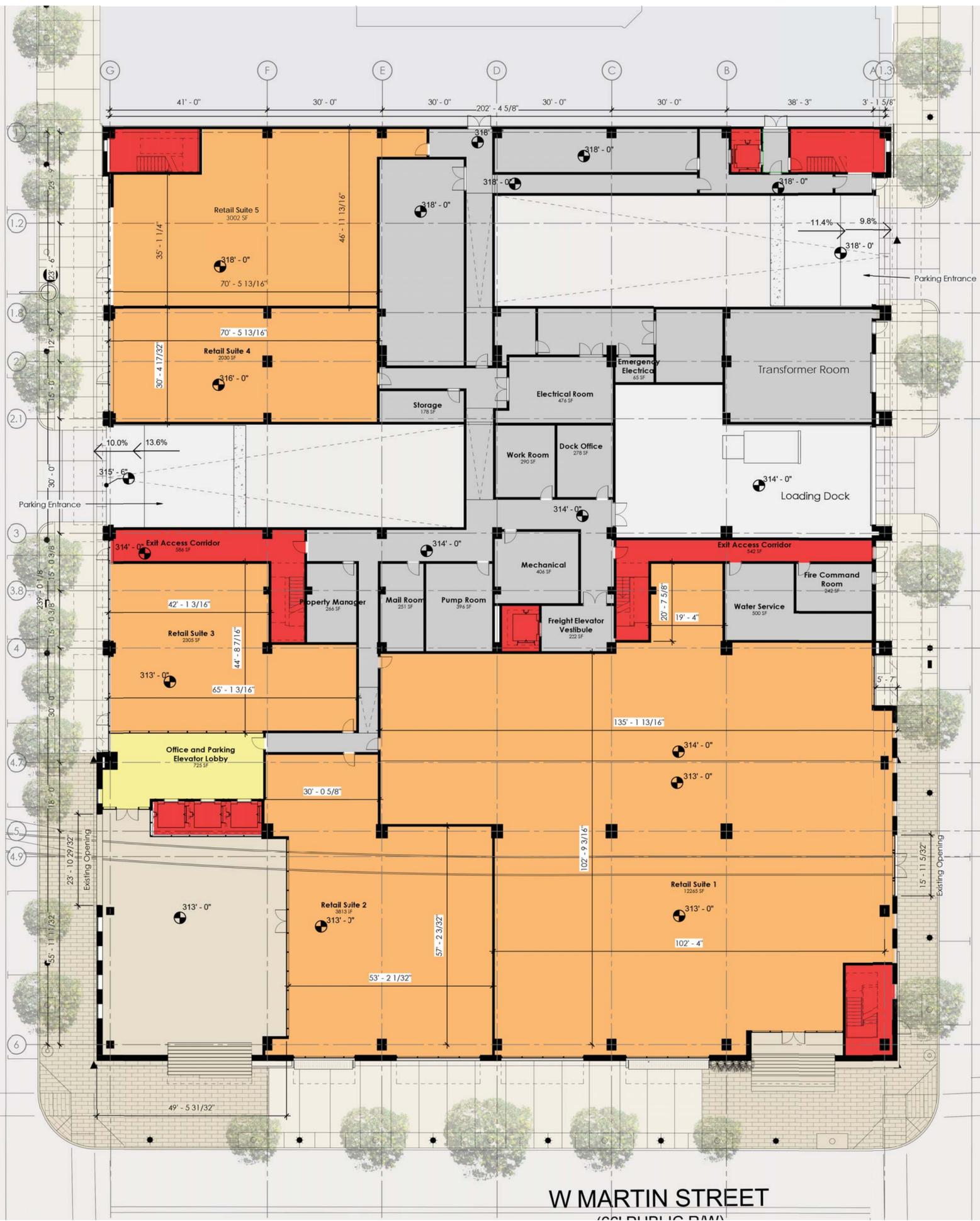
12/11/2015



UNION STATION

S WEST STRE  
(66' PUBLIC R/W)

S HARRINGT  
(66' PUBLI



W MARTIN STREET  
(66' PUBLIC R/W)

