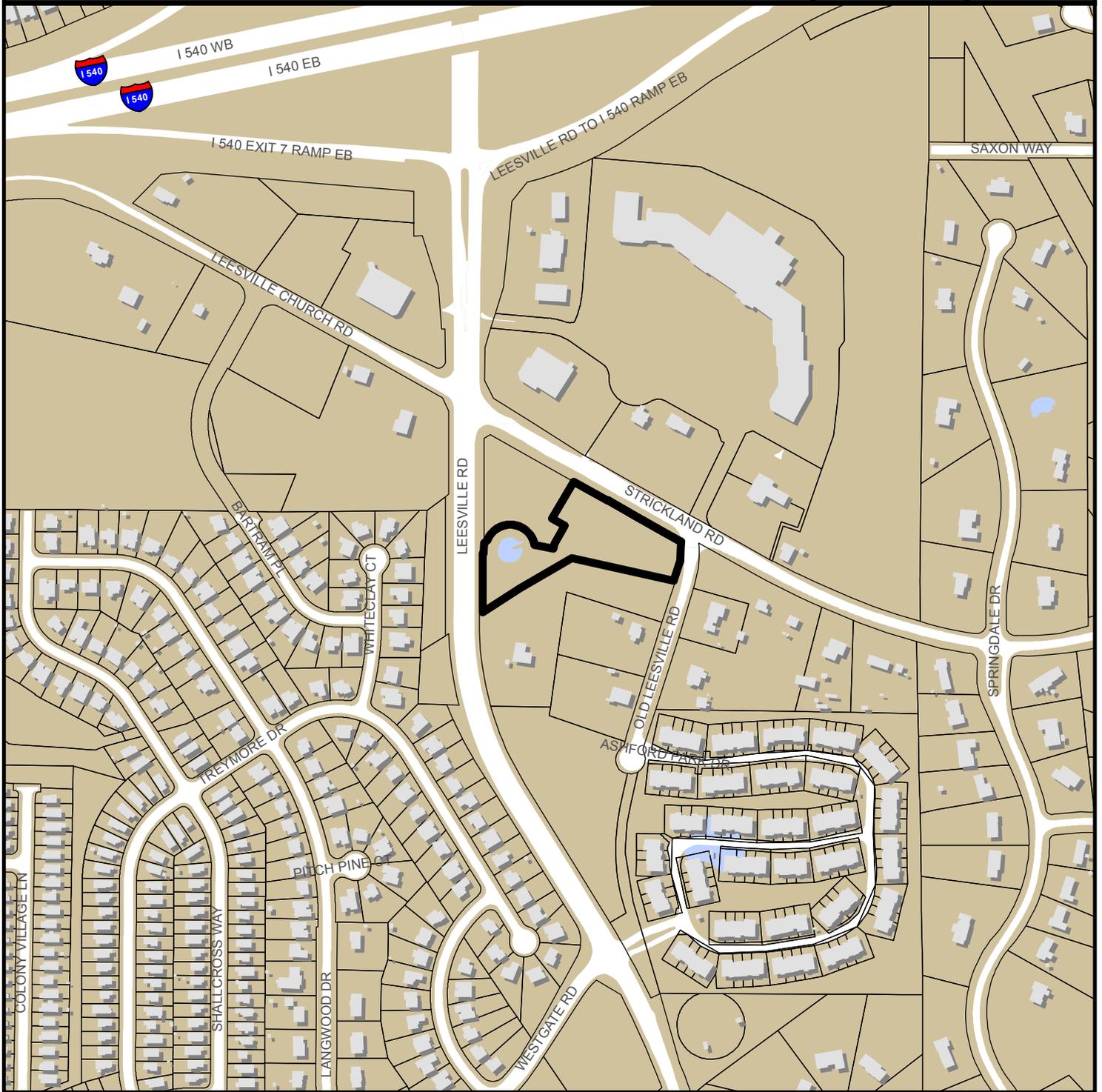


# STRICKLAND ROAD MEDICAL OFFICE BUILDING SR-70-2016



0 300 600 1,200 Feet

Zoning: **CX-5-CU**  
CAC: **Northwest**

Drainage Basin: **Sycamore**  
Acreage: **2.25**  
Sq. Ft.: **12,000**

Planner: **Justin Rametta**  
Phone: **(919) 996-2665**

Applicant: **East-West Partners**



# Administrative Site Review Application (for UDO Districts only)



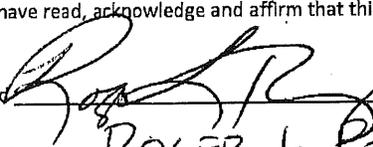
**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

SR-70-16

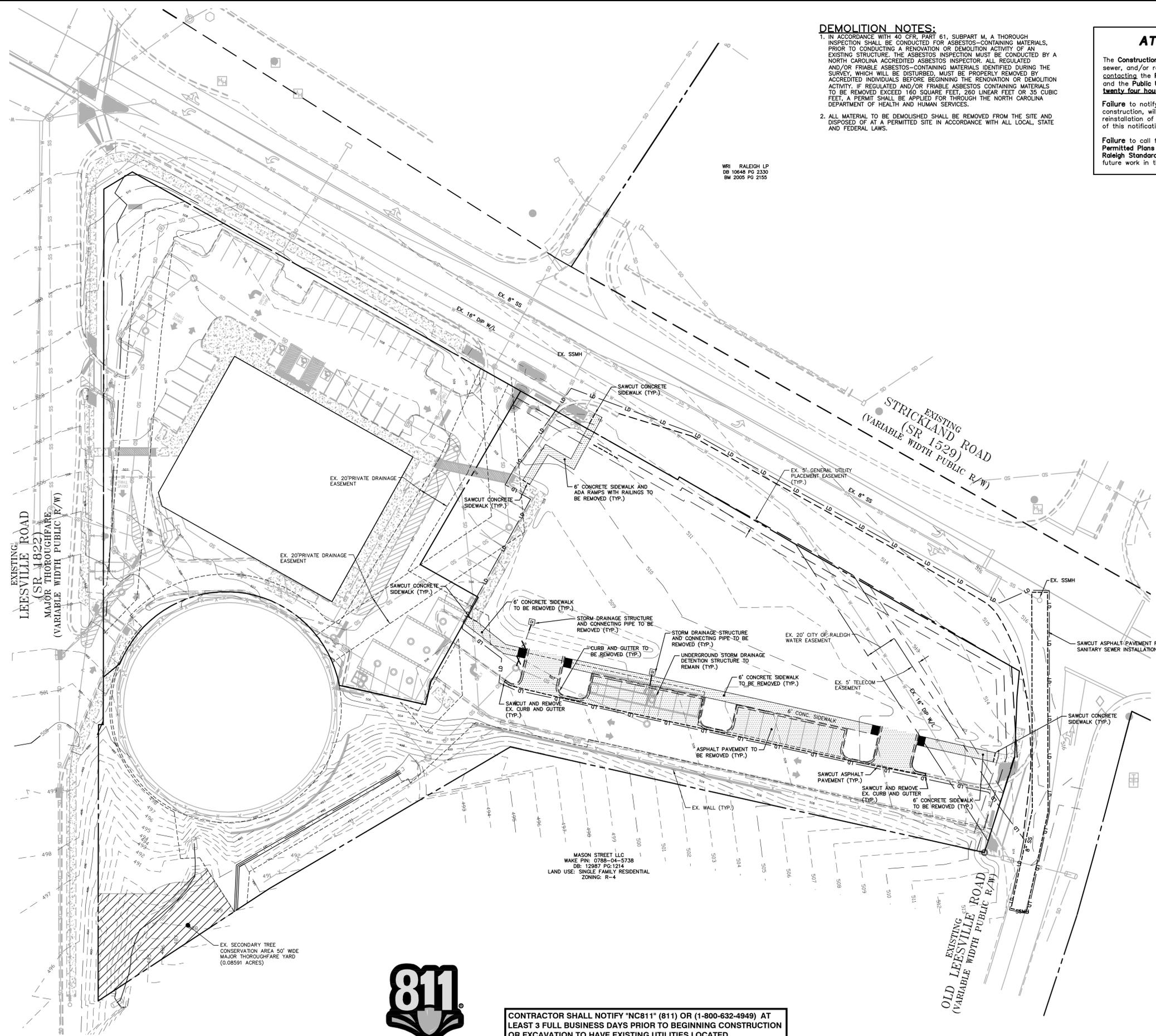
When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number <span style="font-size: 1.5em; font-family: cursive;">486588</span> Assigned Project Coordinator  <span style="font-family: cursive;">Shanku</span> Assigned Team Leader <span style="font-family: cursive;">Don Carrelto</span>
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #		
GENERAL INFORMATION		
Development Name <b>Strickland Road Medical Office Building</b>		
Zoning District <b>CX-5-CU</b>	Overlay District (if applicable) <b>N/A</b>	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use <b>Medical Office Building</b>		
Property Address(es) <b>13271 Strickland Road</b>		Major Street Locator: <b>Strickland Rd/Old Leesville Road</b>
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:		
P.I.N. <b>0788057170</b>	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input checked="" type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input checked="" type="checkbox"/> Other: If other, please describe: <u>Medical Office Building</u>		
<b>WORK SCOPE</b>	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  The work proposed with this site will include the development of a medical office building including parking, storm drainage system, utility services and the necessary grading to allow for the proposed facility.	
<b>DESIGN ADJUSTMENT OR ADMIN ALTERNATE</b>	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE	
<b>CLIENT/DEVELOPER/ OWNER</b>	Company <b>East-West Partners</b>	Name (s) <b>Lee Perry</b>
	Address <b>1450 Environ Way, Chapel Hill, NC</b>	
	Phone <b>919-929-0660</b>	Email <b>lperry@ewp-nc.com</b> Fax <b>919-967-0959</b>
<b>CONSULTANT (Contact Person for Plans)</b>	Company <b>McAdams Company</b>	Name (s) <b>Andy Padiak</b>
	Address <b>2905 Meridian Parkway, Durham, NC</b>	
	Phone <b>919-361-5000</b>	Email <b>padiak@mcadamsco.com</b> Fax

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) <b>CX-5-CU</b>	Proposed building use(s) <b>Medical Office</b>
If more than one district, provide the acreage of each: <b>N/A</b>	Existing Building(s) sq. ft. gross <b>N/A</b>
Overlay District <b>N/A</b>	Proposed Building(s) sq. ft. gross <b>12,000</b>
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <b>2.25 AC</b>	Total sq. ft. gross (existing & proposed) <b>12,000</b>
Off street parking: Required <b>40</b> Provided <b>47</b>	Proposed height of building(s) <b>25'-0"</b>
COA (Certificate of Appropriateness) case # <b>N/A</b>	# of stories <b>1</b>
BOA (Board of Adjustment) case # A- <b>N/A</b>	Ceiling height of 1 <sup>st</sup> Floor <b>10'-0" min</b>
CUD (Conditional Use District) case # Z- <b>N/A</b>	
Stormwater Information	
Existing Impervious Surface <b>0.48</b> acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface <b>0.63</b> acres/square feet	If Yes, please provide: Alluvial Soils _____ Flood Study _____ FEMA Map Panel # _____
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units <b>N/A</b>	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units <b>N/A</b>	6. Infill Development 2.2.7
3. Total Number of Hotel Units <b>N/A</b>	7. Open Space (only) or Amenity <b>N/A</b>
4. Overall Total # Of Dwelling Units (1-6 Above) <b>N/A</b>	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate <b>Andy Padiak, PE</b> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed 	Date <b>9/2/16</b>
Printed Name <b>ROGER L. PERRY</b>	
Signed _____	Date _____
Printed Name _____	

General Requirements	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input checked="" type="checkbox"/>				<input checked="" type="checkbox"/>
2. Administrative Site Review Application completed and signed by the property owner(s)	<input checked="" type="checkbox"/>		✓		
3. Client must complete and adhere page 1 and 2 of the Administrative Site Review Application to the plan cover sheet	<input checked="" type="checkbox"/>		✓		
4. I have referenced the Administrative Site Review Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet; includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>		✓		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>		✓		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>		✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		<input checked="" type="checkbox"/>
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. For re-submittals – include all revision dates	<input checked="" type="checkbox"/>		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>

X:\Projects\EWP\_16010\Land\Site Plan\Current Drawings\EWP16010-DM1.dwg, 9/2/2016, 3:17:27 PM, Gagliotta, Mark

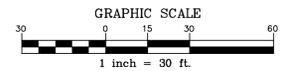


**DEMOLITION NOTES:**  
1. IN ACCORDANCE WITH 40 CFR, PART 61, SUBPART M, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS-CONTAINING MATERIALS, PRIOR TO CONDUCTING A RENOVATION OR DEMOLITION ACTIVITY OF AN EXISTING STRUCTURE. THE ASBESTOS INSPECTION MUST BE CONDUCTED BY A NORTH CAROLINA ACCREDITED ASBESTOS INSPECTOR. ALL REGULATED AND/OR FRIABLE ASBESTOS-CONTAINING MATERIALS IDENTIFIED DURING THE SURVEY, WHICH WILL BE DISTURBED, MUST BE PROPERLY REMOVED BY ACCREDITED INDIVIDUALS BEFORE BEGINNING THE RENOVATION OR DEMOLITION ACTIVITY. IF REGULATED AND/OR FRIABLE ASBESTOS CONTAINING MATERIALS TO BE REMOVED EXCEED 160 SQUARE FEET, 260 LINEAR FEET OR 35 CUBIC FEET, A PERMIT SHALL BE APPLIED FOR THROUGH THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES.  
2. ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.

**ATTENTION CONTRACTORS**  
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409 and the Public Utilities Department at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.  
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.  
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

**DEMOLITION LEGEND**  
TREE OR OTHER VEGETATION TO BE REMOVED  
UNDERGROUND UTILITY TO BE REMOVED  
AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)  
NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



CITY OF RALEIGH  
All Construction must be in accordance with all Local, State, and Federal Rules and Regulations

TRANSPORTATION SERVICES	_____
PUBLIC UTILITIES	_____
STORMWATER	_____
PLANNING	_____
FIRE	_____
URBAN FORESTRY	_____



Know what's below.  
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

THE JOHN R. MCADAMS COMPANY, INC.  
2905 Meridian Parkway  
Durham, North Carolina 27713  
Tel: 919-286-1000 Fax: 919-286-1001  
www.mcadamsco.com (800) 733-5646



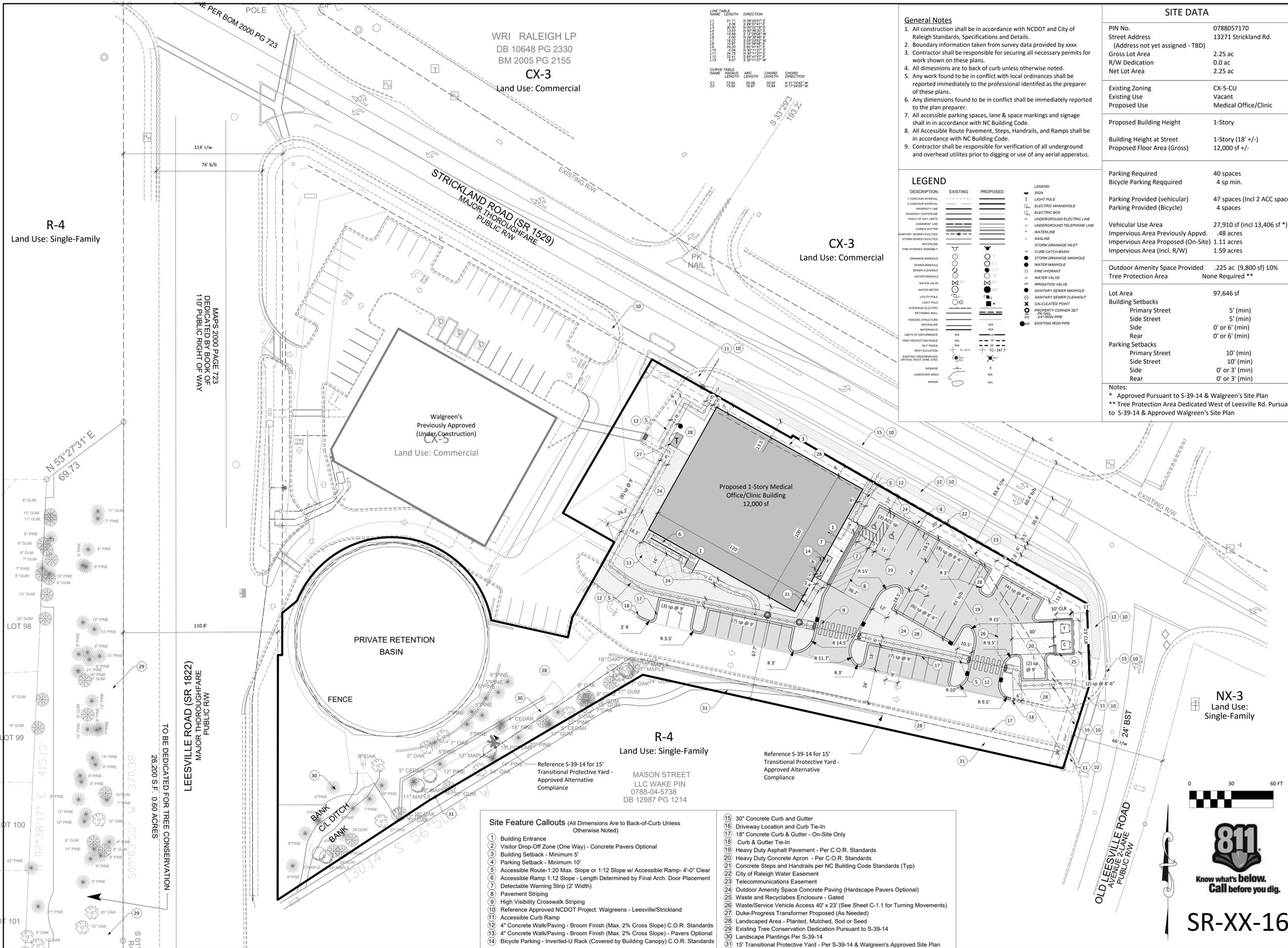
REVISIONS:


OWNER:  
EAST WEST PARTNERS  
MANAGEMENT CO. INC./GHK  
DEVELOPMENTS  
1450 ENVIRON WAY  
CHAPEL HILL, NC 27157

**STRICKLAND ROAD  
MEDICAL OFFICE BUILDING  
ADMINISTRATIVE SITE REVIEW**  
RALEIGH NORTH CAROLINA  
**EXISTING CONDITIONS AND DEMOLITION PLAN**

PROJECT NO:	EWP-16010
FILENAME:	EWP16010-DM1
CHECKED BY:	ARP
DRAWN BY:	CHT
SCALE:	1"=30'
DATE:	09-06-2016
SHEET NO.:	C-1





LINE TABLE	NAME	LENGTH	DIRECTION
L1	21.11	N 89°02'37" E	
L2	3.08	S 89°52'41" E	
L3	30.00	N 90°00'00" E	
L4	12.63	N 90°00'00" E	
L5	1.4	N 90°00'00" E	
L6	2.00	N 90°00'00" E	
L7	24.00	N 90°00'00" E	
L8	10.97	N 90°00'00" E	
L9	24.00	N 90°00'00" E	
L10	44.75	N 90°00'00" E	
L11	22.41	N 90°00'00" E	
L12	22.41	N 90°00'00" E	
L13	9.07	S 90°11'27" W	

CURVE NAME	RADIUS LENGTH	ARC LENGTH	CHORD LENGTH	CHORD DIRECTION
C1	73.00	33.89	33.82	N 31°32'45" W
C2	73.00	33.89	33.82	N 31°32'45" W

- General Notes**
- All construction shall be in accordance with NCDOT and City of Raleigh Standards, Specifications and Details.
  - Boundary information taken from survey data provided by xxxx
  - Contractor shall be responsible for securing all necessary permits for work shown on these plans.
  - All dimensions are to back of curb unless otherwise noted.
  - Any work found to be in conflict with local ordinances shall be reported immediately to the professional identified as the preparer of these plans.
  - Any dimensions found to be in conflict shall be immediately reported to the plan preparer.
  - All accessible parking spaces, lane & space markings and signage shall be in accordance with NC Building Code.
  - All Accessible Route Pavement, Steps, Handrails, and Ramps shall be in accordance with NC Building Code.
  - Contractor shall be responsible for verification of all underground and overhead utilities prior to digging or use of any aerial apparatus.

**LEGEND**

DESCRIPTION	EXISTING	PROPOSED
1' CONTOUR INTERVAL	---	---
5' CONTOUR INTERVAL	---	---
PROPERTY LINE	---	---
ROADWAY CENTERLINE	---	---
RIGHT OF WAY LIMITS	---	---
EASEMENT LINE	---	---
CURB & GUTTER	---	---
SEWAGE FACILITIES	---	---
STORM FACILITIES	---	---
WATERLINE	---	---
FIRE HYDRANT ASSEMBLY	---	---
DRAINAGE MANHOLE	---	---
SEWER MANHOLE	---	---
SEWER CLEANOUT	---	---
WATER MANHOLE	---	---
WATER VALVE	---	---
WATER METER	---	---
UTILITY POLE	---	---
LIGHT POLE	---	---
OVERHEAD ELECTRIC	---	---
RETAINING WALL	---	---
FENCING STRUCTURE	---	---
WOODS LINE	---	---
WATERWAYS	---	---
LIMITS OF DISTURBANCE	---	---
TREE PROTECTION FENCE	---	---
SILT FENCE	---	---
SPOT ELEVATION	---	---
EXISTING TREES/SHRUBS	---	---
CRITICAL ROOT ZONE (CRZ)	---	---
ISOAGRA	---	---
LANDSCAPE AREA	---	---
RR/RAIP	---	---

**SITE DATA**

PIN No.	0788057170
Street Address	13271 Strickland Rd. (Address not yet assigned - TBD)
Gross Lot Area	2.25 ac
R/W Dedication	0.0 ac
Net Lot Area	2.25 ac
Existing Zoning	CX-5-CU
Existing Use	Vacant
Proposed Use	Medical Office/Clinic
Proposed Building Height	1-Story
Building Height at Street	1-Story (18' +/-)
Proposed Floor Area (Gross)	12,000 sf +/-
Parking Required	40 spaces
Bicycle Parking Required	4 sp min.
Parking Provided (vehicular)	47 spaces (Incl 2 ACC spaces)
Parking Provided (Bicycle)	4 spaces
Vehicular Use Area	27,910 sf (Incl 13,406 sf *)
Impervious Area Previously Appvd.	.48 acres
Impervious Area Proposed (On-Site)	1.11 acres
Impervious Area (Incl. R/W)	1.59 acres
Outdoor Amenity Space Provided	.225 ac (9,800 sf) 10%
Tree Protection Area	None Required **
Lot Area	97,646 sf
Building Setbacks	
Primary Street	5' (min)
Side Street	5' (min)
Side	0' or 6' (min)
Rear	0' or 6' (min)
Parking Setbacks	
Primary Street	10' (min)
Side Street	10' (min)
Side	0' or 3' (min)
Rear	0' or 3' (min)

Notes:  
 \* Approved Pursuant to S-39-14 & Walgreen's Site Plan  
 \*\* Tree Protection Area Dedicated West of Leesville Rd. Pursuant to S-39-14 & Approved Walgreen's Site Plan

**SCOTT MURRAY LAND PLANNING, INC.**  
 Landscape Architecture | Environmental Design | Project Management

Project:  
**13271 Strickland Rd.  
 Medical Office/Clinic  
 Raleigh, NC**  
 PIN # 0788057170

Developer:  
**East West Partners  
 Management Co. Inc./  
 GHK Developments**  
 1450 Environ Way  
 Chapel Hill, NC 27157

Contract Purchaser:  
**East West Partners  
 Management Co. Inc./  
 GHK Developments**  
 1450 Environ Way  
 Chapel Hill, NC 27157

Owner of Record:  
**Saintsing Properties, LLC**  
 9608 Old Leesville Rd  
 Raleigh NC 27613-7520

Sheet Title:  

# Site Plan

No.	Date:	Issue Notes:
-----	-------	--------------

**NOT FOR CONSTRUCTION**

Design Firm:  
**Scott Murray Land Planning, Inc.**  
 1450 Environ Way Chapel Hill, NC 27517  
 252-213-9501 434-689-2925 (fax)  
 www.stmlandplan.com  
 smurray@stmlandplan.com

Copyright (c) by Scott Murray Land Planning, Inc. All Rights Reserved. Reuse of the material on these plans without prior written authorization is expressly prohibited.

Scale:  
 as shown

Date:  
 Sept. 2, 2016

Drawn By:  
 STM

Drawing No.:  
 na

of  
**C-2**

- Site Feature Callouts (All Dimensions Are to Back-of-Curb Unless Otherwise Noted)**
- Building Entrance
  - Visitor Drop-Off Zone (One Way) - Concrete Pavers Optional
  - Building Setback - Minimum 5'
  - Parking Setback - Minimum 10'
  - Accessible Route-1:20 Max. Slope or 1:12 Slope w/ Accessible Ramp- 4'-0" Clear
  - Accessible Ramp 1:12 Slope - Length Determined by Final Arch. Door Placement
  - Detachable Warning Strip (2" Width)
  - Pavement Striping
  - High Visibility Crosswalk Striping
  - Reference Approved NCDOT Project: Walgreens - Leesville/Strickland
  - Accessible Curb Ramp
  - 4" Concrete Walk/Paving - Broom Finish (Max. 2% Cross Slope) C.O.R. Standards
  - 4" Concrete Walk/Paving - Broom Finish (Max. 2% Cross Slope) - Pavers Optional
  - Bicycle Parking - Inverted-U Rack (Covered by Building Canopy) C.O.R. Standards
  - 30" Concrete Curb and Gutter
  - Driveway Location and Curb Tie-In
  - 18" Concrete Curb & Gutter - On-Site Only
  - Curb & Gutter Tie-In
  - Heavy Duty Asphalt Pavement - Per C.O.R. Standards
  - Heavy Duty Concrete Apron - Per C.O.R. Standards
  - Concrete Steps and Handrails per NC Building Code Standards (Typ)
  - City of Raleigh Water Easement
  - Telecommunications Easement
  - Outdoor Amenity Space Concrete Paving (Hardscape Pavers Optional)
  - Waste and Recyclables Enclosure - Gated
  - Waste/Service Vehicle Access 40' x 23' (See Sheet C-1.1 for Turning Movements)
  - Duke-Progress Transformer Proposed (As Needed)
  - Landscaped Area - Planted, Mulched, Sod or Seed
  - Existing Tree Conservation Dedication Pursuant to S-39-14
  - Landscaping Plantings Per S-39-14
  - 15' Transitional Protective Yard - Per S-39-14 & Walgreen's Approved Site Plan

R-4  
 Land Use: Single-Family

WRI RALEIGH LP  
 DB 10648 PG 2330  
 BM 2005 PG 2155  
**CX-3**  
 Land Use: Commercial

CX-3  
 Land Use: Commercial

Walgreen's  
 Previously Approved  
 (Under Construction)  
**CX-5**  
 Land Use: Commercial

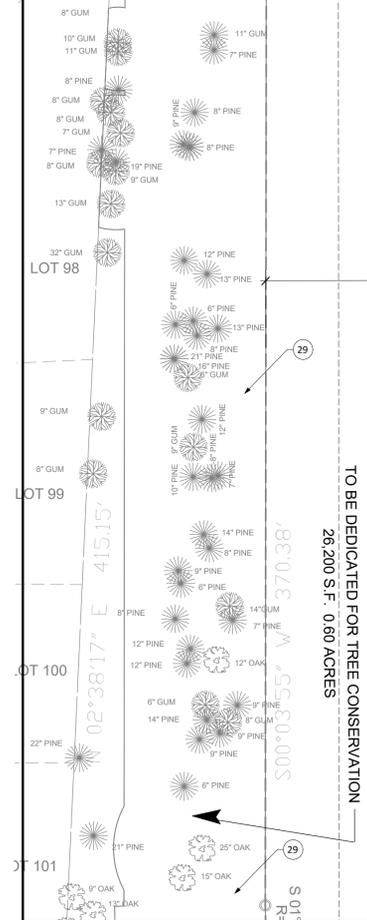
R-4  
 Land Use: Single-Family

MASON STREET  
 LLC WAKE PIN  
 0788-04-5738  
 DB 12987 PG 1214

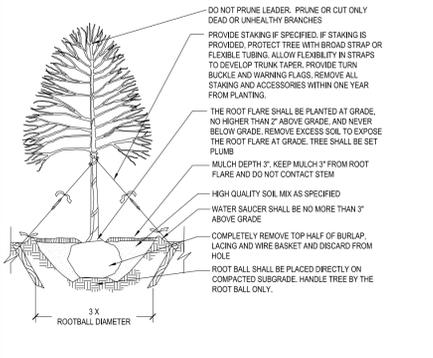
Reference S-39-14 for 15'  
 Transitional Protective Yard -  
 Approved Alternative  
 Compliance

MAPS 2000 PAGE 723  
 DEDICATED BY BOOK OF  
 110' PUBLIC RIGHT OF WAY

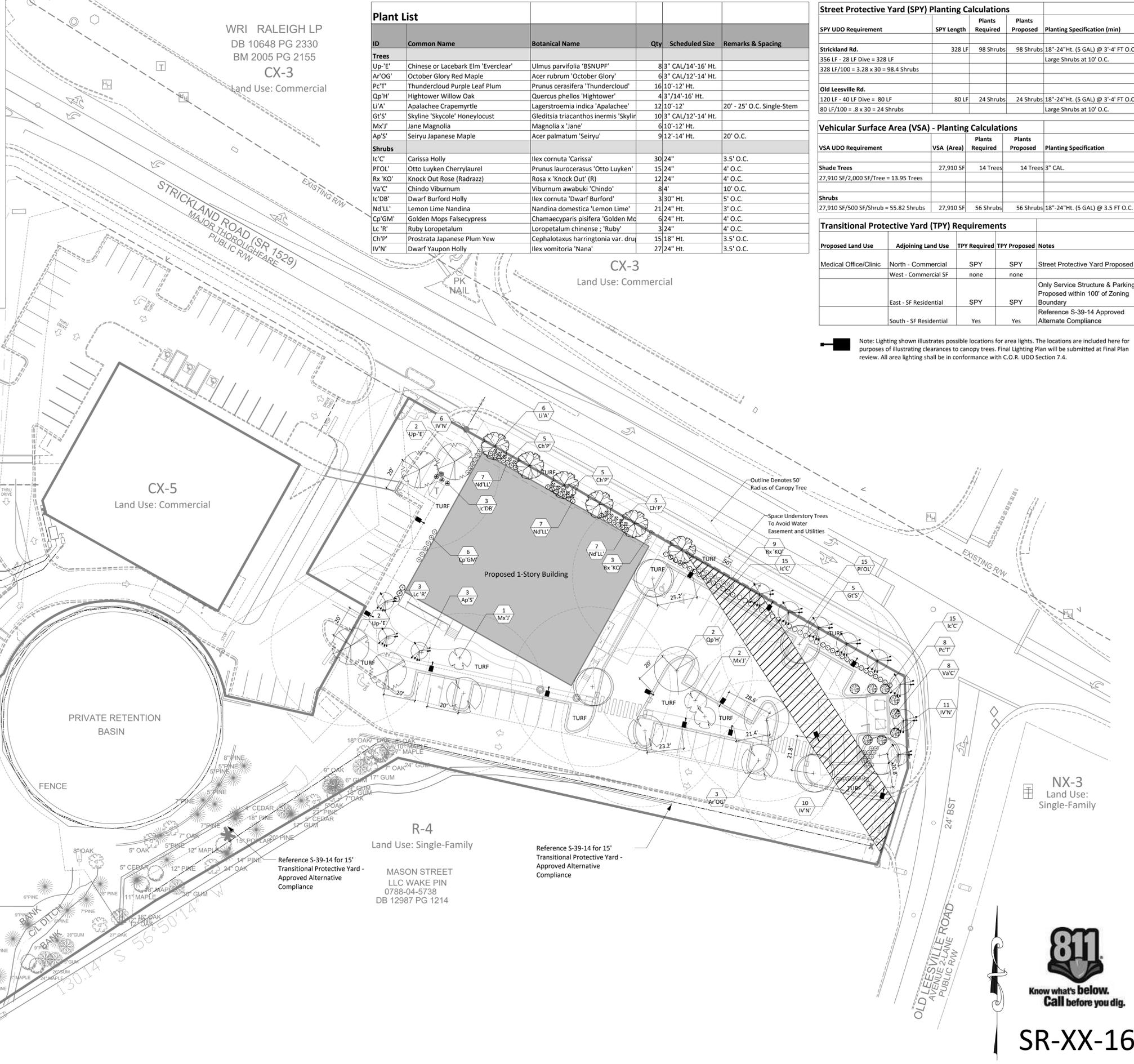
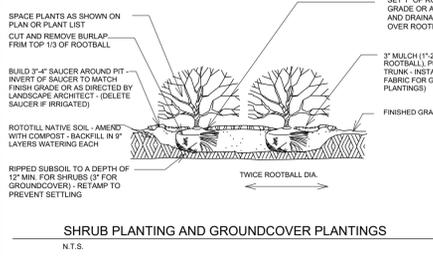
LEESVILLE ROAD (SR 1822)  
 MAJOR THOROUGHFARE  
 PUBLIC R/W  
 TO BE DEDICATED FOR TREE CONSERVATION  
 26,200 S.F. 0.60 ACRES



- General Notes**
- Landscape contractor to verify location of underground utilities before beginning work. Any conflicts with proposed planting and/or trenching shall be brought to the attention of the Landscape Architect immediately upon discovery.
  - The Specifications on this sheet are supplemented by additional written specifications included in the "job specifications manual". In cases where conflicts are found to exist the Contractor shall bring the issue to the attention of the Landscape Architect for clarification. Generally the higher level specification shall prevail.
  - All plant material and planting standards specified shall meet the minimum standards for nursery stock-ANSIZ60.1-2004 or the County whichever is stricter.
  - If heavy soil conditions are encountered where percolation is not adequate to prevent ponding after a normal rainfall event then the following procedures supersede those illustrated in the accompanying details. Where subgrade does not allow for natural drainage through amendments or subsurface drainage, rootballs shall be set at a depth not to exceed 1/2 of the total rootball depth. Contractor shall provide additional amendments or drainage as needed to ensure survival of the plant after consulting with landscape architect.
  - Contractor is responsible for verification of quantities and for providing and installing all of the plant material shown on this plan. Where discrepancies are found to exist, contractor shall bring it to the immediate attention of the Landscape Architect.
  - Contractor is responsible for insuring positive drainage away from all building foundations. Minimum Slope 1/2"/FT for a distance of 6' unless otherwise specified.
  - All plant material shall be submitted to the Landscape Architect for approval prior to procurement. Pictures of representative plants may be submitted according to industry standards.
  - Proper soil placement and/or preparation is essential to the survival of all plants. Contractor is responsible for testing, amending, and/or replacement of planting soils pursuant to the written specifications included in the Job Manual.
  - All clearances required for site triangles, roadways, sidewalks, bikeways, and utilities shall be the responsibility of the Contractor. General 8'-6" clearances are required for bikeways and sidewalks. Trees shall be placed a minimum of 6' from the edge of paving and shrubs shall be placed a minimum of 3' from the edge of paving. Maintain a 20' minimum clearance between canopy trees and area lighting. Consult DOT planting requirements for applicable restrictions on roadway clearances.
  - Plants identified on this Landscape Plan represent minimum plantings proposed. Additional plants shall be provided at the owners option. This Plan is "Not Approved for Construction."



- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT).
  - ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
  - STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 9" MINIMUM FIRST BRANCH HEIGHT.
  - PLANTING SEASON OCTOBER - APRIL.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
- CONTACT INFORMATION:**  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV
- CITY OF RALEIGH**  
PARKS, RECREATION AND CULTURAL RESOURCES DEPT  
REVISED: 04/15/11  
NOT TO SCALE
- TREE PLANTING DETAIL**
- PRCR-03**



**Plant List**

ID	Common Name	Botanical Name	Qty	Scheduled Size	Remarks & Spacing
<b>Trees</b>					
Up'E'	Chinese or Lacebark Elm 'Everclear'	Ulmus parvifolia 'BSNUPF'	8	3" CAL/14'-16' Ht.	
Ar'OG'	October Glory Red Maple	Acer rubrum 'October Glory'	6	3" CAL/12'-14' Ht.	
Pc'T'	Thundercloud Purple Leaf Plum	Prunus cerasifera 'Thundercloud'	16	10'-12' Ht.	
Qp'H'	Hightower Willow Oak	Quercus phellos 'Hightower'	4	3"/14'-16' Ht.	
L'A'	Apalachee Crapemyrtle	Lagerstroemia indica 'Apalachee'	12	10'-12'	20' - 25' O.C. Single-Stem
Gt'S'	Skyline 'Skycolor' Honeylocust	Gleditsia triacanthos inermis 'Skylir'	10	3" CAL/12'-14' Ht.	
Mx'J'	Jane Magnolia	Magnolia x 'Jane'	6	10'-12' Ht.	
Ap'S'	Seiryu Japanese Maple	Acer palmatum 'Seiryu'	9	12'-14' Ht.	20' O.C.
<b>Shrubs</b>					
Ic'C'	Carissa Holly	Ilex cornuta 'Carissa'	30	24"	3.5' O.C.
Pi'OL'	Otto Luyken Cherrylaurel	Prunus laurocerasus 'Otto Luyken'	15	24"	4' O.C.
Rx'KO'	Knock Out Rose (Radrazz)	Rosa x 'Knock Out' (R)	12	24"	4' O.C.
Va'C'	Chindo Viburnum	Viburnum awabuki 'Chindo'	8	4"	10' O.C.
Ic'DB'	Dwarf Burford Holly	Ilex cornuta 'Dwarf Burford'	3	30" Ht.	5' O.C.
Nd'LL'	Lemon Lime Nandina	Nandina domestica 'Lemon Lime'	21	24" Ht.	3' O.C.
Cp'GM'	Golden Mops Falsecypress	Chamaecyparis pisifera 'Golden Mops'	6	24" Ht.	4' O.C.
Lc'R'	Ruby Loropetalum	Loropetalum chinense 'Ruby'	3	24"	4' O.C.
Ch'P'	Prostrata Japanese Plum Yew	Cephalotaxus harringtonia var. drupacea	15	18" Ht.	3.5' O.C.
IV'N'	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	27	24" Ht.	3.5' O.C.

**Street Protective Yard (SPY) Planting Calculations**

SPY UDO Requirement	SPY Length	Plants Required	Plants Proposed	Planting Specification (min)
Strickland Rd.	328 LF	98 Shrubs	98 Shrubs	18"-24"Ht. (5 GAL) @ 3'-4' FT O.C.
356 LF - 28 LF Dive = 328 LF				Large Shrubs at 10' O.C.
328 LF/100 = 3.28 x 30 = 98.4 Shrubs				
Old Leesville Rd.	80 LF	24 Shrubs	24 Shrubs	18"-24"Ht. (5 GAL) @ 3'-4' FT O.C.
120 LF - 40 LF Dive = 80 LF				Large Shrubs at 10' O.C.
80 LF/100 = .8 x 30 = 24 Shrubs				

**Vehicular Surface Area (VSA) - Planting Calculations**

VSA UDO Requirement	VSA (Area)	Plants Required	Plants Proposed	Planting Specification
Shade Trees	27,910 SF	14 Trees	14 Trees	3" CAL.
27,910 SF/2,000 SF/Tree = 13.95 Trees				
Shrubs	27,910 SF	56 Shrubs	56 Shrubs	18"-24"Ht. (5 GAL) @ 3.5 FT O.C.
27,910 SF/500 SF/Shrub = 55.82 Shrubs				

**Transitional Protective Yard (TPY) Requirements**

Proposed Land Use	Adjoining Land Use	TPY Required	TPY Proposed	Notes
Medical Office/Clinic	North - Commercial	SPY	SPY	Street Protective Yard Proposed
	West - Commercial SF	none	none	
	East - SF Residential	SPY	SPY	Only Service Structure & Parking Proposed within 100' of Zoning Boundary
	South - SF Residential	Yes	Yes	Reference S-39-14 Approved Alternate Compliance

Note: Lighting shown illustrates possible locations for area lights. The locations are included here for purposes of illustrating clearances to canopy trees. Final Lighting Plan will be submitted at Final Plan review. All area lighting shall be in conformance with C.O.R. UDO Section 7.4.

**SCOTT MURRAY LAND PLANNING, INC.**  
Landscape Architecture | Environmental Design | Project Management

Project:  
**13271 Strickland Rd.  
Medical Office/Clinic  
Raleigh, NC**  
PIN # 0788057170

Developer:  
**East West Partners  
Management Co. Inc./  
GHK Developments**  
1450 Environ Way  
Chapel Hill, NC 27157

Contract Purchaser:  
**East West Partners  
Management Co. Inc./  
GHK Developments**  
1450 Environ Way  
Chapel Hill, NC 27157

Owner of Record:  
**Saintsing Properties, LLC**  
9608 Old Leesville Rd  
Raleigh NC 27613-7520

Sheet Title:

No. Date: Issue Notes:

**NOT FOR CONSTRUCTION**

Design Firm:  
**Scott Murray Land Planning, Inc.**  
1450 Environ Way Chapel Hill, NC 27517  
252-213-9501 434-689-2925 (fax)  
www.stmlandplan.com  
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Scale:  
as shown

Date:  
Sept. 2, 2016

Drawn By:  
STM

Drawing No.:  
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**LS-1**  
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**SR-XX-16**