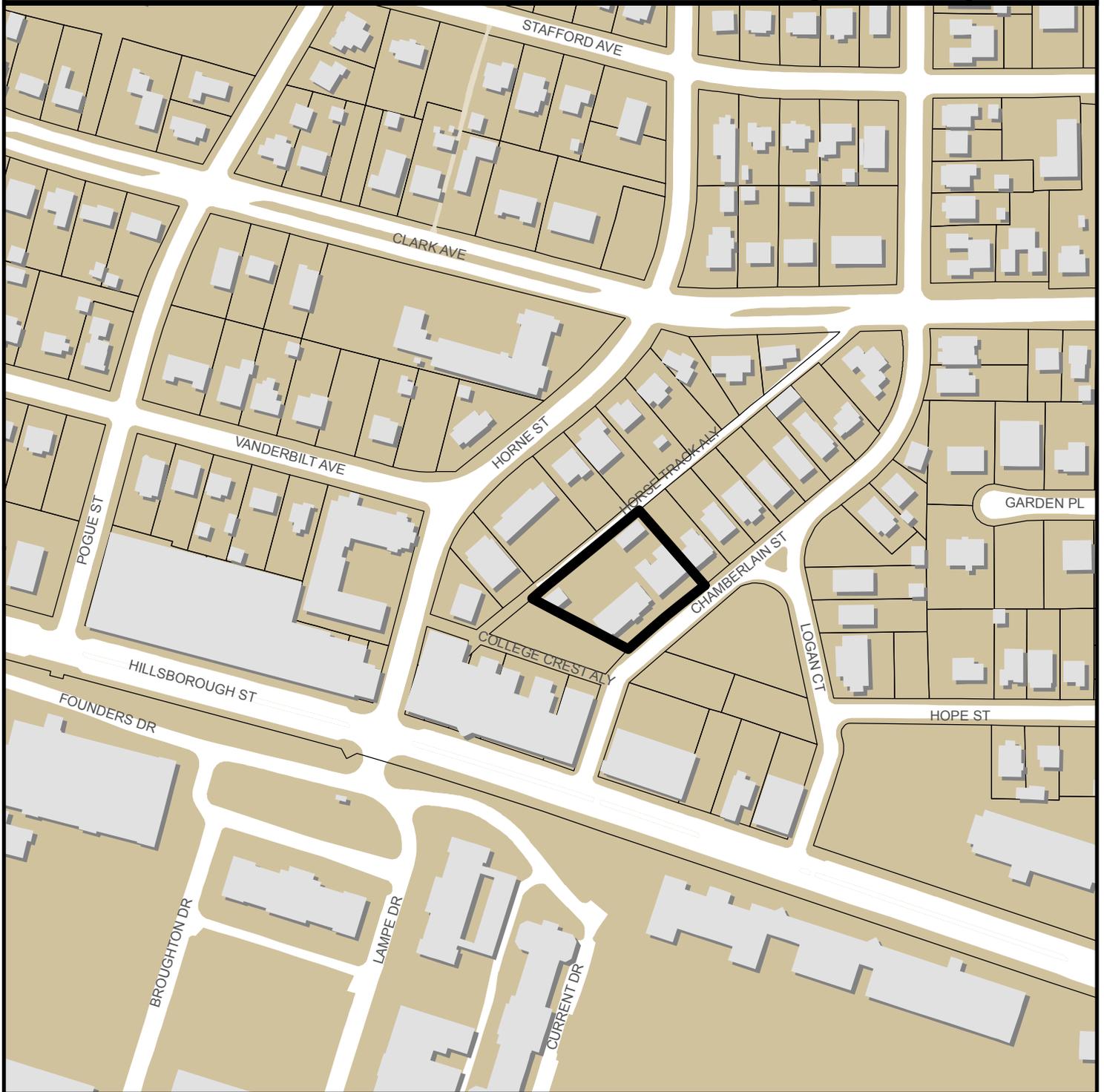


# 113 CHAMBERLAIN SR-78-2016



0 300 600 Feet

Zoning: **RX-3 w/SRPOD**  
CAC: **Wade**  
Drainage Basin: **Rocky Branch**  
Acreage: **0.62**  
Sq. Ft.: **41,155**

Planner: **Justin Rametta**  
Phone: **(919) 996-2665**  
Applicant: **Next Chapter  
Properties, LLC**  
Phone: **(919) 479-0980**



# Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831  
Litchford Satellite Office | 8320 – 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

SR-78-16

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number <span style="font-size: 1.5em;">489234</span> Assigned Project Coordinator  Assigned Team Leader

*Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #*

### GENERAL INFORMATION

Development Name **113 Chamberlain**

Zoning District **RX-3**

Overlay District (if applicable) **SRPOD**

Inside City Limits?  Yes  No

Proposed Use **Apartment Building**

Property Address(es) **113 Chamberlain Street**

Major Street Locator:

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. **0794828023** /

P.I.N.

P.I.N.

P.I.N.

**What is your project type?**

<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Elderly Facilities	<input type="checkbox"/> Hospitals	<input type="checkbox"/> Hotels/Motels	<input type="checkbox"/> Office
<input type="checkbox"/> Mixed Residential	<input type="checkbox"/> Non-Residential Condo	<input type="checkbox"/> School	<input type="checkbox"/> Banks	<input type="checkbox"/> Industrial Building
<input type="checkbox"/> Duplex	<input type="checkbox"/> Telecommunication Tower	<input type="checkbox"/> Religious Institutions	<input type="checkbox"/> Residential Condo	<input type="checkbox"/> Retail
<input type="checkbox"/> Other: If other, please describe: _____				

**WORK SCOPE**

Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

**3-story 42 Unit Apartment Building with ground level parking garage**

**DESIGN ADJUSTMENT  
OR ADMIN ALTERNATE**

Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

Requesting Design Adjustment to provide 3.5' grass strip with 5' sidewalk and street trees behind sidewalk

**CLIENT/DEVELOPER/  
OWNER**

Company **Next Chapter Properties, LLC** Name (s) **Patrick Quinn**

Address **1939 Waukegan Rd. Suite 105 Glenview, IL 60025**

Phone **312-479-0980**

Email **pquinn@nextcdp.com**

Fax

**CONSULTANT  
(Contact Person for  
Plans)**

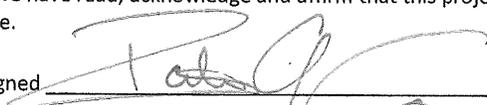
Company **John A. Edwards & Company** Name (s) **Jon Callahan**

Address **333 Wade Ave, Raleigh, NC 27605**

Phone **919-828-4428**

Email **jon\_callahan@jaeco.com**

Fax **919-828-4711**

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) RX-3	Proposed building use(s) Apartments
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 6855
Overlay District SRPOD	Proposed Building(s) sq. ft. gross 41,155
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 0.622 Acres	Total sq. ft. gross (existing & proposed) 41,155
Off street parking: Required N/A Provided 53 Per parking study	Proposed height of building(s) 50'
COA (Certificate of Appropriateness) case #	# of stories 3
BOA (Board of Adjustment) case # A-	Ceiling height of 1 <sup>st</sup> Floor
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 0.42 ac. acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 0.54 ac. acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils Flood Study FEMA Map Panel #
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units 42	5. Bedroom Units: 1br 3 2br 16 3br 14 4br or more 9
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above) 42	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.</p> <p>I hereby designate <u>Jon R. Callahan, P.E.</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.</p>	
Signed 	Date 9/27/16
Printed Name <u>Peter K Quinn</u>	
Signed _____	Date _____
Printed Name _____	

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF			
	General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input type="checkbox"/>			✓		
2. <b>Administrative Site Review Application</b> completed and signed by the property owner(s)	<input checked="" type="checkbox"/>			✓		
3. Client must complete and adhere page 1 and 2 of the <b>Administrative Site Review Application</b> to the plan cover sheet	<input checked="" type="checkbox"/>			✓		
4. I have referenced the <b>Administrative Site Review Checklist</b> and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>			✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>			✓		
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>			✓		
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>			✓		
c) Proposed Site Plan	<input type="checkbox"/>			✓		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>			✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>		✓		
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>		✓		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input type="checkbox"/>	<input checked="" type="checkbox"/>				✓
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		✓		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input checked="" type="checkbox"/>	<input type="checkbox"/>		✓		
j) Transportation Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		✓		
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" =100', etc.), and date of preparation. <u>For re-submittals – include all revision dates</u>	<input checked="" type="checkbox"/>			✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>			✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>			✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>			✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>			✓		
11. Wake County School Form, if dwelling units are proposed	<input checked="" type="checkbox"/>	<input type="checkbox"/>		✓		
12. If applicable, zoning conditions adhered to the plan cover sheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>				✓



**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
and Land Surveyors

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Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com

www.jaeco.com

Seals

Project

**113 CHAMBERLAIN**  
113 CHAMBERLAIN STREET  
RALEIGH, NC 27607

Client

CHAMBERLAIN  
MANAGEMENT LLC  
603 WEST INDUSTRY DRIVE  
OXFORD, NC 27565

Revisions

Number	Description	Date

Approvals

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

Drawing Title

**EXISTING  
CONDITIONS**

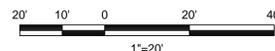
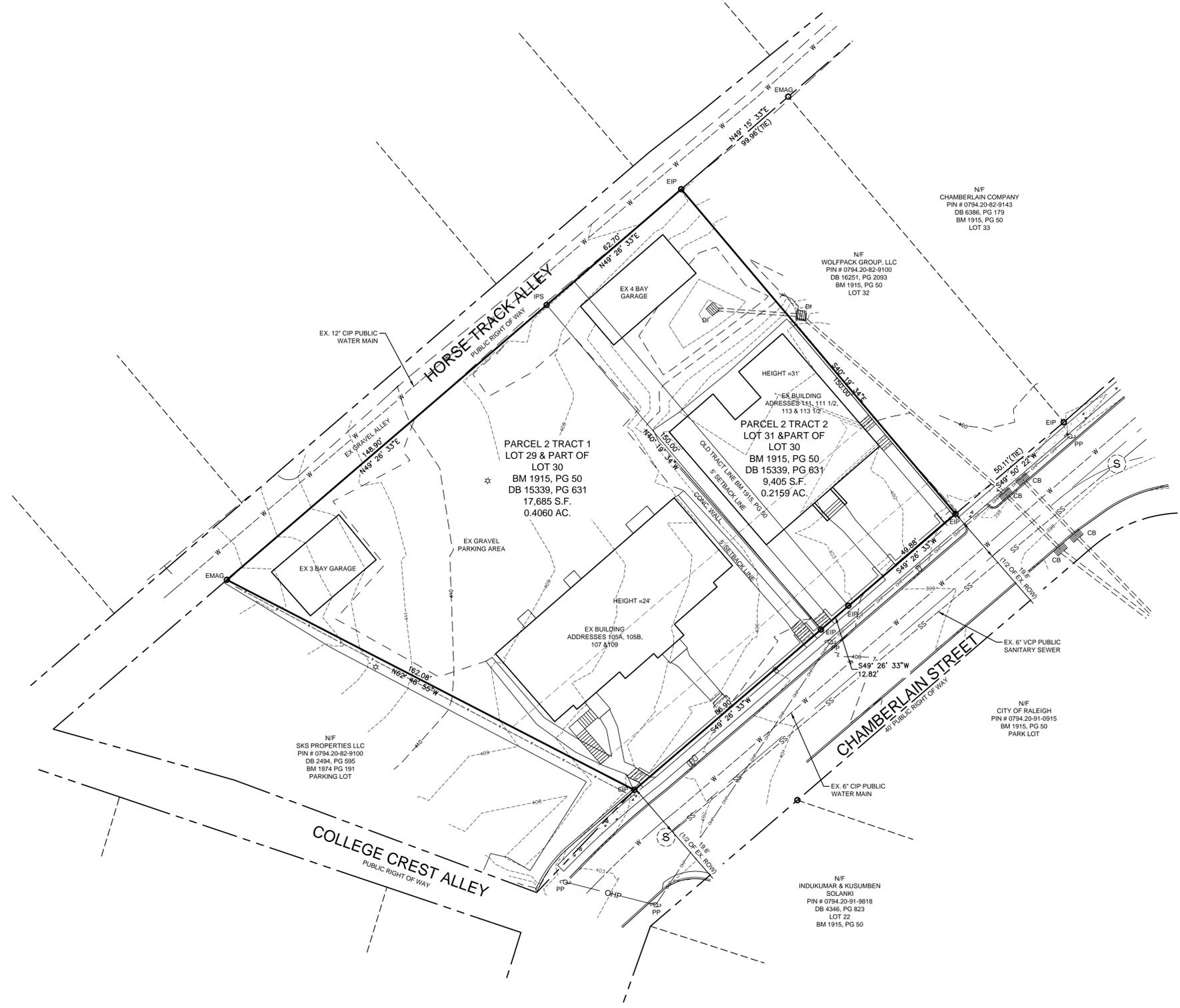
JAECO # 540.01

Drawn By CZB

Checked By JRC

Date Issued 9/27/16

CE-1



- LEGEND**
- BM BOOK OF MAPS
  - DB DEED BOOK
  - FACE PAGE
  - N/F NOW OR FORMERLY
  - R/W RIGHT OF WAY
  - EIP EXISTING IRON PIPE
  - EMAG EXISTING MAG NAIL
  - EPK EXISTING PK NAIL
  - ERRS EXISTING RAILROAD SPIKE
  - EVAIL EXISTING NAIL FOUND
  - ERF EXISTING RAIL FOUND
  - ECM EXISTING CONCRETE MONUMENT
  - IPS IRON PIPE SET
  - MAG MAG NAIL SET
  - CP COMPUTED POINT
  - RCP REINFORCED CONCRETE STORM PIPE
  - PP POWER POLE
  - GUY GUY ANCHORS
- [Symbol] MILL & OVERLAY
  - [Symbol] TREE CONSERVATION AREA
  - [Symbol] SLOPE EASEMENT
  - [Symbol] EXISTING FIRE HYDRANT
  - [Symbol] PROPOSED FIRE HYDRANT
  - [Symbol] EXISTING WATER VALVE
  - [Symbol] PROPOSED WATER VALVE
  - [Symbol] EXISTING WATER REDUCER
  - [Symbol] PROPOSED WATER REDUCER
  - [Symbol] EXISTING WATER METER
  - [Symbol] PROPOSED WATER METER
  - [Symbol] EXISTING HOT BOX
  - [Symbol] PROPOSED HOT BOX
  - [Symbol] EXISTING MANHOLE
  - [Symbol] PROPOSED MANHOLE
  - [Symbol] EXISTING CATCH BASIN
  - [Symbol] PROPOSED CATCH BASIN
  - [Symbol] EXISTING DROP INLET
  - [Symbol] PROPOSED DROP INLET
  - [Symbol] EXISTING FLARED END SECTION
  - [Symbol] PROPOSED FLARED END SECTION
- BOUNDARY LINE
  - RIGHT OF WAY LINE
  - LINES NOT SURVEYED
  - EASEMENT LINES
  - OVERHEAD ELECTRICAL LINES
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING SANITARY SEWER LINE
  - PROPOSED SANITARY SEWER LINE
  - EXISTING STORM DRAINAGE LINE
  - PROPOSED STORM DRAINAGE LINE





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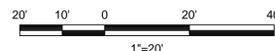
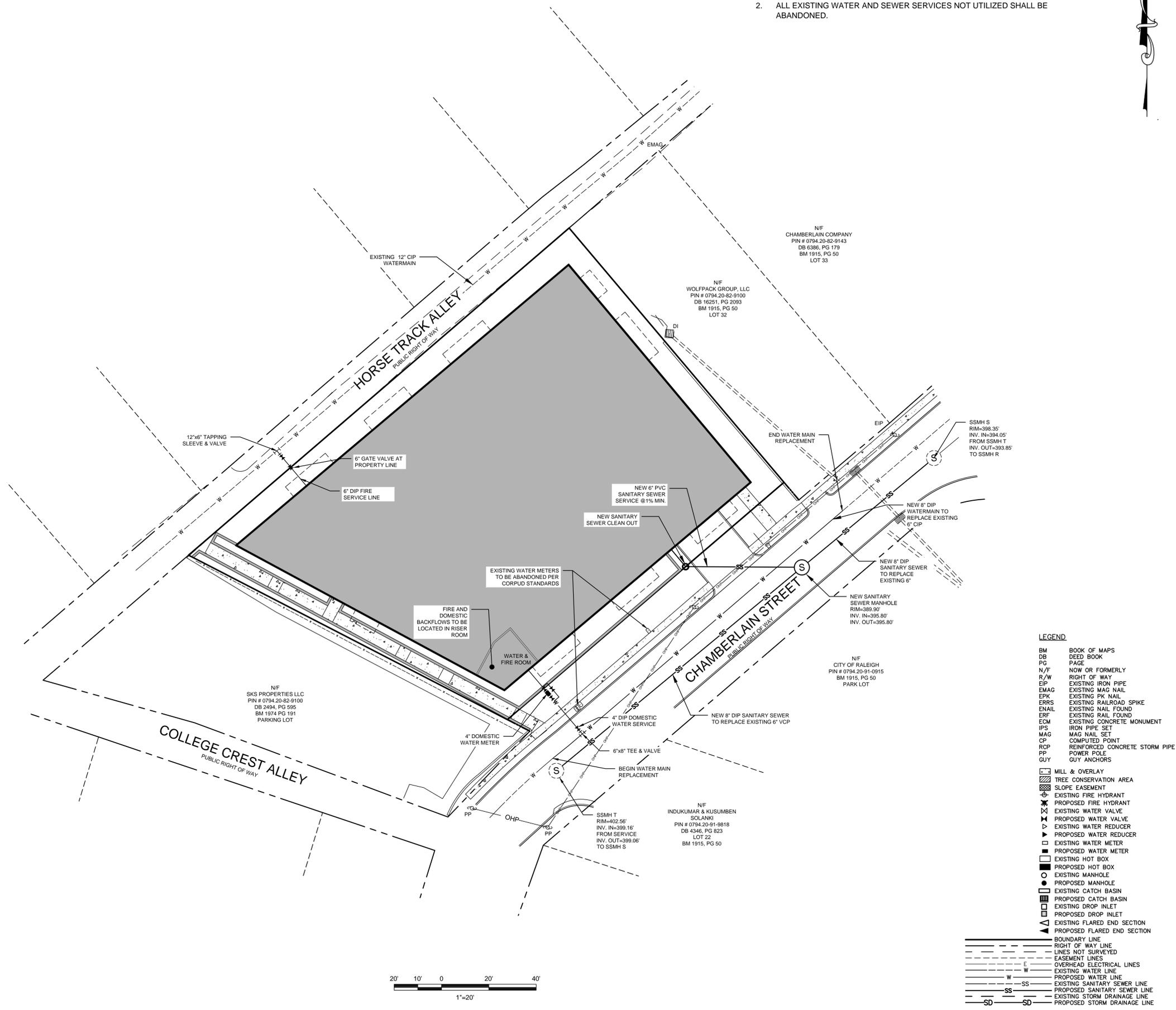
**UTILITY PLAN**

JAECO # 540.01  
Drawn By CZB  
Checked By JRC  
Date Issued 9/27/16

CE-3

**NOTES:**

- EXISTING WATER MAIN AND SANITARY SEWER MAINS ALONG FRONTAGE TO BE REPLACED UNDER THE URBAN REDEVELOPMENT MAIN REPLACEMENT REIMBURSEMENT POLICY.
- ALL EXISTING WATER AND SEWER SERVICES NOT UTILIZED SHALL BE ABANDONED.



**LEGEND**

BM	BOOK OF MAPS
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