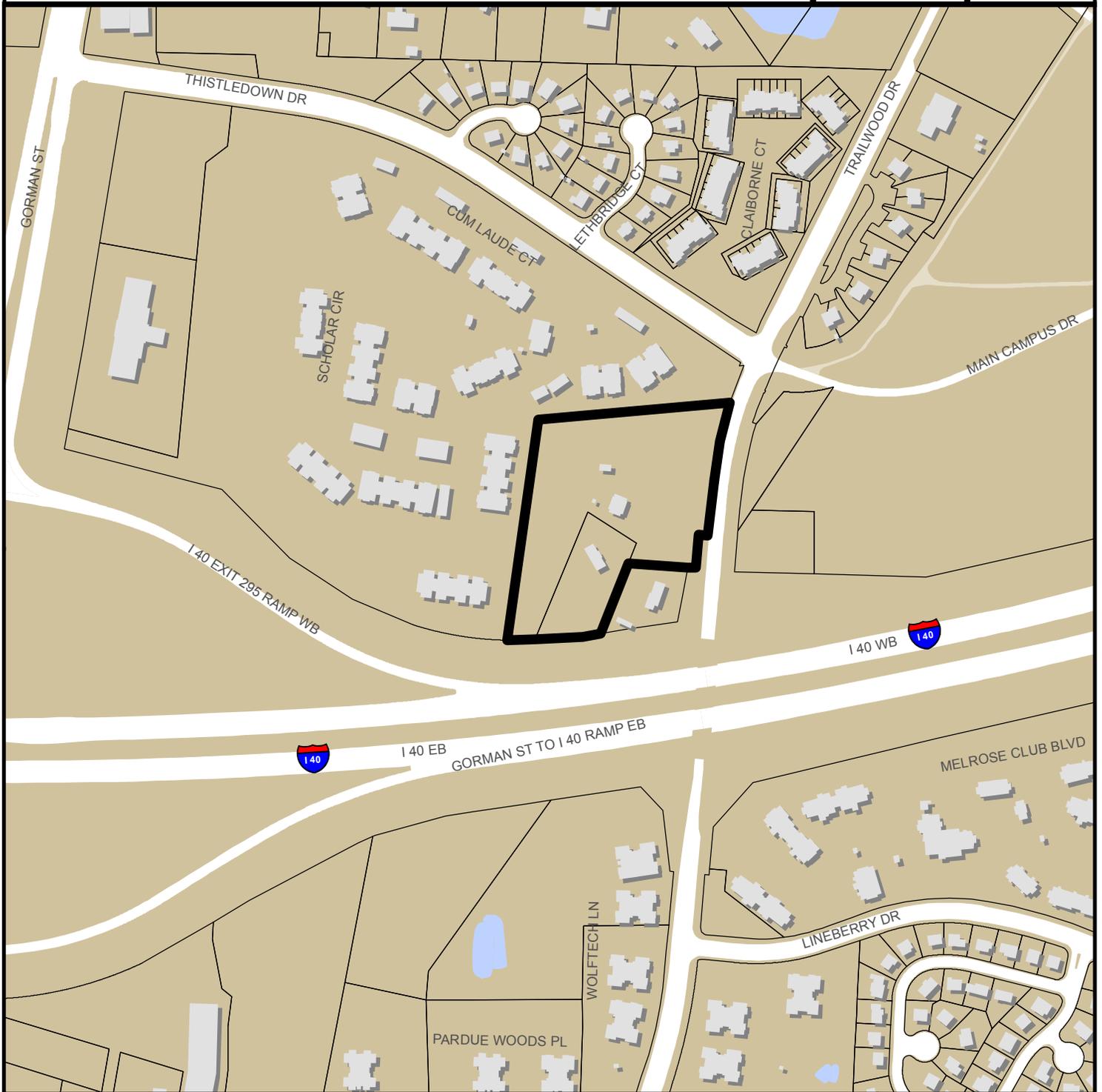


# TRAILWOOD APARTMENTS SR-87-2016



0 300 600 Feet

Zoning: **RX-3-PK-CU,  
SRPOD,SHOD-1**  
CAC: **West**  
Drainage Basin: **Walnut Creek**  
Acreage: **5.01**  
Sq. Ft. \ Units: **76,615\ 50**

Planner: **Michael Walters**  
Phone: **(919) 996-2636**  
Applicant: **Marlowe and  
Moye, LLC**  
Phone: **(919) 844-7888**



SR-87-16

# Administrative Site Review Application (for UDO Districts only)



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | efax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	Transaction Number <i>492324</i> Assigned Project Coordinator  Assigned Team Leader <i>M. Walters</i>

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

### GENERAL INFORMATION

Development Name *Trailwood Apartments*

Zoning District *RX-3-CU*

Overlay District (if applicable) *N/A*

Inside City Limits?  Yes  No

Proposed Use *Apartments*

Property Address(es) *1820+1824 Trailwood Drive*

Major Street Locator: *Trailwood Dr. + I-40*

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. *0792.09.3261*

P.I.N. *0792.09.2086*

P.I.N.

P.I.N.

What is your project type?  Apartment  
 Mixed Residential  Non-Residential Condo  Elderly Facilities  Hospitals  Hotels/Motels  Office  
 Duplex  Telecommunication Tower  School  Shopping Center  Banks  Industrial Building  
 Other: If other, please describe: \_\_\_\_\_  Religious Institutions  Residential Condo  Retail  Cottage Court

#### WORK SCOPE

Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

*3 building apartment project*

#### DESIGN ADJUSTMENT OR ADMIN ALTERNATE

Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

*N/A*

#### CLIENT/DEVELOPER/OWNER

Company *Marlowe + Moyer, LLC*

Name (s) *Stewart Marlowe*

Address *P.O. Box 20667, Raleigh NC 27619*

Phone *919.844.7888*

Email *dsmarlowe@aol.com*

Fax

#### CONSULTANT (Contact Person for Plans)

Company *Tony M. Tate Land. Arch.*

Name (s) *Pamela Porter*

Address *5011 Southpark Drive, Ste. 200 Durham, NC 27713*

Phone *919.484.8880*

Email *pam@tmtla.com*

Fax *919.484.8880*

**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information	Building Information
Zoning District(s) <b>RX-3-CU</b>	Proposed building use(s) <b>Apartment</b>
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross <b>2,950 SF</b>
Overlay District <b>N/A</b>	Proposed Building(s) sq. ft. gross <b>76,615 SF</b>
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) <b>76,615 SF</b>
Off street parking: Required <b>180</b> Provided <b>196</b>	Proposed height of building(s) <b>34'-8 3/4" (34ft 9")</b>
COA (Certificate of Appropriateness) case #	# of stories <b>one and three</b>
BOA (Board of Adjustment) case # A-	Ceiling height of 1 <sup>st</sup> Floor <b>9'</b>
CUD (Conditional Use District) case # Z- <b>39-15</b>	

**Stormwater Information**

Existing Impervious Surface <b>0.17</b> acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface <b>2.37</b> acres/square feet	If Yes, please provide: Alluvial Soils _____ Flood Study _____ FEMA Map Panel # _____
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

**FOR RESIDENTIAL DEVELOPMENTS**

1. Total # Of Apartment, Condominium or Residential Units <b>50</b>	5. Bedroom Units: 1br 2br <input checked="" type="checkbox"/> 3br <input checked="" type="checkbox"/> 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units <b>-</b>	6. Infill Development 2.2.7 <b>-</b>
3. Total Number of Hotel Units <b>-</b>	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above) <b>50</b>	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**SIGNATURE BLOCK (Applicable to all developments)**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Pamela Porter to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

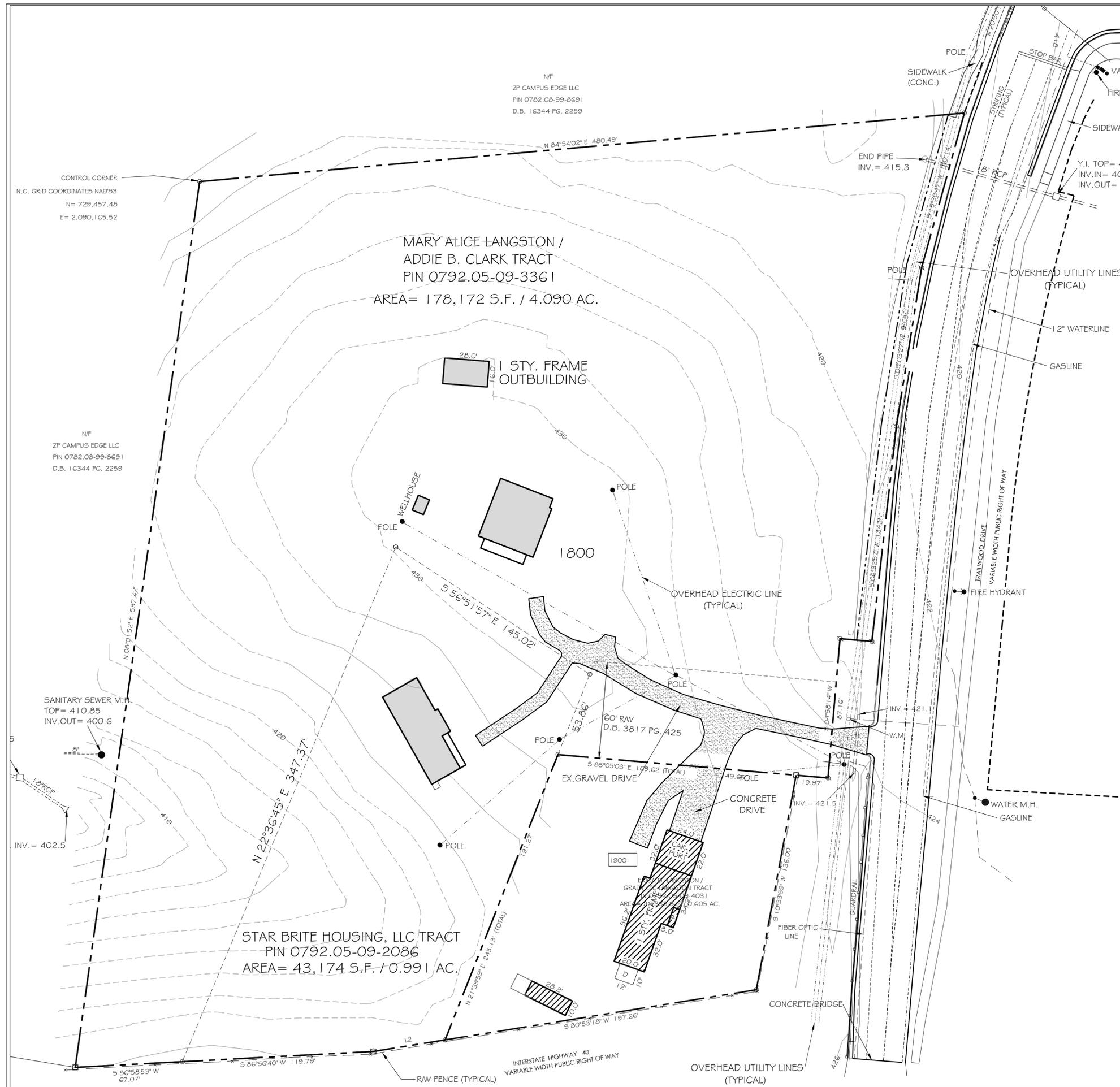
Signed Pamela Porter Date 8/31/2016

Printed Name Pamela Porter

Signed \_\_\_\_\_ Date \_\_\_\_\_

Printed Name \_\_\_\_\_

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
General Requirements	YES	N/A	YES	NO	N/A
1. Filing Fee for Plan Review – Payments may be made by cash, Visa, Master Card or check made payable to the City of Raleigh	<input checked="" type="checkbox"/>		✓		
2. <b>Administrative Site Review Application</b> completed and signed by the property owner(s)	<input checked="" type="checkbox"/>		✓		
3. Client must complete and adhere page 1 and 2 of the <b>Administrative Site Review Application</b> to the plan cover sheet	<input checked="" type="checkbox"/>				
4. I have referenced the <b>Administrative Site Review Checklist</b> and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>		✓		
5. Provide the following plan sheets:	<input checked="" type="checkbox"/>				
a) Cover sheet: includes general notes, owner's name, contact's name, telephone number, mailing address and email address	<input checked="" type="checkbox"/>				
b) Existing Conditions Sheet, including, but not limited to, structures, buildings, utilities, infrastructure, and vegetation	<input checked="" type="checkbox"/>		✓		
c) Proposed Site Plan	<input checked="" type="checkbox"/>		✓		
d) Proposed Grading Plan	<input checked="" type="checkbox"/>		✓		
e) Proposed Stormwater Plan, including preliminary stormwater quantity and quality summary and calculations package. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
f) Proposed Utility Plan, including Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
g) Proposed Tree Conservation Plan – For secondary Tree Conservation Areas, include two copies of the tree cover report completed by a certified arborist, North Carolina licensed landscape architect, or North Carolina register forester. If not required, provide City Code section on front cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
h) Proposed Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
i) Building elevations that show existing and/or proposed building height. If demolition, do not include buildings to be demolished.	<input type="checkbox"/>	<input type="checkbox"/>	✓		
j) Transportation Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		✓	
6. Ten (10) sets of proposed plans to engineering scale (1" = 20', 1" = 100', etc.), and date of preparation. <u>For re-submittals – include all revision dates</u>	<input checked="" type="checkbox"/>		✓		
7. Minimum plan size 18"x24" not to exceed 36"x42"	<input checked="" type="checkbox"/>		✓		
8. A vicinity map no smaller/less than 1"=500' and no larger than 1"=1000' to the inch, showing the position of the plan with its relation to surrounding streets and properties, and oriented in the same direction as the preliminary plan	<input checked="" type="checkbox"/>		✓		
9. Include sheet index and legend defining all symbols with true north arrow, with north being at the top of the map	<input checked="" type="checkbox"/>		✓		
10. Digital copy of only the plan and elevations. Label the CD or flash drive with the plan name, case file number, and indicate the review cycle #.	<input checked="" type="checkbox"/>		✓		
11. Wake County School Form, if dwelling units are proposed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
12. If applicable, zoning conditions adhered to the plan cover sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		



SITE DATA	
OWNER	Mary Langston, Addie Clark and Star Brite Housing, LLC
TOTAL AREA	5.08 ACRES
EXISTING ZONING	RX-3-PK-CU
PIN	0792-09-3361 & 0792-09-2086

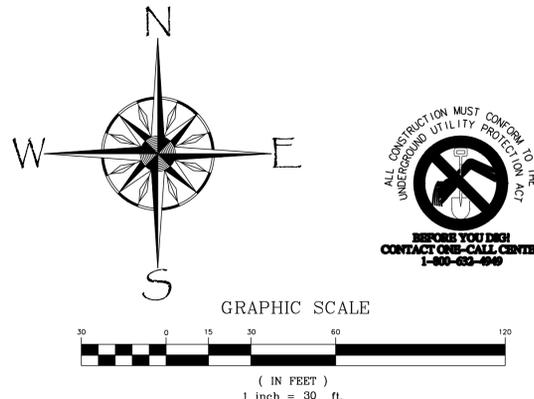
- NOTES
1. Boundary and field topographic information taken from file by Elinburg Land Surveying.
  2. The site is not located within zone X FEMA Flood Mapping 37201715007 dated 05/02/06.

**ATTENTION CONTRACTORS**

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF THE WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT 516-2159, AND THE PUBLIC UTILITIES DEPARTMENT AT 996-4540, AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.



**Jones & Crossen**  
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221 N Salem St Apex, NC

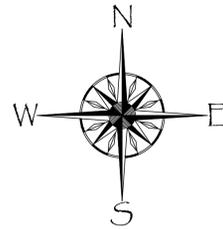
REVISIONS:


**EXISTING CONDITIONS**  
**TRAILWOOD APARTMENTS**  
Marlowe and Moye, LLC 312 west Millbrook Road  
Suite 113, Raleigh North Carolina 27619

SCALE:  
1"=30'  
DRAWN BY:  
TMT  
PROJECT #  
15003  
DATE:  
9/2/2016

SHEET  
**L-1**  
OF 8

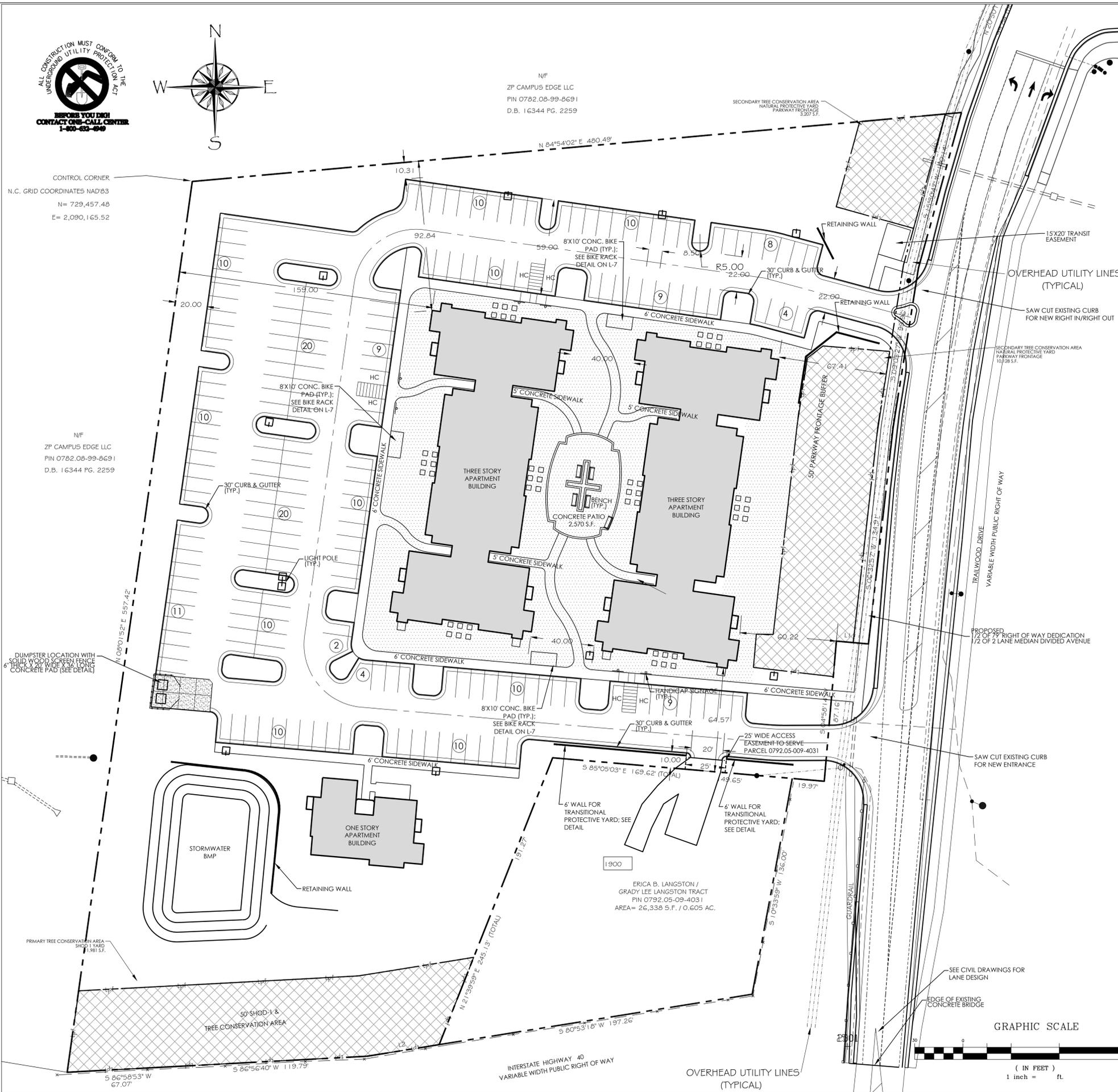
**TONY M. TATE LANDSCAPE ARCHITECTURE, PA**  
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p: (919) 484-8880 f: (919) 484-8881 e: tony@tmtla.com



N/P  
ZP CAMPUS EDGE LLC  
PIN 0782.08-99-8691  
D.B. 16344 PG. 2259

CONTROL CORNER  
N.C. GRID COORDINATES NAD83  
N= 729,457.48  
E= 2,090,165.52

N/P  
ZP CAMPUS EDGE LLC  
PIN 0782.08-99-8691  
D.B. 16344 PG. 2259



SITE DATA	
TOTAL AREA	5.08 ACRES
EXISTING ZONING	RX-3-PK-CU
EXISTING USE	SINGLE FAMILY - VACANT
PROPOSED USE	MULTIFAMILY APARTMENTS
PROPOSED BUILDING SIZE	28,117 S.F.
AREA OF RIGHT-OF-WAY DEDICATION	3,173.93 S.F.
MINIMUM PARKING REQUIRED	180 SPACES
3 SPACE PER 3 BDRM UNIT (25 UNITS)	75 SPACES
4 SPACES PER 4 BDRM UNIT (25 UNITS)	100 SPACES
1 VISITOR SPACE PER 10 UNITS (50 UNITS)	5 SPACES
HANDICAP SPACES (VAN ACCESSIBLE) - 6	
PARKING PROVIDED	196 SPACES
MINIMUM BICYCLE PARKING REQUIRED	
SHORT-TERM: 1 SPACE PER 20 UNITS	
50 UNITS/20 = 2.5 SPACES (4 SPACES MIN.)	12 SPACES
SHORT-TERM BICYCLE PARKING PROVIDED	
LONG-TERM: NONE REQUIRED	
OUTDOOR AMENITY AREA	
10% OF SITE ACREAGE	
221,328 S.F. X 10% = 22,133 S.F. REQUIRED	
= 28,851 S.F. PROVIDED	
TREE CONSERVATION AREA	
10% OF NET SITE ACREAGE	
5.01 AC X 10% = 0.50 AC REQUIRED	
= 0.51 AC PROVIDED	
EXISTING IMPERVIOUS PROPOSED IMPERVIOUS PARKING - 62,889 S.F.	0.17 ACRES
BUILDING - 28,117 S.F.	2.37 ACRES (46.65%)
SIDEWALK - 12,218 S.F.	
WATERSHED	NEUSE
INSIDE CITY LIMITS	YES
PINS	0792-09-3361 & 0792-09-2086

- NOTES
- Boundary and field topographic information taken from file by Elinburg Land Surveying.
  - The site is not located within zone X FEMA Flood Mapping 37200700J dated 05/02/06.
  - Contractor shall verify the location of all existing utilities and shall be responsible for any damage resulting from his activities. Call Utility locator service at least 48 hours prior to digging.
  - All construction shall be in accordance with all City of Raleigh standards and specifications.
  - All construction shall conform to all state and local standards and specifications and code requirements. Notify designer of any discrepancies. If discrepancies are found the more stringent requirements will prevail.
  - All utilities shall be located underground.
  - No changes may be made to the approved drawings without written permission from the issuing authority.
  - DO NOT SCALE THE DRAWINGS. Digital information is provided for construction drawings.
  - Contractor shall coordinate all work with all construction trades prior to start of construction.
  - All dimensions are references from back-of-curb to back-of-curb.
  - Erosion control plans shall be approved prior to any grading on this site.
  - Boundary information shall be field verified by Professional Surveyor before construction staking begins.
  - All parking spaces shall be surfaced with 6" abc and 2" of 1-2 asphalt. Drive aisles shall be surfaced with 8" abc and 2" of 1-2 asphalt.
  - Sidewalk connection shall be provided from site to new sidewalk along Trailwood Drive.
  - Note that within landscaped areas surrounding building, the grades shown on the grading sheet are "Top of Mulch" or "Top of Topsoil." Contractor shall ensure positive finished drainage (min. 2%) from all building areas and coordinate with the landscape plan to leave subgrade low enough to maintain the spots as finished grade.
  - The minimum corner clearance from the curb line of intersecting streets shall be at least 20 feet from the point of tangency.
  - Retaining walls to be designed by others.
  - Prior to the issuance of the Certificate of Occupancy the Owner shall record the site easement as shown. There shall be no site obstructing or party obstructing wall, fence, sign, foliage, berming, or parked vehicles between the heights of twenty four (24) inches and eight (8) feet above the curb line elevation or the nearest traveled way if no curbing exists.
  - Within the sight triangles shown on this plan, no obstruction between two (2) feet and eight (8) feet in height above the curb line elevation or the nearest traveled way, if no curbing exists.
  - All necessary HVAC units will be located at locations indicated.
  - Minimum corner clearance from curb line of intersection streets shall be at least twenty (20) feet from the point of tangency.
  - The existing lot lines shall be removed prior to building permit issuance.
  - Proposed right of way dedication shall be recorded prior to the issuance of a C.O.
  - A driveway permit and/or encroachment from NCDOT shall be obtained prior to any construction on Trailwood Drive.
  - A final plat indicating right of way dedication, cross access easements and any other public easements shall be recorded.

**LEGEND**

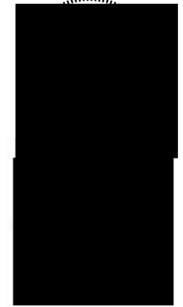
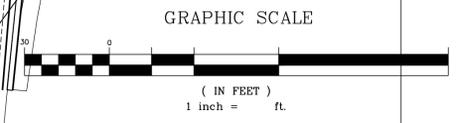
- BUILDING
- OUTDOOR AMENITY AREA
- TREE CONSERVATION AREA

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**Jones & Crossen**  
Engineering, PLLC  
221 N Salem St Apex, NC

REVISIONS:


**SITE PLAN**  
**TRAILWOOD APARTMENTS**  
Marlowe and Moye, LLC 312 west Millbrook Road  
Suite 13, Raleigh North Carolina 27619

SCALE:  
1"=30'  
DRAWN BY:  
TMT  
PROJECT #  
15003  
DATE:  
9/2/2016  
SHEET  
**L-3**  
OF 8

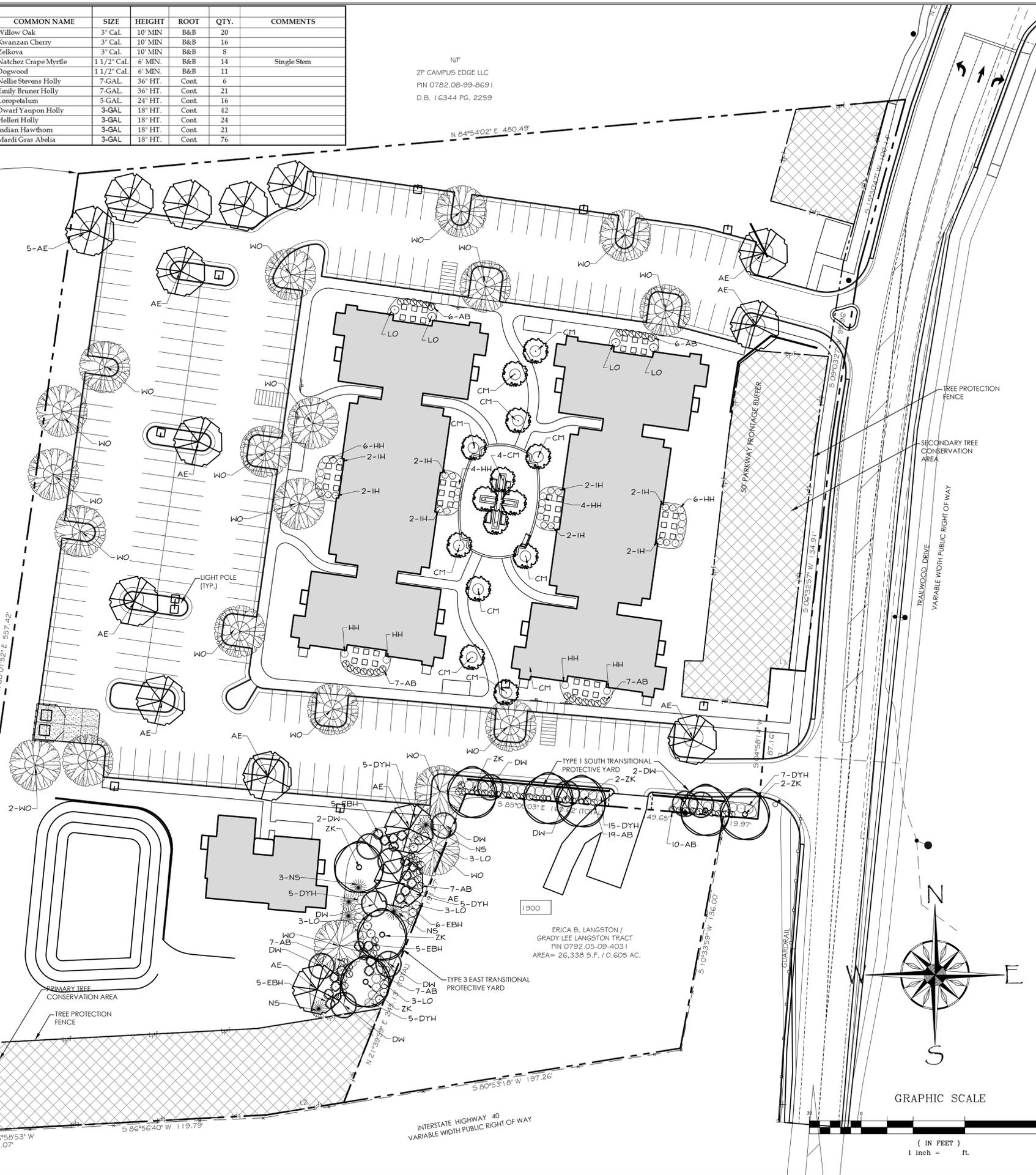
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KEY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	ROOT	QTY.	COMMENTS
WO	Quercus phellos	Willow Oak	3" Cal.	10' MIN	B&B	20	
AE	Ulmus parvifolia	Kwanzan Cherry	3" Cal.	10' MIN	B&B	16	
ZK	Zelkova serrata 'Village Green'	Zelkova	3" Cal.	10' MIN	B&B	8	
CM	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	1 1/2" Cal.	6' MIN.	B&B	14	Single Stem
DW	Cornus Cousa	Dogwood	1 1/2" Cal.	6' MIN.	B&B	11	
NS	Ilex x 'Nellie Stevens'	Nellie Stevens Holly	7-GAL.	36" HT.	Cont.	6	
EBH	Ilex x 'Emily Bruner'	Emily Bruner Holly	7-GAL.	36" HT.	Cont.	21	
LO	Loropetalum chinensis var. Ruby	Loropetalum	5-GAL.	24" HT.	Cont.	16	
DYH	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	3-GAL.	18" HT.	Cont.	42	
HH	Ilex crenata 'Helleri'	Helleri Holly	3-GAL.	18" HT.	Cont.	24	
IH	Rhaphiophis umbellata 'Snow White'	Indian Hawthorn	3-GAL.	18" HT.	Cont.	21	
AB	Abelia x grandiflora 'Mardi Gras'	Mardi Gras Abelia	3-GAL.	18" HT.	Cont.	76	

N/F  
 ZP CAMPUS EDGE LLC  
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CONTROL CORNER  
 N.C. GRID COORDINATES NAD83  
 N= 729,457.48  
 E= 2,090,165.52

N/F  
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- Plant material on this site must be installed in conformance with the City of Raleigh Code.
- Please refer to planting detail on sheet L-4.
- The following applies to the required landscape requirements for this site. Street trees shall have a 4" caliper at time of installation. Interior VSA trees shall have a 2 1/2" caliper at installation. Trees in the landscape buffer shall have a 2" caliper at installation. All shrubs shall be a minimum of 18" in height at installation. Additional landscaping above and beyond City of Raleigh requirements subject to change.
- Landscape Contractor shall notify owner and L.A. no later than one week prior to all required visits here in.
- Crape Myrtles: min. 3 stems max. 4 stems, min. 1" cal. per stem.
- All areas shall be seeded, sodded or mulch to the limits of construction based on actual field conditions beyond the approved plans. Field verify existing conditions.
- Steep slopes greater than 3:1 shall require hydro-seeding or other measures for stabilization unless otherwise approved by Owner.
- All mulch shall be double ground pine bark mulch to a depth of 4".
- All plants shall be in accordance with the latest edition of the American Association of Nurserymen.
- All landscape beds shall have positive drainage away from all structures.
- All plants shall be vigorous, healthy material free from pests and disease.
- Per the City of Raleigh Code of Ordinances, all shrubs shall be installed at 18" and must reach a height and spread of 30" within 3 years.
- All 2:1 slopes shall be sodded with a centipede grass for slope stabilization.
- All parking spaces are within 50' of a single canopy tree/within 75' of a group of 2 or more canopy trees.
- Contractor shall contact utility locator service to verify all subsurface utilities prior to and during or construction on the site. Contractor shall be responsible for any damage resulting from his activities.
- Plant material on this site must be installed in conformance with the general planting notes and details on this plan.
- All sod to be Rebel Fescue IV, Turf Gem, Lesco or equal. All seed to be Rebel Fescue IV, Turf Gem, Lesco or equal @ 6 lbs. per 1000 s.f.
- All above ground electrical transformers, dumpsters, and backflow prevention valve/hot boxes shall be screened from view while maintaining required access to local code standards.

**SCOPE OF WORK:**  
 Furnish all labor, materials, and equipment required or indicated by the drawings and specifications to complete the work including installation of all trees, shrubs, groundcover, annuals, seed, sod and mulch.

**MATERIALS AND WORK:**  
 The selection of all materials and the execution of all work required under the contract shall be subject to approval by the owner. The owner shall have the right to reject and all materials and any and all work, which in his opinion, does not meet the requirements of the contract.

**PLANT MATERIALS:**  
 All plant materials shall be nursery grown, freshly dug in the field, naturally shaped, well branched, fully foliated when in leaf with fully developed root systems. Trees must be self-supporting, with straight trunks and leaders in tact. All plants must be free of disease, insect infestation or their eggs and shall have been grown in climatic conditions similar to those of the project site.

**PLANT SIZE:**  
 Specified sizes indicates the minimum allowable size at planting. Where container and height/spreads are indicated for a single species, both size requirements shall be met. When only plant height or spread are indicated, container size shall be based on AAN standards.

**ORGANIC MATTER:**  
 Aged manure, compost or pine bark fines, at the option of the contractor, material shall be air dried, finely shredded and suitable for horticultural purposes and shall contain no more than 35% moisture content by weight.

**PINE BARK MULCH:**  
 All pine bark mulch shall be clean, double ground, fine textured nugget mulch with minimal amounts of sawwood content.

**TURF AREAS:**  
 Prior to any seeding or sod application, verify that all trenching and land disturbing activities have been completed. Ensure all areas are free of stones, large soil clods and any other construction debris.

**LANDSCAPE DATA**

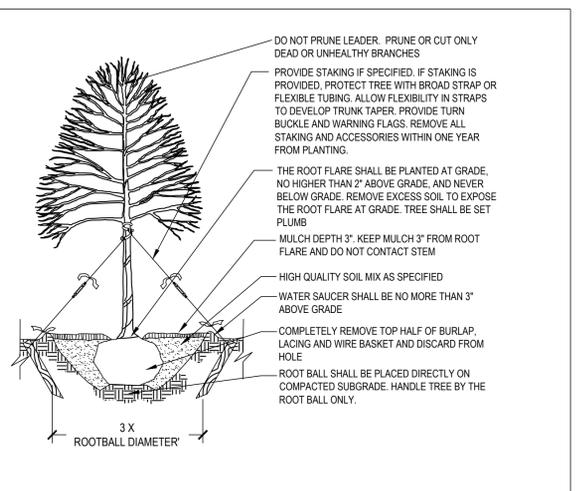
VEHICULAR SURFACE AREA #1	62,637 S.F.	2,000	31 TREES REQUIRED
			31 TREES PROVIDED
<b>VSA PERIMETER ISLANDS</b>			
	30 SHRUBS PER 100 L.F.		
<b>TYPE 1 SOUTH TRANSITIONAL PROTECTIVE YARD</b>			
TOTAL LENGTH OF BUFFER =	150 L.F.		
125 L.F. x .04	5 SHADE TREES REQUIRED		
	5 SHADE TREES PROVIDED		
125 L.F. x .03	4 UNDERSTORY TREES REQUIRED		
	4 UNDERSTORY TREES PROVIDED		
<b>TYPE 3 EAST TRANSITIONAL PROTECTIVE YARD</b>			
TOTAL LENGTH OF BUFFER =	133 L.F.		
133 L.F. x .06	8 SHADE TREES REQUIRED		
	8 SHADE TREES PROVIDED		
133 L.F. x .05	7 UNDERSTORY TREES REQUIRED		
	7 UNDERSTORY TREES PROVIDED		
133 L.F. x .60	80 SHRUBS REQUIRED		
	80 SHRUBS PROVIDED		



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 5011 SOUTHPARK DRIVE, STE. 200 - DURHAM, NC 27713  
 P: (919) 484-8880 F: (919) 484-8881 E: tony@tmtla.com

**Jones & Crossen**  
 Engineering, PLLC  
 221 N Salem St Apex, NC

REVISIONS:

**NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SEASON OCTOBER - APRIL
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

**CONTACT INFORMATION:**  
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:  
 TREES@RALEIGHNC.GOV  
 WWW.RALEIGHNC.GOV

**CITY OF RALEIGH**  
 PARKS, RECREATION AND CULTURAL RESOURCES DEPT  
 REVISIONS DATE BY 11/13 10/17 DS/SCAL

**TREE PLANTING DETAIL**  
 PRCR-03

**LANDSCAPE PLAN**  
**TRAILWOOD APARTMENTS**  
 Marlowe and Moye, LLC 312 west Millbrook Road  
 Suite 13, Raleigh North Carolina 27619

SCALE:  
 1"=30'  
 DRAWN BY:  
 TMT  
 PROJECT #  
 15003  
 DATE:  
 9/2/2016

SHEET  
**L-4**  
 OF 8

