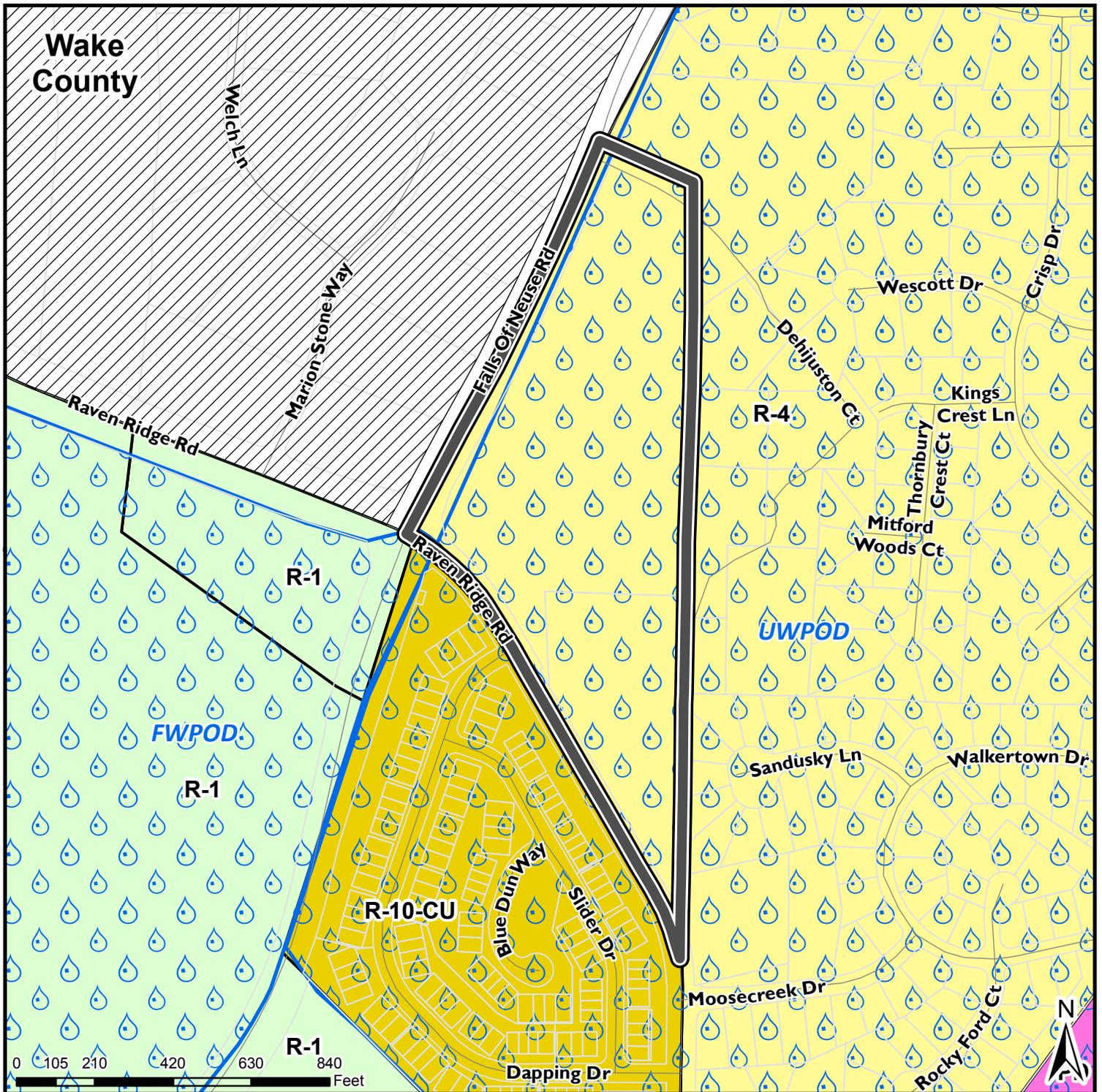


Existing Zoning Map

Z-15-2016



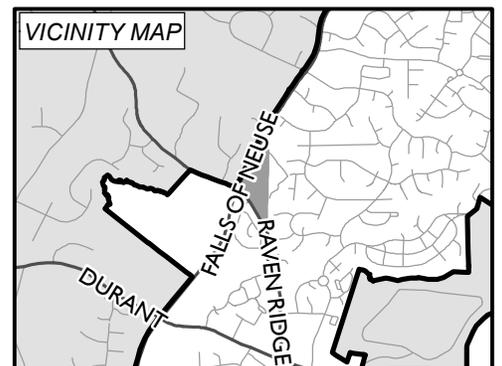
Submittal Date

1/26/2017

Request:

**17.3 acres from
R-4 w/UWPOD
to PD
w/ UWPOD**

VICINITY MAP



Rezoning Application



Department of City Planning | 1 Exchange Plaza, Suite 300 | Raleigh, NC 27601 | 919-996-2626

REZONING REQUEST			
<input type="checkbox"/> General Use <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Master Plan			OFFICE USE ONLY Transaction #
Existing Zoning Classification R-4; Urban Watershed Protection Overlay District (UWPOD)			
Proposed Zoning Classification Base District: PLANNED DEVELOPMENT Height: PD Frontage: N/A Overlay: UWPOD			
If the property has been previously rezoned, provide the rezoning case number: n/a			
Provide all previous transaction numbers for Coordinated Team Reviews, Due Diligence Sessions, or Pre-Submittal Conferences:			
Zoning Pre-Submittal: 452053			

GENERAL INFORMATION			
Property Address 10600 Falls of Neuse Road & 11258 Raven Ridge Road			Date January 17, 2017
Property PIN 1728-09-6122 & 1728-08-6494		Deed Reference (book/page) DB15674/Page128	
Nearest Intersection Raven Ridge and Falls of Neuse Roads			Property Size (acres) +/- 17.3 AC
Property Owner/Address SPENCOMM, LLC Attn: Jeremiah Jackson 8601 Six Forks Road; Suite 400 Raleigh, North Carolina 27615		Phone 919-438-2005	Fax 919-457-1826
		Email jeremiah@jacksonlawnc.com	
Project Contact Person/Address Thomas C. Worth		Phone 919-831-1125	Fax 919-831-1205
		Email curmudgtcw@earthlink.net	
Owner/Agent Signature		Email jeremiah@jacksonlawnc.com	

A rezoning application will not be considered complete until all required submittal components listed on the Rezoning Checklist have been received and approved.

John L. Smith

REZONING APPLICATION ADDENDUM

Comprehensive Plan Analysis

OFFICE USE ONLY

Transaction #

Rezoning Case #

The applicant is asked to analyze the impact of the rezoning request. State Statutes require that the rezoning either be consistent with the adopted Comprehensive Plan, or that the request be reasonable and in the public interest.

STATEMENT OF CONSISTENCY

Provide brief statements regarding whether the rezoning request is consistent with the future land use designation, the urban form map, and any applicable policies contained within the 2030 Comprehensive Plan.

1. Comprehensive Plan Future Land Use Map (FLUM): The FLUM designates this property as "Office and Residential Mixed Use", which implies future OX zoning. This proposed Planned Development with a base of CX zoning is not consistent with that suggestion – which is implied by staff as future OX zoning. However, the proposed office and residential uses put forth by the zoning are consistent with the FLUM designation – and at much lower densities than would be allowed if OX zoning were placed exclusively on the property. This Planned Development project puts forth minimum and maximums for residential dwelling units, retail uses, and office uses. The project has all three mixes blended on the property. With the slightly larger amount of retail uses proposed than office uses, the project team sees a substantial public benefit to meeting the retail demand in this location.

2. Policies AP-FON 1-9 from Falls of Neuse Area Plan: Please note that there are nine Policies within the Falls of Neuse Area Plan. Policies AP FON 2, 3, 4, and 5 are not applicable to this site. The proposed Planned Development zoning will be consistent the following applicable remaining policies: Policy AP FON 1 (Falls of Neuse Character); Policy AP FON 6 (Single Family Lot Frontage); Policy AP FON 7 (Combining Parcels for Cohesive Development); and Policy AP FON 8 (Accommodate Bicycle and Pedestrian Travel); and Policy AP FON 9 (Falls of Neuse Parking Areas). Complying with UDO Article 9.1, an average of 50' wide Tree Conservation Area will be provided along Falls of Neuse to ensure consistency with Policy AP-FON 1. Also within this Planned Development request, no parking is shown between a building façade that is located within 100' of either Falls of Neuse or Raven Ridge Road rights-of-way. With this, the project is consistent with AP-FON 9.

3. Actions AP-FON 1-4 from Falls of Neuse Area Plan: Please note that there are four Actions within the Falls of Neuse Area Plan. Actions 2 and 4 are location specific and are not applicable to this site. The proposed Planned Development zoning is consistent with Action AP-FON 1 that recommends an eight foot (8') wide path along Falls of Neuse Road be provided (project is proposing a ten foot (10') wide path along project frontage per City recommendations). The proposed Planned Development zoning is consistent with Action AP-FON 3 that recommends a public street connection between the southern end of Dehijuston Court with Raven Ridge Road. The project shows a public street between the existing single family residences (along the eastern property boundary) and Raven Ridge Road. We have also conditioned a public dead-end street (dead end due to existing cemetery) from the northern end of Dehijuston to Falls of Neuse Road, per staff guidance and per direct community guidance from the immediately adjacent single family residents and Mount Pleasant Baptist Church.

These zoning conditions have been voluntarily offered by the property owner. All property owners must sign each condition page. This page may be photocopied if additional space is needed.

Owner/Agent Signature John Spencer Print Name John Spencer

Policy LU 5.6 – Buffering Requirements – project is providing larger than required physical vegetated buffers on many of the perimeters of the site, particularly when adjacent to the adjacent single-family residences. Building heights and/or locations have been managed via conditions as well to ensure positive transitions between property and adjacent parcels.

Policy LU 6.1 – Composition of Mixed Use Centers – project is envisioned as mixed use center and is planned to have well-planned public spaces that bring people together and provide opportunities for active living and interaction

Policy LU 6.3 – project promotes multimodal transportation connections to employment areas.

Policy LU 6.4 – Bus Stop Dedication – project will ensure dedication of transit stop, shelter, and route internal to project site

Policy LU 7.1 – Encouraging Nodal Development - project is a mixed use development along a major corridor at a significant community intersection where pedestrian access, vehicular level of service, and transit mobility will all be enhanced.

Policy LU 7.5 – High Impact Commercial Uses – project specifically restricts the noted high-impact commercial uses, including but not limited to fast food restaurants, late night alcoholic beverage establishments, and convenience stores.

Policy LU 7.6 – Pedestrian Friendly Development – project is pedestrian friendly.

Policy LU 8.1 – Housing Variety – project will provide additional variety of housing opportunities for this section of Raleigh.

Policy LU 8.3 – Conserving, Enhancing, and Revitalizing Neighborhoods – project recognizes the importance of balancing the need to increase the housing supply and expanding neighborhood commerce with protecting the neighborhood character.

Policy LU 10.1 – Mixed Use Retail – project provides retail within a mixed-use community

Policy LU 10.6 – Retail Nodes – project provides retail uses within a mixed-use community along a major corridor.

Policy T1.3 – Multi-Modal Transportation Design – project offers residents safe and attractive mobility choices – with enhanced opportunities for transit (internal transit easement and stop), bicycle (2x required bike parking) and pedestrian (10' multi-modal path along Falls of Neuse, sidewalk along Raven Ridge, and connecting walk to Moose Creek Dr).

Policy T1.4 – Increasing Mobility Choice – project provides mobility choices for work trips either as a transit route, bicycle route, or pedestrian route with connections to Wake Med North, other surrounding employment centers, and residential communities.

Policy T1.6 – Transportation Impacts – project provides condition that ensures transportation improvements will occur prior to Certificate of Occupancy is gained for buildings on site.

Policy T2.1 – Integration of Travel Modes – project provides multiple modes of transportation improvements

Policy T2.2 – Defining Future Rights of Way – project provides right of way dedication along parcel frontage for all improvements to occur and to ensure proper infrastructure is in place for project

Policy T2.8 – Access Management Strategies – project has worked directly with City and NCDOT to ensure efficient access is provided based on functional characteristics, roadway users, and surrounding character of Falls of Neuse and Raven Ridge Rds. Of three access points proposed by project, there are two existing driveway locations.

Policy T2.9 – Curb Cuts – see Policy 2.8

Policy T 2.10 – Level of Service – project will improve LOS against the 2018 No-Build LOS (PM Peak drops from and F to a C while AM Peak drops from a D to a C).

Policy T3.2 – Accommodating Multiple Users – project provides appropriate right of way for all users

Policy T4.1 – Promoting Transit – project provides on-site transit easement, stop, and bike parking

Policy T4.8 – Bus Waiting Areas – project provides a shelter, bench, and amenities such as waste and bike parking

Policy T4.9 – Sidewalk Improvements Near Transit – project will provide all new sidewalks internal to site and paralleling site, thus ensuring accessible route enhancements within 1/3 of a mile to proposed transit stop

Policy T 4.15 – Enhanced Rider Amenities – project is providing on-site shelter, seating, and amenities.

Policy T5.1 – Enhancing Bike/Pedestrian Circulation – project is improving pedestrian and bicycling circulation along both Falls of Neuse and Raven Ridge corridors

Policy T5.2 – Incorporation Bicycle and Pedestrian Improvements – project exceeds the UDO requirements for bicycle facilities (2x the bike parking) and is enhancing the bicycle and pedestrian network in the area.

Policy T5.4 – Pedestrian and Bicycle Network Connectivity – project is enhancing the bicycle and pedestrian network in the area and is connecting several surrounding neighborhoods.

Policy T5.5 – Sidewalk Requirements – project is providing sidewalks along entire parcel frontage of Falls of Neuse and Raven Ridge Roads, as well as both sides of proposed public street connection to Dehijuston within the project site.

Policy T5.9 – Pedestrian networks – project will provide internal pedestrian network connecting the mixed use community (also mandated by the UDO).

Policy T5.10 – Building Orientation – project will provide accessible routes from front doors of buildings to a public

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Owner/Agent Signature John L. Spencer Print Name John Spencer

street (also mandated by the UDO).

Policy T6.6 – Parking Connectivity – project promotes multiple destinations connected by pedestrian trips within the mixed use area

Policy T8.1 – Truck Routes – project provides truck routing to Falls of Neuse (in and out) which is a designated local truck route, with direct access from north at US Route 1 (a designated thru truck route) or south from I540 (a designated thru truck route)

Policy EP 3.10 – Groundwater Protection –project provides a conditions to protect adjacent land owners on well system)

Policy EP 3.12 – Mitigating Stormwater Impacts – project provides condition to exceed required treatment and detention requirements by treating and detaining the 25-year storm event.

Policy EP 3.13 – Erosion BMPs – by law, the project will ensure regulatory controls are in place during construction to ensure sediment and erosion control

Policy EP 8.1 – Light Pollution – project provides condition that restricts the height of the light poles, ensure pole lights to be LED, and ensures that they are Full Cut-Off.

Policy EP 8.2 – Light Screening – project provides conditions that ensure Full Cut-Off fixtures, vegetated buffers, and footcandle limits.

Policy EP 8.3 – Night time Light Impacts – project provides condition stating the use of timer on pole lights to limit unnecessary lighting

Policy EP 8.4 – Noise and Light Impacts – project provides conditions to restrict lighting and noises

Policy EP 8.9 – LED Lighting – project provides condition that ensures LED lighting on pole lights

Policy H 1.1 – Mixed-Income Neighborhoods – project promotes mixed-income neighborhood through condition

Policy H 1.2 – Geographic dispersal of Affordable Units – project promotes workforce housing units in an area of the City not currently served – and within a mile of several WCPSS and Wake Med North as large employment centers

Policy H 1.8 – Zoning for Housing – project provides condition to ensure moderated cost of housing

Policy H2.13 – Transit Accessibility – project does not provide 'affordable' housing, but workforce housing with good (on-site) access to transit services

Policy PR 3.1 – Greenway Trail Expansion – project provides a 10' wide multi-use path along frontage of parcel to replace the existing 8' wide path that will be displaced with transportation improvements made to Falls of Neuse Road

Policy PU 1.1 – Linking Growth and Infrastructure – project is in an area of the City that is adequately served by utility infrastructure.

Policy PU 2.4 – Water and Sanitary Sewer Installation – project will comply with City's policies and UDO to ensure this

Policy PU 2.5 – Water and Sanitary Sewer Access – project will provide water and sewer service to all parcels of our project.

Policy UD 2.1 – Building Orientation – project provides condition that addresses buildings to Raven Ridge Road. Other public spaces will be created within the community, yet not via conditions.

Policy UD 2.2 – Multi-modal Design – project provides conditions that ensure accommodations for bicyclists, pedestrians, and public transit

Policy UD 2.3 – Activating the Street – project provides conditions that ensure activation of external and internal streets

Policy UD 4.1 – Public Gathering Spaces – project will provide internal public gathering spaces as part of the fabric of this mixed use community.

Policy UD 4.4 – Management of Sidewalk Space – project will provide sidewalks along landscaped streetscapes in many places that are currently unsafe for pedestrians.

Policy UD 4.5 – Improving the Street Environment – project provides a condition that will that promotes ground level retail and avoiding windowless facades

Policy UD 4.8 – Private Sector Public Space Improvements – project will provide publicly accessible public space in conjunction with the mixed use development.

Policy UD 5.3 – Improving Neighborhood Connectivity – project conditions connectivity to Raven Ridge HOA at Moose Creek via new sidewalk. Project will provide for connectivity to Raven Pointe community to south via pedestrian improvements along Raven Ridge and at intersection of Raven Ridge and Falls of Neuse.

PUBLIC BENEFITS

Provide brief statements regarding the public benefits derived as a result of the rezoning request.

These zoning conditions have been voluntarily offered by the property owner. All property owners must sign each condition page. This page may be photocopied if additional space is needed.

Owner/Agent Signature John Spencer III Print Name John Spencer

1. The proposed Spencer Ridge Planned Development community will incorporate a variety of land uses, including retail, office, and residential. Mixed use development is generally accepted as an effective means to reduce vehicular trips, enhance transit use, and enhance walkability scores.
2. The proposed Spencer Ridge Planned Development community will provide much-needed retail and office use at the northern end of the Falls of Neuse Road corridor in a location designated as "Corridor Transition #1".
3. The proposed Spencer Ridge Planned Development community will bring much-needed and substantial roadway and sidewalk improvements to Falls of Neuse Road and Raven Ridge Road, along with enhanced multi-modal opportunities for this section of Raleigh. Please reference the submitted Traffic Impact Analysis showing the Level of Service ("LOS") grades improvements for the intersection of Raven Ridge Road and Falls of Neuse Road during both the AM and PM Peak hours.
4. The proposed Raven Ridge Planned Development community will provide additional housing options for this area of North Raleigh. In addition to the diversity of product type, the new community will provide affordable and workforce housing which the Raleigh City Council has identified as a needed component for our city.
5. The proposed Spencer Ridge Planned Development community will provide stormwater improvements to serve as a benefit to the entire community.

REZONING APPLICATION SUBMITTAL REQUIREMENTS					
TO BE COMPLETED BY APPLICANT			COMPLETED BY CITY STAFF		
General Requirements – General Use or Conditional Use Rezoning	YES	N/A	YES	NO	N/A
1. I have referenced the Rezoning Checklist and by using this as a guide, it will ensure that I receive a complete and thorough first review by the City of Raleigh	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
2. Rezoning application review fee (see Fee Schedule for rate)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
3. Completed application; Include electronic version via cd or flash drive	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
4. Two sets of stamped envelopes addressed to all property owners within 100 feet of property to be rezoned	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Pre-Application Conference	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Neighborhood Meeting notice and report	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Trip Generation Study	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. Traffic Impact Analysis	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
9. Completed and signed zoning conditions	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
10. Completed Comprehensive Plan Consistency Analysis	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
11. Completed Response to the Urban Design Guidelines	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
12. For applications filed by a third party, proof of actual notice to the property owner	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
13. Master Plan (for properties requesting Planned Development or Campus District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			

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Owner/Agent Signature John S. III Print Name John Spencer

SPENCER RIDGE

PROPOSED PLANNED DEVELOPMENT (PD) DISTRICT

Z-15-16

Developer: D&N Development

700 Exposition Place - Suite 131

Raleigh, North Carolina 27615

919.845.5903

Attention: Daniel Brown

daniel.brownadvisory@gmail.com

Attention: Nick Brown

nickbrown@ndbcommercial.com

Site Planning: DHM Design

727 West Hargett Street

Suite 101

Raleigh, North Carolina 27603

919.805.3586

Attention: Graham Smith, PLA

gsmith@dhmdesign.com

**Civil Engineering: John A. Edwards and
Company**

333 Wade Avenue

Raleigh, North Carolina 27605

919.828.4428

Attention: Johnny Edwards, PE

johnny@jaeco.com

Attorney: Thomas C. Worth Jr.

127 West Hargett Street

Suite 500

Raleigh, North Carolina 27601

919.831.1125

Attention: Tom Worth, Esq.

curmudgtcw@earthlink.net

Initial Submittal Date: January 25, 2017

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DRAWINGS (included within this PD submittal):

- EXISTING CONDITIONS PLAN/VICINITY PLAN
- TREE CONSERVATION /PUBLIC STREETS/ BLOCK LAYOUT PLAN
- SITE DEVELOPMENT PLAN (including the following elements):
 - BUILDING LOCATIONS + BUILDING SETBACKS/BUILD-TO'S + LANDSCAPE AREAS/BUFFERS
 - TREE CONSERVATION + PUBLIC RIGHTS-OF-WAY
- SITE DEVELOPMENT DIAGRAM (including the following elements):
 - TRANSIT EASEMENTS + PEDESTRIAN CIRCULATION + PARKING PLAN + OPEN SPACE/AMENITY AREAS
- PHASING PLAN
- COMMON SIGNAGE PLAN
- UTILITIES SERVICE PLAN
- STORMWATER MANAGEMENT PLAN
- ILLUSTRATIVE THREE-DIMENSIONAL MODEL

Rezoning Case Number: Z-15-16

Development Name: Spencer Ridge

Current Property Owners: Spencomm, LLC
8601 Six Forks Road
Suite 400
Raleigh, NC 27615

Developers/Applicants: D&N Development
700 Exposition Place
Suite 131
Raleigh, NC 27615

2: EXISTING PROPERTY INFORMATION

Parcel Data (Two Parcels): PIN 1728096122 @ 12.67 acres
PIN 1728086494 @ 4.65 acres

Total Acreage: 17.32

Property Location: East of (Northeast corner) of intersection of Falls of Neuse Road and Raven Ridge Road.

Property Frontages: Falls of Neuse Road (entire western frontage)
Avenue 6-Lane Divided
Raven Ridge Road (entire southern frontage)
Avenue 2-Lane Divided

3: EXISTING PROPERTY ZONING

Current Zoning (Both Parcels): R-4-UWPOD

Future Land Use Map: Office + Residential Mixed Use

4: PROPOSED PROPERTY ZONING

Proposed Rezoning: PD (Planned Development) with base CX zoning

Proposed Overlays: UWPOD

5: PROJECT SYNOPSIS and GENERAL DESIGN PRINCIPLES

The following rezoning request outlines a proposed rezoning of two parcels of land located on the Northeast corner of the intersection of Falls of Neuse Road and Raven Ridge Road in north Raleigh. This site is north of I-540 and is within the North CAC. The concept shown within this request outlines a mixed-use community that integrates residential uses with commercial and office uses. The 17.32 acre site will blend between 150-220 residential dwelling units, including Raleigh's first voluntary rezoning commitment of affordable housing with a mix of commercial uses, including retail spaces, eating establishments, office spaces, and medical office spaces. The residential dwelling units will have most, if not all, of their designated parking spaces underground to ensure that land area impacts are minimized.

In keeping with low impact development techniques, the permanently dedicated tree conservation areas are set to a minimum of 20% of the final subject parcel size (which is 2x the city-mandated 10% area) while the development also ensures a minimum of 40% pervious surface throughout the development as well as the treatment and detention of a 25-year storm event, far exceeding the city-mandated 10-year storm. While also committing to detain all committed stormwater in either metal or concrete vaults or cisterns, the development also commits to utilize captured stormwater for irrigation of the site's planted landscape.

As a pedestrian-oriented community where one can live, work, dine, and/or shop, the community will have public and private pedestrian walks throughout supplemented by at least 10% of the site dedicated as open space accessible to the public with three community gathering spaces of over 3,500 s.f. each to be used for community events, dog walking, community gatherings, and children's play. The community will also ensure greater neighborhood and Raleigh connectivity as 2x the UDO-required bicycle parking areas will be provided, along with a bicycle repair/pump area, an on-site transit shelter, and an on-site bus transit route easement. External (to the site) pedestrian enhancements will occur in the form of a new sidewalk connecting Moosecreek Drive to our site within the public right-of-way for Raven Ridge Road as well as a new sidewalk along the entire Raven Ridge Road frontage. Along the Falls of Neuse Road right-of-way, there is an existing 8' wide multi-use asphalt trail. As road

enhancements will occur along the entirety of this frontage, as well as up to 450' south of the Falls/Raven Ridge intersection, it is expected that this multi-use path will be reconstructed 'closer' to our site, but still paralleling our frontage, at a minimum of 8' wide and constructed with either asphalt or concrete within the right-of-way. It is intended that this multi-use path will allow bicyclists and pedestrians to gain safe access to the site by traversing the Falls of Neuse Road corridor, while also functioning as the city's required sidewalk along this frontage. This is also referenced below in Project Transportation Impacts. Internal sidewalks will guide pedestrians safely through the community by linking the community spaces and bus transit stop with the array of proposed uses.

Given the suburban context of the land development along both Falls of Neuse Road and Raven Ridge Road, our site will architecturally blend with the size and scale of this area. The project will utilize construction materials such as brick, stone, glazed glass, and stucco masonry which directly relate to the materials that are integrated to the surrounding community and the Mount Pleasant Baptist Church. Road layouts within this part of Raleigh are not a rigid grid and are more of winding, suburban context in nature. Our public road connecting Dehijuston to Raven Ridge Road follows this framework while ultimately allowing for greater community connectivity if the parcels to the east are ever redeveloped while also ensuring project consistency with the Falls of Neuse Area Plan guidance.

The site and building arrangement has been created to with the following four goals being the key drivers to the layout:

- To create a walk-able and connected mixed-use development that fits the context of this area of Raleigh. As the intensity of North Hills is not appropriate for this area, yet the blending of uses within a site of this scale, at a key corner within North Raleigh has many merits. As Raleigh's Comprehensive Plan suggests, mixed use communities should be the development pattern of the future of Raleigh and they should occur at intersections and nodes throughout the City.
- To provide a 'front' along Falls of Neuse Road and Raven Ridge Road, thus working with the City of Raleigh's planning guidance within the Comprehensive Plan to create street frontage facades and to enliven the corridor with pedestrian scaled development.
- To protect the primary tree conservation areas along Falls of Neuse Road as well as to provide additional tree conservation areas throughout the site to ensure that the

character of the Falls of Neuse corridor is protected and that the project is consistent with the Falls of Neuse Area Plan guidance.

- To place parking areas either under buildings, behind buildings, or behind extensive landscape areas to limit their conscious and sub-conscious impact on the surrounding community and visitors to the planned development. All parking areas are protected from outward views by one of these three above-stated approaches.

The project developer commits to engage a public artist for a commissioned public art piece with a minimum value of \$25,000. The work shall be coordinated with the landscape and architectural character of the site and shall occur in an area that is visually and physically accessible to the public.

Consistency with the Comprehensive Plan, including the Urban Design guidance, is stated within the Statement of Consistency section of the Rezoning Application that is included as part of this packet.

6: PROPOSED USES

All allowable CX uses except the following:

- Boardinghouse
- Dormitory, Fraternity, Sorority
- Telecommunication Towers of all sizes
- Indoor recreation - skating rink
- Indoor recreation - adult establishment
- Outdoor recreation – golf course
- Outdoor Sports or Entertainment Facility of all sizes
- Commercial Parking Lot
- Remote Parking Lot
- Passenger Terminal
- Heliport of all types
- Animal Care-indoor
- Bar, nightclub, tavern, lounge
- Pawnshop
- Vehicle Fuel Sales, but not to exclude Electric Vehicle Charging Station(s)

- Vehicle Sales/Rental
- Detention center, jail, prison
- Light manufacturing
- Self-service storage
- Car wash
- Vehicle repair of all types
- Any establishment selling firearms

7: PROJECT USE MIX

Entire Property Commitments (% of final site surface square footage after public rights of way removed):

Tree Conservation Areas (TCA) - Primary and Secondary:	20% minimum
Pervious Surface – plantings and landscaping:	42% minimum
	<i>(22% additional to the above-noted TCA)</i>

Entire Property Commitments (% of Gross Built Floor Areas – all floor areas):

Eating Establishment or Retail Sales:	0% minimum and 35% maximum
Office and/or Medical Office Use:	2% minimum and 10% maximum
Residential dwelling units:	50% minimum and 75% maximum

8: PROJECT BUILDING TYPES and SIZES

Entire Property:	Three Building Types: <ul style="list-style-type: none"> ▪ General Building ▪ Mixed Use Building ▪ Apartment Building
General Building:	Three buildings on site (A, C, and D) <ul style="list-style-type: none"> ▪ Totals not to exceed 79,750 s.f. ▪ Total retail sales and/or eating establishment uses of these three buildings not to exceed 79,750 s.f. ▪ Transparency for facades per UDO ▪ No Build-To commitments other than what is shown on plan as building locations

- Bldg. A
 - Not to exceed 10,250 s.f.
 - Not to exceed 1 story
 - Not to exceed 25' height with additional 3' for parapet
 - No drive thru windows allowed
 - Setback to Raven Ridge Road (future ROW) to be 10' minimum
 - Setback from Falls of Neuse Road (future ROW) to be 10' minimum
- Bldg. C
 - Not to exceed 20,000 s.f.
 - Not to exceed 1 story
 - Not to exceed 25' height with an additional possible 3' for parapet
 - No drive thru windows allowed
 - Setback to Raven Ridge Road (future ROW) to be 10' minimum
 - Setback from Falls of Neuse Road (future ROW) to be 10' minimum
 - Setback from new proposed public road (future ROW) accessing Raven Ridge Road to be 150' minimum
- Bldg. D
 - Not to exceed 49,500 s.f.
 - Only to be used for retail sales and/or eating establishment
 - Not to exceed 1 story
 - Not to exceed 45' height (inclusive of parapet)
 - Drive thru window allowed only for pharmacy-related activity with no free-standing callbox/order station allowed

- Setback from Falls of Neuse (future ROW) to be 50' minimum
- Setback from Raven Ridge Road (future ROW) to be 500' minimum
- Setback from existing eastern property boundary to be 70' minimum
- Setback from existing northern property boundary to be 300' minimum

Mixed Use Building: One building on site (B)

- Totals not to exceed 31,250 s.f.
- Not to exceed 16,750 s.f. of retail sales and/or eating establishment
- Not to exceed 14,500 s.f. office and/or medical office
- Not to exceed 2 stories
- Not to exceed 40' height (inclusive of parapet)
- Transparency for facades per UDO
- No Build-To commitments other than what is shown on plan as building locations
- No drive thru windows allowed
- Setback from Raven Ridge Road (future ROW) to be 10' minimum
- Setback from Falls of Neuse Road (future ROW) to be 10' minimum

Apartment Building One building on site (E)

- Units may be rental or condominiums (ownership structure is not part of this Planned Development request)
- Units not to exceed 190 units
- Units not to be less than 150 units
- Underground parking consisting of no less than 150 vehicle spaces

- Underground parking consisting of no less than 75% of the UDO-required parking for residential units
- To comply with heights per CX-4 limitations noted within the UDO (62' height)
- Transparency for facades per UDO
- No Build-To commitments other than what is shown on plan as building locations
- Setback from Raven Ridge Road (future ROW) to be 150' minimum
- Setback from Falls of Neuse Road (future ROW) to be 225' minimum
- Setback from existing eastern property boundary to be 50' minimum
- Setback from new proposed public road (future ROW) accessing Raven Ridge Road to be 30' minimum
- No less than twenty percent (20%) of the total dwelling units on the subject property (thus a minimum of 30 dwelling units and a maximum of 38 dwelling units) shall be dedicated for housing for households having incomes at or below 80% of the area median income (AMI) adjusted by household size for the Raleigh MSA and with rents and tenant paid utilities not exceeding 115% of the Fair Market Rent as determined by HUD annually. This housing commitment linked to 80% of the AMI shall be deed restricted and enforced via specific protocols set forth for monitoring by City of Raleigh's Housing and Neighborhoods Department. If the City is not able to monitor or evaluate the effectiveness of this condition, then a third party provider shall be selected by the City of Raleigh's Housing and Neighborhoods Department and designated to land owner in order to ensure enforcement and monitoring.

9: PROJECT PHASES

Phase I:

General Building

- Three buildings on site (A, C, and D)

Mixed Use Building

- One building on site (B)

Site Improvements

- Entire Site Tree Conservation
- Proposed onsite and offsite public streets improvements (and associated easements, plats, rights of way recordings) - See Project Traffic Impacts section for detailed list of improvements. Improvements shall be made prior to issuance of the first certificate of occupancy for new development on the subject properties, in accordance with the UDO.
- Proposed onsite public transportation enhancements (and associated easements) – bus shelter, bicycle maintenance rack, bicycle air pump, and associated long-term and short-term bicycle parking spaces. Improvements shall be made prior to issuance of the first certificate of occupancy for new development on the subject properties, in accordance with the UDO.
- Associated onsite and offsite public utility upgrades (and associated easements) - sanitary sewer and water, in accordance with the UDO
- Stormwater management controls for entire site’s final buildout impervious condition – to account to the detention and treatment of a 25-year storm event, otherwise in accordance with the UDO

Phase II:

Apartment Building

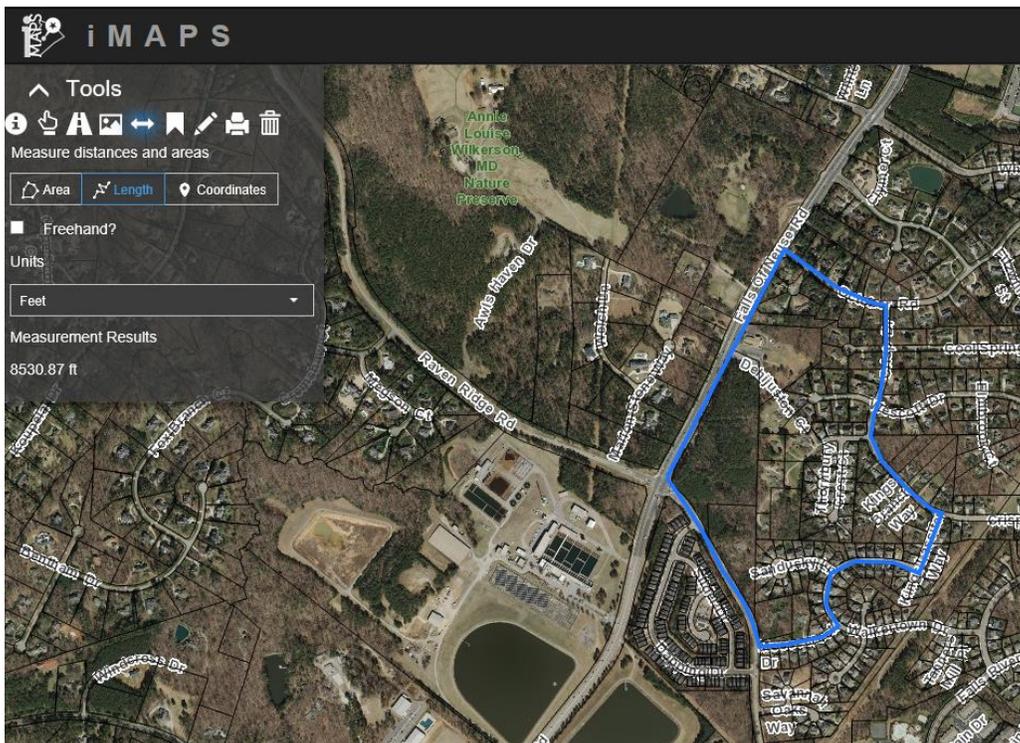
- One building on site (E)
- Associated underground parking

Site Improvements

- Associated amenity areas for apartment building
- Associated pedestrian areas around apartment building
- Associated final landscaping and grading around apartment building
- Associated long-term and short-term bicycle parking spaces around apartment building
- Associated utility and drainage connections for apartment building - sanitary sewer, water, stormwater

10: PROJECT BLOCK CONFIGURATION AND ANALYSIS

Currently, there is no block smaller than 8,500 linear feet encircling the site, as shown in this diagram (showing 8,530.87 feet).



In the attempt to integrate this plan with the surrounding road system and the priorities outlined within the Falls of Neuse Area Plan, the project proposes a new public road connecting the eastern boundary with Raven Ridge Road. This ensures consistency with the Falls of Neuse Area Plan. With this proposed road, there will be are two blocks created. One to the east and

south, and one to the north and east. Both are shown on the Block Diagram shown within the submitted drawings included in this package. To the east and south, a block of approximately 5,200 linear feet connects Raven Ridge Road, Moosecreek Drive, Walkertown Drive, King Lassiter Drive, Crisp Drive, and Kings Crest Lane, and finishes the loop with the proposed future Kings Crest extension (current private access easement for Dehijuston Court). To the east and north, a block of approximately 6,200 linear feet connects Raven Ridge Road, Falls of Neuse Road, October Road, Crisp Drive, and Kings Crest Lane, and finishes the loop with the proposed future Kings Crest extension (current private access easement for Dehijuston Court).

The project considered a second public road across the northern portion of the site but it was determined that due to the existing cemetery on the adjacent property to the north and east of the subject parcel, a public road and or dead end stub street would not be feasible in this location, in accordance with several stipulations noted in UDO Article 8.3. At this northern end, the project does however commit to creating a recorded access easement to ensure continued public access for the residents of Dehijuston Courth and members of the Mount Pleasant Baptist Church.

As there are many internal pedestrian routes that link the uses within the site to an external public pedestrian way, the team is also open to further exploring, with the City's guidance, the dedication of an internal pedestrian passage (and easement) through the site. As there is already a commitment to provide a public transit easement across the site linking Falls of Neuse Road to Raven Ridge Road, this may be a probable route to consider such an easement.

11: PROJECT FRONTAGES AND LANDSCAPE BUFFERS

Falls of Neuse Road frontage:

- Road shall be built out in accordance with Project Traffic Impacts and in accordance with the UDO Article 8.4 New Streets and the City of Raleigh Street Design Manual for an Avenue Six-Lane Divided Roadway
- No applied Frontage Requirements per UDO Article 3.4
- Primary Tree Conservation Area for entire frontage, resulting in an average width of 50' of TCA
 - Ranges from 0' wide to 100' wide

- Excludes frontages where public rights of way, private accessways, and utility crossings occur perpendicular to Falls of Neuse right of way
- Utilizes all other measurables from UDO Article 9.1
- Minimum Type C2 Street Protective Yard along entire frontage per UDO Article 7.2.4
- Street Trees per UDO Article 8.4.2.D with the acknowledgement that this frontage is along an NCDOT road.

Raven Ridge Road frontage:

- Road shall be built out in accordance with Project Traffic Impacts and in accordance with the UDO Article 8.4 New Streets and the City of Raleigh Street Design Manual for an Avenue 2-Lane Divided Street
- No applied Frontage Requirements per UDO Article 3.4
- Secondary Tree Conservation Area for entire frontage, resulting in an average width of 35' of TCA
 - Ranges from 0' wide to 100' wide
 - Excludes frontages where public rights of way, private accessways, and utility crossings occur perpendicular to Falls of Neuse right of way
 - Utilizes all other measurables from UDO Article 9.1
- Minimum Type C2 Street Protective Yard along entire frontage per UDO Article 7.2.4
- Street Trees per UDO Article 8.4.2.D with the acknowledgement that this frontage is along an NCDOT road

New Public Road (connection from eastern property line/Dehijuston to Raven Ridge Road)

frontage:

- No applied Frontage Requirements per UDO Article 3.4
- Road shall be built out in accordance with Project Traffic Impacts and in accordance with the UDO Article 8.4 New Streets and the City of Raleigh Street Design Manual as an Avenue 2-Lane Undivided Mixed Use Street
- Minimum Type C2 Street Protective Yard along entire frontage per UDO Article 7.2.4
- Street Trees per UDO Article 8.4.2.D

Eastern property boundary (adjacent to single family homes and one parcel of cemetery owned by adjacent church):

- Secondary Tree Conservation Areas to be placed per the attached drawings and per UDO Article 9.1
- Where Tree Conservation Areas not able to occur, a minimum 35' wide Type B2 Transitional Protective Yard with a fence along entire frontage per UDO Article 7.2.4

Northern property boundary (adjacent to parcel owned by adjacent church):

- Church parking area that is currently on subject parcel to be rebuilt in similar configuration as is today, blending asphalt across the existing property line, with no landscaping along the existing property line (to continue to allow for shared parking for the church).
- Shared parking agreement to be procured with Church.
- Between the reconfigured church parking area and new private accessway (with access easement to allow permanent access to the Dehijuston private access drive and church parking area), there shall be a Type C1 Street Protective Yard with either a fence or wall

12: PROJECT SITE LIGHTING

Site Lighting shall comply with UDO Article 7.4, except with the following proposed deviations

- All light fixtures for parking areas may be no higher than 26 feet (more restrictive than UDO Article 7.4.5.A)
- All light fixtures for parking areas will be full cutoff (more restrictive than UDO Article 7.4.5.E)
- All light fixtures for parking areas will be LED (more restrictive than UDO Article 7.4.5.A)

13: PROJECT TREE CONSERVATION

- Tree Conservation shall comply with UDO Article 9.1 and shall be provided on a minimum of 20% of the final square footage of the subject parcel (after public rights of way remove square footage from the subject parcel)
- Final square footages to be completed in concurrence with all rights-of-way are platted
- Minimum square footages and locations of Tree Conservation Areas are shown on drawings

14: PROJECT OPEN SPACE and AMENITY AREAS

- The project shall provide at minimum 10% of open space, as noted on the submitted drawings with this package
- Open space shall adhere to UDO Article 2.5
- Project commits to a minimum of three community amenity spaces that have the following designated activities – one committed to children’s activities, one committed to community gatherings, and one committed to dog activities

15: PROJECT PARKING

Vehicle Parking shall comply with UDO Article 7.1, with the additional commitments:

- Project shall ensure that no less than 150 vehicle parking spaces shall be placed underground in a structure with direct access to Building E: Apartment Building.
- The project commits that 75% of all UDO-required parking for residential dwelling units shall be parked in an underground structure with direct access to Building E: Apartment Building.

Bicycle Parking shall comply with per UDO Article 7.1, with the additional commitments:

- Total number of bicycle parking spaces on entire subject parcel shall be 2x the UDO-required amount
- Project shall ensure that no less than 6 bicycle parking spaces shall be placed within 50’ of proposed bus transit stop internal to site
- Project will ensure that a surface-mounted air pump, bicycle tire changing rack, will be placed within 50’ of proposed bus transit stop internal to site

16: PROJECT BUS TRANSIT COMMITMENTS

- Planned Development will provide at minimum one covered bus shelter at 4’x 8’ internal to site with required easement around it.
- Planned Development will provide 20’-24’ wide transit route easement internal to site that will allow for a bus to enter site from Falls of Neuse Road and exit at Raven Ridge Road (this is based on currently known Go Triangle routes within vicinity at time of submittal)
- Project shall ensure that no less than 6 bicycle parking spaces shall be placed within 50’ of proposed bus transit stop internal to site

- Project will ensure that a surface-mounted air pump, bicycle tire changing rack, will be placed within 50' of proposed bus transit stop internal to site

17: PROJECT TRAFFIC IMPACTS

- Total Traffic Count Trips shall not exceed 10,000 new trips
- Traffic count trips shall not exceed 400 AM Peak Hour trips
- Traffic count trips shall not exceed 675 PM Peak Hour trips
- Prior to issuance of the first certificate of occupancy for new development on the subject properties, the improvements as described herein (directly related to the development's Traffic Impact Analysis) shall be built by the site developers, subject to review and approval by letter from the North Carolina Department of Transportation notifying that the development has been built to NCDOT Standards. The development-related transportation improvements are as follows:

RECOMMENDED IMPROVEMENTS

The results of the traffic study showed that several improvements are required in order to mitigate proposed site traffic. The recommended improvements are included in the sections below.

The following improvements are needed in the Build-Out condition in order to improve operations and safety along the roads adjacent to the property:

Falls of Neuse Road at Dehijuston Court/Site Access #2:

- Install a southbound two-phase left-over signal that operates in the PM peak hours
- Construct northbound right-turn lane
 - Provide full storage
- Extend southbound left-turn lane storage length to 500'
- Construct dual westbound right-turn lanes (no left-turn allowed)

Falls of Neuse Road at Site Access #1:

- Construct right-in/right-out driveway

Falls of Neuse Road at Raven Ridge Road:

- Construct an additional northbound thru lane to Dehijuston Court
 - Begin lane 400' south of intersection
- Construct an additional southbound left-turn lane
 - Provide 500' of storage
- Construct westbound right-turn lane
 - Provide 450' of storage
- Restripe existing westbound thru/right-turn lane to exclusive thru lane

Raven Ridge Road at Site Access #3:

- Construct an eastbound left-turn lane
 - Provide 175' of storage

- During permitting reviews, in the event that NCDOT or City of Raleigh request project transportation improvements that are different than noted in Exhibit A, then project must provide final improvements that will ensure that AM and PM Peak Hour Levels of Services are met or exceeded as set forth in the TIA. No more than an increase of 88 primary trips in the PM peak hour shall occur without any adjacent street improvements. An exclusive right turn lane must be constructed on the westbound approach of Raven Ridge Road at Falls of Neuse Road if there is an increase in primary trips in the PM peak hour between 89 and 216. If there is more than an increase of 216 primary trips in the PM peak hour then all improvements listed in Exhibit A shall be built by the site developers, subject to review and approval by letter from the North Carolina Department of Transportation notifying that the development has been built to NCDOT Standards.

18: PROJECT SIGNAGE

- Signage to occur in accordance with UDO Article 7.3 with allowed sign modifications as noted in UDO Section 4.7.3 and as noted on submitted drawings with this package
- Signage throughout the site will be cohesively integrated with the building materials of the proposed buildings with architectural references of the brick, stone, and metal materials to be used within the proposed buildings

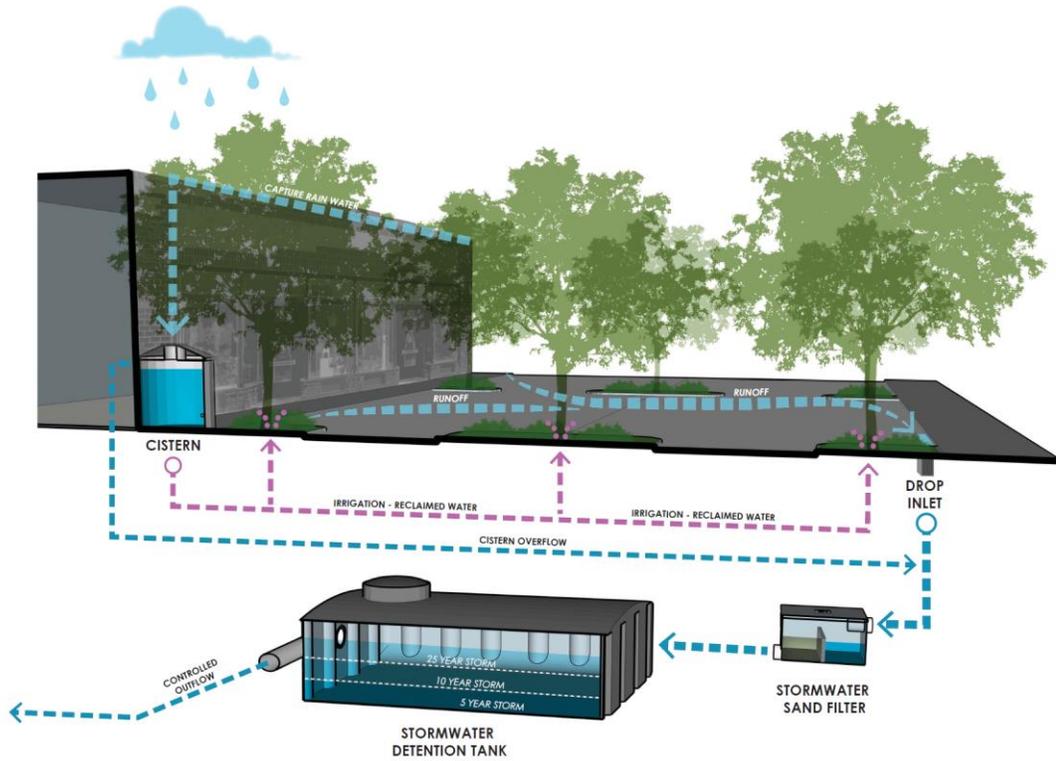
19: PROJECT PUBLIC UTILITIES

- Water: Water service to be provided in accordance with all applicable regulations and as noted on the submitted drawings with this package
- Sanitary Sewer: Sanitary Sewer service to be provided in accordance with all applicable regulations and as noted on the submitted drawings with this package

20: PROJECT STORMWATER MANAGEMENT

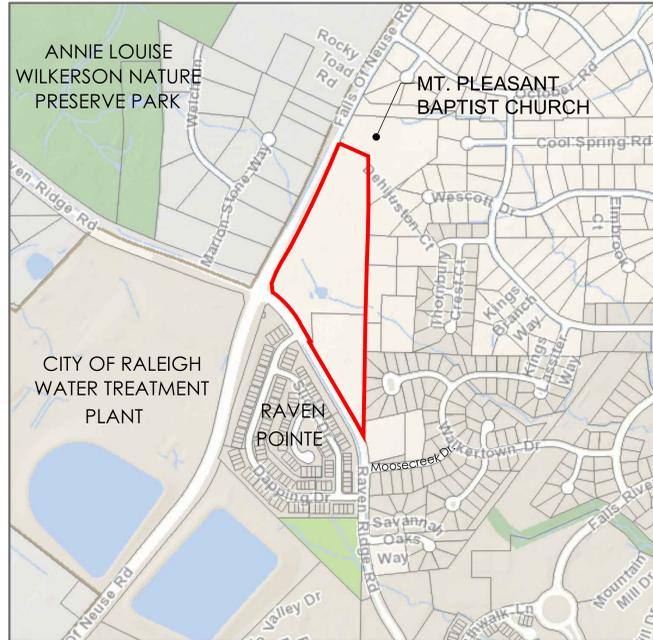
Overall Concept: This project is being designed to exceed the City's requirements put forth and referenced in UDO Article 9.2. In particular, the project will treat and detain on-site stormwater for a 25-year storm event, instead of a 10-year storm.

The project will incorporate the use of cisterns to capture at minimum 40% of the roof water. This roof water will then be utilized for site irrigation. Any overflow from these cisterns will be discharged through an underground sand filter system and then into an underground detention cistern. This stormwater treatment and detention system will be fully enclosed underground. This diagram shows the conceptual thought process of the project's stormwater system.



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VICINITY MAP

SPENCER RIDGE
10600 FALLS OF NEUSE RD & 11258 RAVEN RIDGE RD
RALEIGH, NORTH CAROLINA, 27615
PIN # 1728096122 & 1728086494

PROJECT NUMBER: 14370.00 DATE: 01.25.2017

DESIGNED:
DRAWN:
CHECKED:

REVISIONS:
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JOB DESCRIPTION:
PLANNED DEVELOPMENT
DISTRICT APPLICATION

SHEET TITLE:
EXISTING
CONDITIONS /
VICINITY PLAN

SHEET NUMBER:

L101
SHEET OF

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SPENCER RIDGE
10600 FALLS OF NEUSE RD & 11258 RAVEN RIDGE RD
RALEIGH, NORTH CAROLINA, 27615
PIN # 1728086122 & 1728086494

PROJECT NUMBER: 14370.00 DATE: 01.25.2017

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JOB DESCRIPTION:
PLANNED DEVELOPMENT
DISTRICT APPLICATION

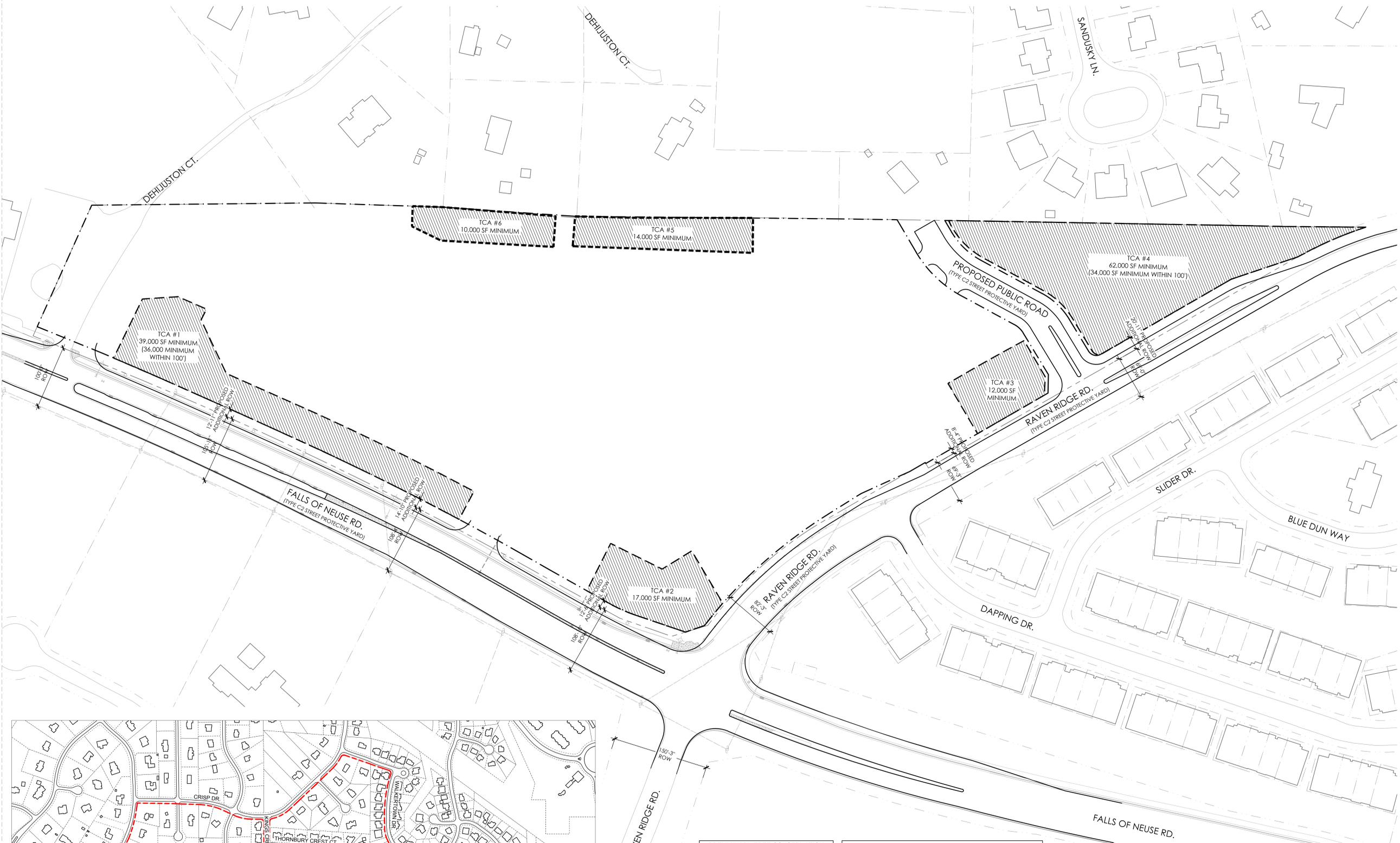
SHEET TITLE:

TREE CONSERVATION /
PUBLIC STREETS /
BLOCK LAYOUT PLAN

SHEET NUMBER:

L201

SHEET OF



PRELIMINARY TREE CONSERVATION AREA (TCA)	
DESCRIPTION	AREA (S.F.)
GROSS LOT AREA	757,791
ADJUSTED LOT AREA	707,655
REQUIRED TCA (10%)	70,766
PROPOSED TCA (20% MINIMUM)	154,000
TCA #1	39,000
TCA #2	17,000
TCA #3	12,000
TCA #4	62,000
TCA #5	14,000
TCA #6	10,000

PRELIMINARY TREE CONSERVATION AREA (TCA) FRONTAGE CALCULATIONS			
DESCRIPTION	LENGTH (L.F.)	AREA (S.F.)	
RAVEN RIDGE ROAD	GROSS	1,239	
	ADJUSTED	1,166	
	TCA REQUIRED (AVG. 40')		46,640
FALLS OF NEUSE ROAD	GROSS	1,132	
	ADJUSTED	982	
	TCA REQUIRED (AVG. 50')		49,100
TCA PROPOSED (MIN. 0', MAX. 100')			50,000

* NOTE: TREE CONSERVATION AREAS AND FRONTAGE CALCULATIONS SHALL BE FINALIZED AFTER SITE PLAN APPROVAL TO ACCOUNT FOR FINAL RIGHTS-OF-WAY DEDICATIONS. MINIMUMS STATED WITHIN APPLICATION WILL BE UPHELD.

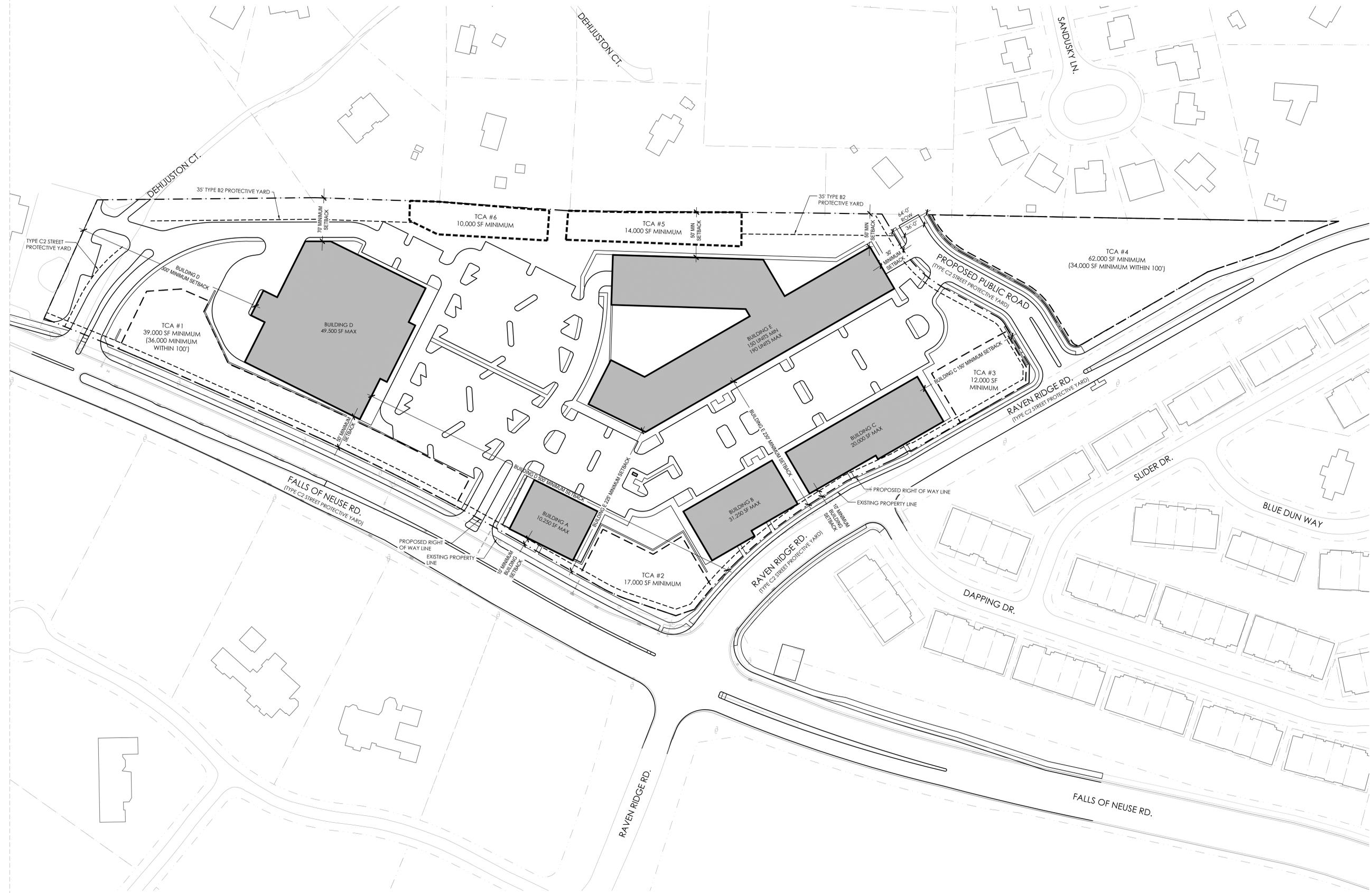
* NOTE: FINAL RIGHT-OF-WAY WIDTHS SHALL BE FINALIZED AFTER SITE PLAN APPROVAL AND NCDOT APPROVAL.



BLOCK DIAGRAM

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10600 FALLS OF NEUSE RD & 11258 RAVEN RIDGE RD
RALEIGH, NORTH CAROLINA, 27615
PIN # 1728096122 & 1728086494

PROJECT NUMBER: 14370.00 DATE: 01.25.2017

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JOB DESCRIPTION:
PLANNED DEVELOPMENT
DISTRICT APPLICATION

SHEET TITLE:

SITE DEVELOPMENT
PLAN

SHEET NUMBER:

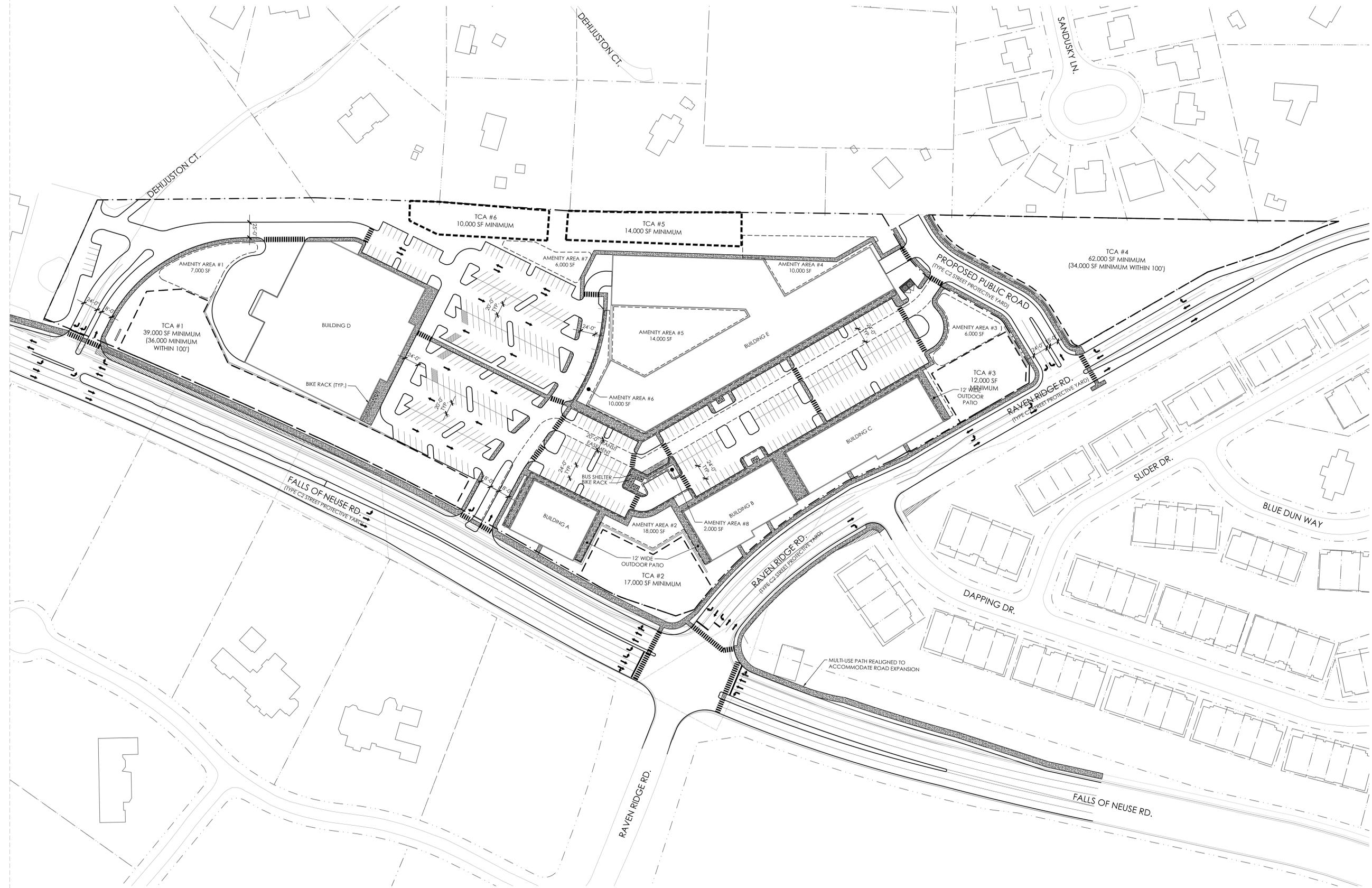
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AMENITY AREA CALCULATIONS	
DESCRIPTION	AREA (S.F.)
GROSS LOT AREA	757,791
ADJUSTED LOT AREA	707,855
REQUIRED AMENITY AREA (10%)	70,786
PROPOSED AMENITY AREA (10%)	73,000
AMENITY AREA #1	7,000
AMENITY AREA #2	18,000
AMENITY AREA #3	6,000
AMENITY AREA #4	10,000
AMENITY AREA #5	14,000
AMENITY AREA #6	10,000
AMENITY AREA #7	6,000
AMENITY AREA #8	2,000



SPENCER RIDGE
10600 FALLS OF NEUSE RD & 11258 RAVEN RIDGE RD
RALEIGH, NORTH CAROLINA, 27615
PIN # 1728096122 & 1728086494

PROJECT NUMBER: 14370.00 DATE: 01.25.2017

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JOB DESCRIPTION:
PLANNED DEVELOPMENT
DISTRICT APPLICATION

SHEET TITLE:

**SITE DEVELOPMENT
DIAGRAM**

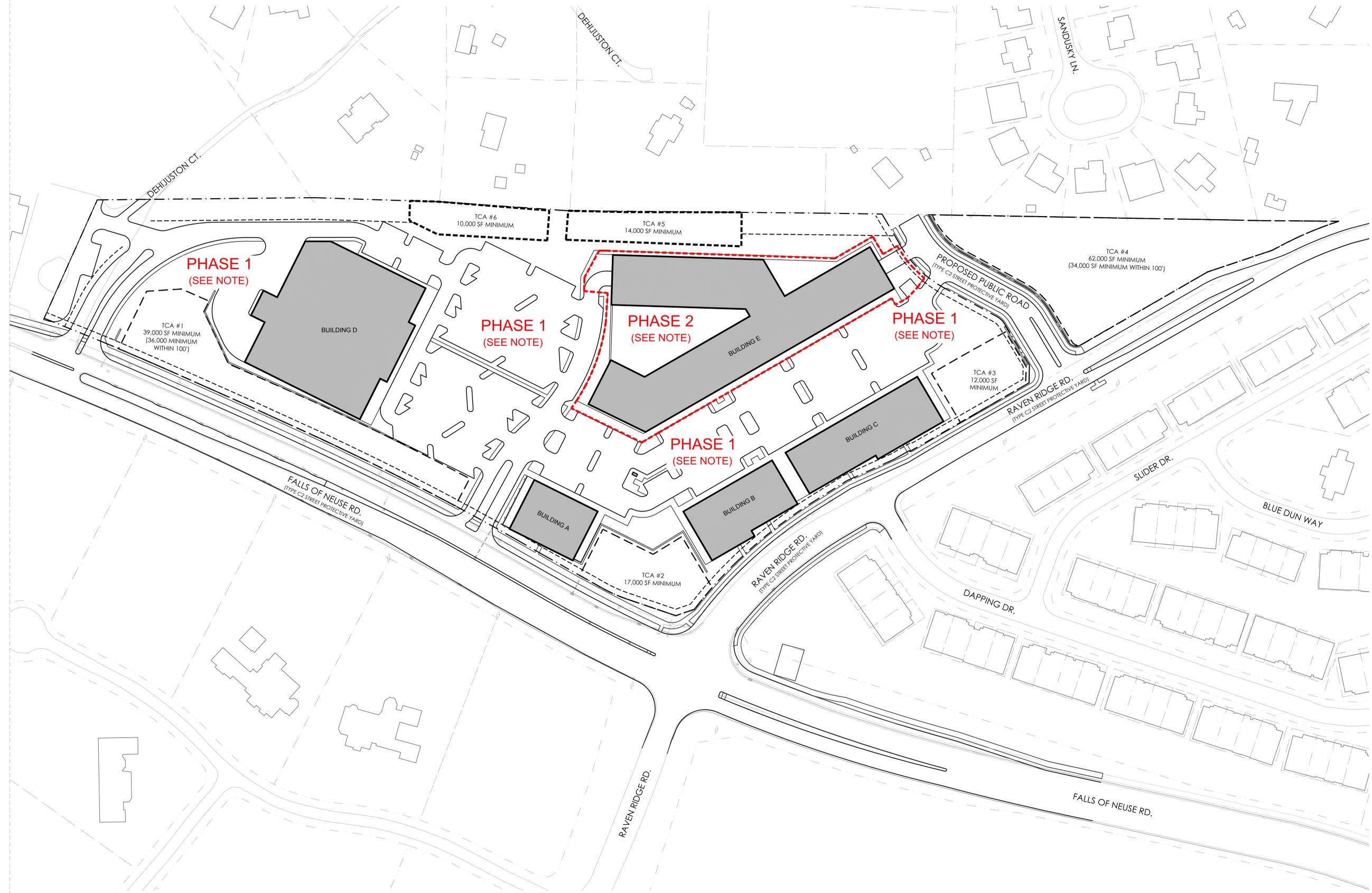
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10600 FALLS OF NEUSE RD & 11258 RAVEN RIDGE RD
RALEIGH, NORTH CAROLINA, 27615
PIN # 1728096122 & 1728086494

PROJECT NUMBER: 14370.00 DATE: 01.25.2017

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REVISIONS:
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JOB DESCRIPTION:
PLANNED DEVELOPMENT
DISTRICT APPLICATION

SHEET TITLE:

PHASING PLAN

SHEET NUMBER:

L501

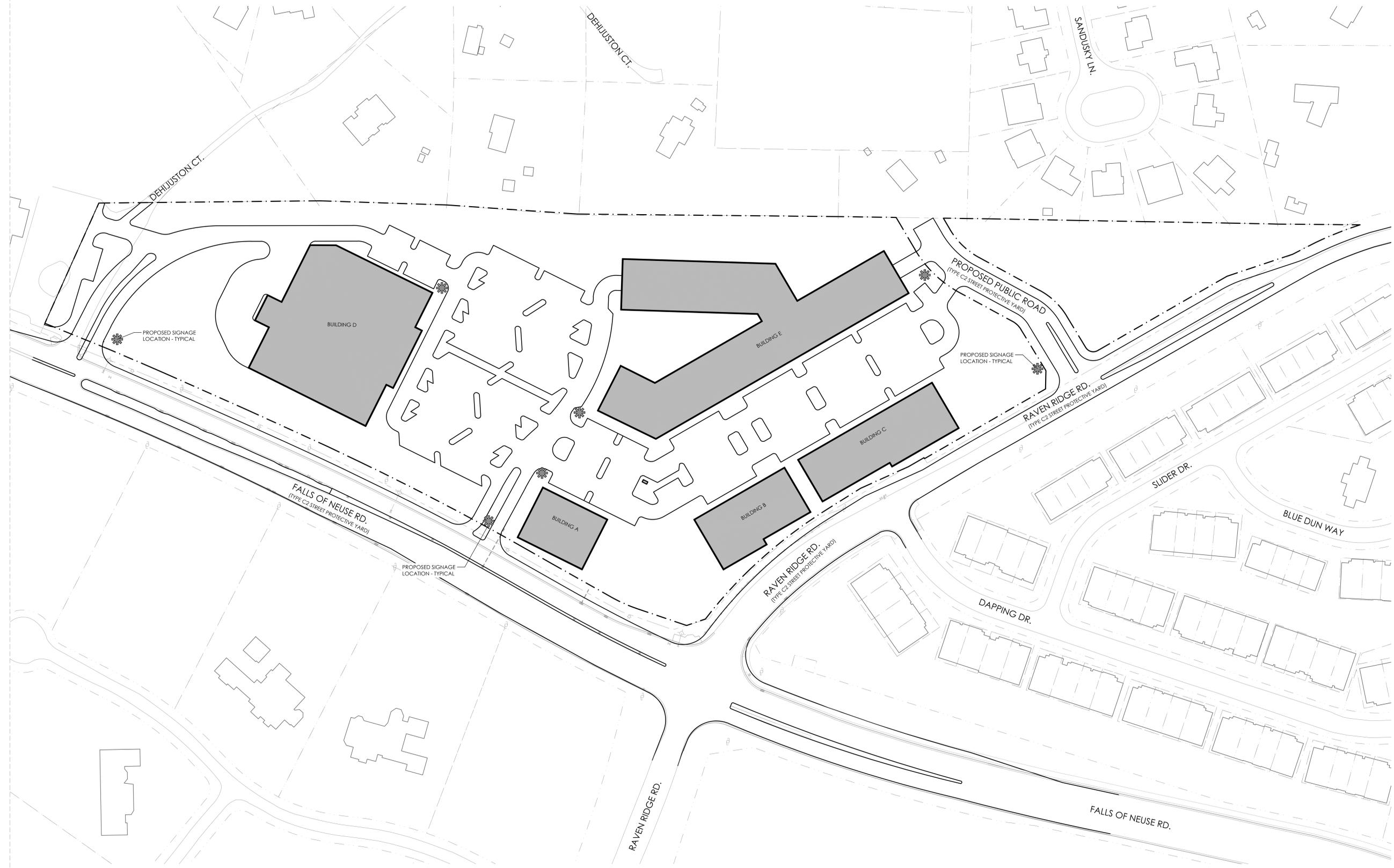
SHEET _____ OF _____

* NOTE: PARKING IS NOT TO EXCEED 125% OF THE REQUIRED PARKING PER UDO IN EACH PHASE.



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SIGNAGE DATA

1. FINAL LOCATION OF SIGNAGE IS SUBJECT TO CHANGE DURING TIME OF PERMITTING.
2. DEVELOPMENT SIGNAGE SHALL BE IMPLEMENTED IN A UNIFORM AND HARMONIOUS MANNER THROUGHOUT THE DEVELOPMENT.
3. SIGNAGE SHALL BE SUBSTANTIALLY CONSISTENT IN FONT STYLE(S), COLOR, AND MATERIALS.
4. FOR SIGNAGE ITEMS NOT SPECIFIED HEREIN, NOR ADDRESSED IN THE UDO (SUCH AS TYPE SCRIPT), THE MASTER DEVELOPER SHALL SUBMIT SUPPLEMENTAL STANDARDS FOR THE COMMON SIGNAGE PLAN AT THE TIME OF ANY INITIAL SIGNAGE PERMITTING. ALL SUBSEQUENT SIGNAGE PERMITTING SHALL THEN FOLLOW THE UPDATED STANDARDS.
5. THE FOLLOWING SIGNAGE TYPES SHALL BE ALLOWED WITHIN THE MASTER PLAN:
 - WALL SIGNS
 - PROJECTING SIGN
 - AWNING, GALLERY, MARQUE SIGN
 - WINDOW SIGN
 - LOW PROFILE SIGN
 - MEDIUM PROFILE SIGN
 - TRACT IDENTIFICATION SIGN
 - A-FRAME SIGN
 - SPECIAL SIGN TYPES
6. PERMITTED SIGNAGE COLORS WILL BE DETERMINED BY THE MASTER DEVELOPER AT A LATER DATE BUT SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED IN THE UDO (SEC. 7.3.16).



SPENCER RIDGE
10600 FALLS OF NEUSE RD & 11258 RAVEN RIDGE RD
RALEIGH, NORTH CAROLINA, 27615
PIN # 1728096122 & 1728086494

PROJECT NUMBER: 14370.00 DATE: 01.25.2017

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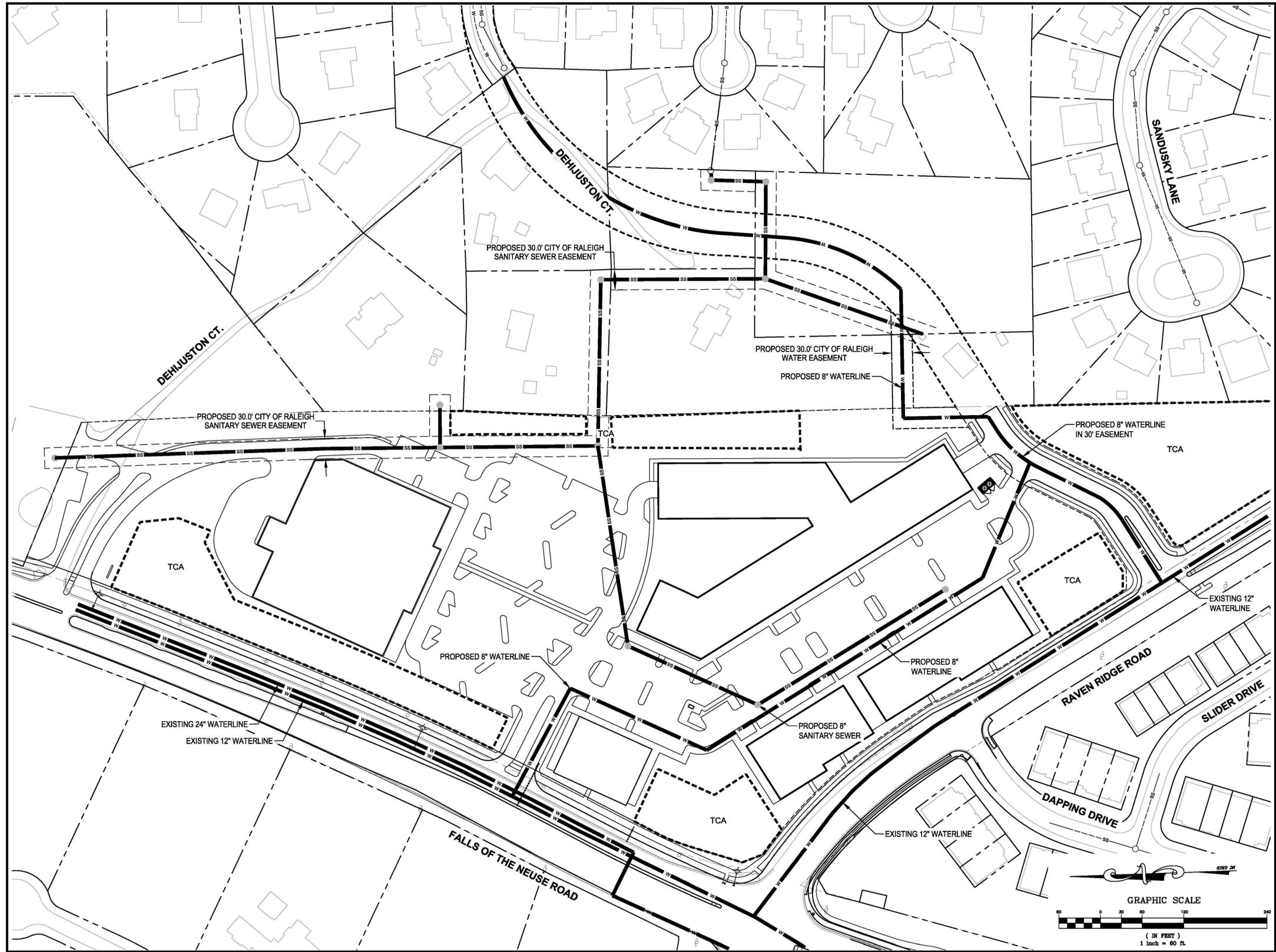
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JOB DESCRIPTION:
PLANNED DEVELOPMENT
DISTRICT APPLICATION

SHEET TITLE:
COMMON SIGNAGE
PLAN

SHEET NUMBER:
L601

SHEET _____ OF _____



DHM DESIGN
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 URBAN DESIGN
 727 W. Hargett Street, Suite 101
 Raleigh, NC 27603 | 919.805.3586

JOHN A. EDWARDS & COMPANY
 Consulting Engineers
 and Land Surveyors
 NC License F-6289
 333 Wade Ave., Raleigh, N.C. 27605
 Phone: (919) 828-4428
 Fax: (919) 828-4711
 E-mail: info@jaeco.com
 www.jaeco.com

D&N INVESTMENTS
 ...

SPENCER RIDGE

UTILITY PLAN

Revisions	Number	Description	Date

Drawing Scale 1" = 60'
 Drawn By DHM
 Checked By JAE, JR.
 Date Issued 01/11/2017

C-1

DHM DESIGN
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 URBAN DESIGN
 727 W. Hargett Street, Suite 101
 Raleigh, NC 27603 | 919.805.3586

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 RALEIGH, NORTH CAROLINA, 27615
 PIN #: 1728096122 & 1728086494

PROJECT NUMBER: 14370.00
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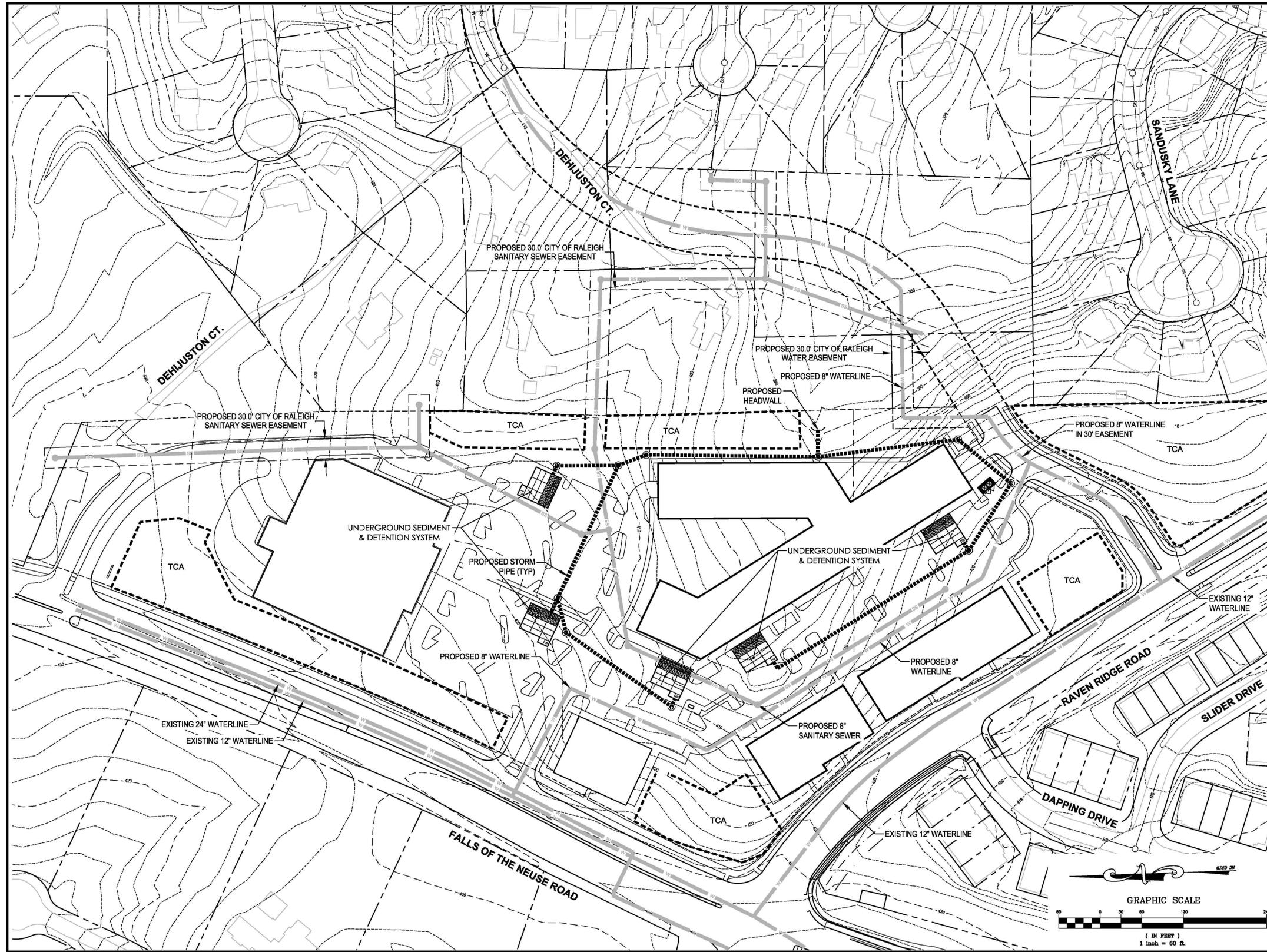
REVISIONS:
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JOB DESCRIPTION:
 PLANNED DEVELOPMENT
 DISTRICT APPLICATION

SHEET TITLE:
 UTILITIES SERVICE
 PLAN

SHEET NUMBER:
C1

SHEET OF



JOHN A. EDWARDS & COMPANY
 Consulting Engineers
 and Land Surveyors
 NC License F-6289
 333 Wade Ave., Raleigh, N.C. 27605
 Phone: (919) 828-4428
 Fax: (919) 828-4711
 E-mail: info@jaeco.com
 www.jaeco.com

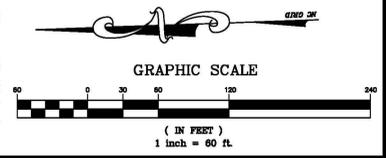
Client: **D&N INVESTMENTS**

Site: **SPENCER RIDGE**

Project Title: **STORMWATER PLAN**

Number	Description	Date

Drawing Scale: 1" = 60'
 Drawn By: DHM
 Checked By: JAE, JR.
 Date Issued: 01/11/2017



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SPENCER RIDGE
 10600 FALLS OF NEUSE RD & 11258 RAVEN RIDGE RD
 RALEIGH, NORTH CAROLINA, 27615
 PIN #: 1728096122 & 1728066494

PROJECT NUMBER: 14370.00 DATE: 01.25.2017

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JOB DESCRIPTION:
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SHEET TITLE:
 STORMWATER
 MANAGEMENT
 PLAN

SHEET NUMBER:

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* NOTE: MODEL IS ILLUSTRATIVE FOR REVIEW PURPOSES ONLY

SPENCER RIDGE
10600 FALLS OF NEUSE RD & 11258 RAVEN RIDGE RD
RALEIGH, NORTH CAROLINA, 27615
PIN # 1728096122 & 1728086494

PROJECT NUMBER: 14370.00 DATE: 01.25.2017

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CHECKED:

REVISIONS:
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JOB DESCRIPTION:
PLANNED DEVELOPMENT
DISTRICT APPLICATION

SHEET TITLE:
ILLUSTRATIVE
3-DIMENSIONAL
MODEL

SHEET NUMBER:

MOD

SHEET ____ OF ____